

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Interim Director

Mayor Timothy M. Keller

September 29, 2022

Minxuan (Jacky) Lin
WHPacific, Inc. – An NV5 Company
6501 America Pkwy NE, Suite 100
Albuquerque, NM 87110

**RE: TR A-1 Plat of TRS A-1 & A-2 Sunport Municipal Addn. (M16D024C)
2200 Sunport Blvd. SE
Grading and Drainage Plan
Engineers Stamp Date 8/26/2022**

PO Box 1293

Mr. Lin,

Based upon the information provided in your submittal received 8/26/2022, the following comments must be addressed prior to approval:

Albuquerque

NM 87103

www.cabq.gov

- 1) How many mature trees will be taken out as part of the deceleration lane and entrance construction. It does not appear that all existing three are shown on the plan.
- 2) There is an existing area with buckled sidewalk just north of the start of deceleration lane.
- 3) There is an area were the runoff drains across the entrance. Please include riprap upstream of the low point as well.
- 4) Please double check the treatment used in your runoff calculations both under the existing and proposed conditions. Under existing conditions, the treatment C is at 70%. It appears that the site is about 50% B. under the proposed conditions percentage D might be higher than show.
- 5) Please provide more information about the existing inlet and provide inlet capacity calculations. Show spot elevations around the inlet to ensure runoff will not drain to the north instead of draining to the inlet. Please include a note that existing inlet to be cleaned (most likely full of sediment).
- 6) First Flush Volume (using storm water quality pond/retention pond) must be provided per the DPM. Detention ponds as mentioned on the plan does not address the First Flush Volume requirements.

CITY OF ALBUQUERQUE



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- 7) Was a Traffic Circulation layout submitted to Transportation for review and approvals?
- 8) Provide Finished Floor elevation for the restroom pad.

If you have any questions, please contact me at 924-3999.

Sincerely,

A handwritten signature in blue ink, appearing to be "Shahab Biazar", with a long horizontal flourish extending to the right.

Shahab Biazar, P.E.
City Engineer
Planning Department
Development Review Services

PO Box 1293

C: M16D024C

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: SUNPORT CELL PHONE LOT **Building Permit #:** BP-2022-22331 **Hydrology File #:** N/A

DRB#: N/A **EPC#:** N/A **Work Order#:** N/A

Legal Description: TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDNCONT 2286.0091 AC

City Address: 2200 SUNPORT BLVD SE ALBUQUERQUE, NM 87106

Applicant: WHPacific, Inc - An NV5 Company **Contact:** Minxuan(Jacky) Lin

Address: 6501 America Pkwy NE, Ste 400 Albuquerque, NM 87110

Phone#: 505-348-5221 **Fax#:** _____ **E-mail:** jacky.lin@nv5.com

Owner: City of Albuquerque, Aviation Department **Contact:** Bud Ball

Address: 2200 Sunport SE, Albuquerque, NM 87106

Phone#: O: 505.244.7871 Cell:505.410.2937 **Fax#:** _____ **E-mail:** bball@cabq.gov

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

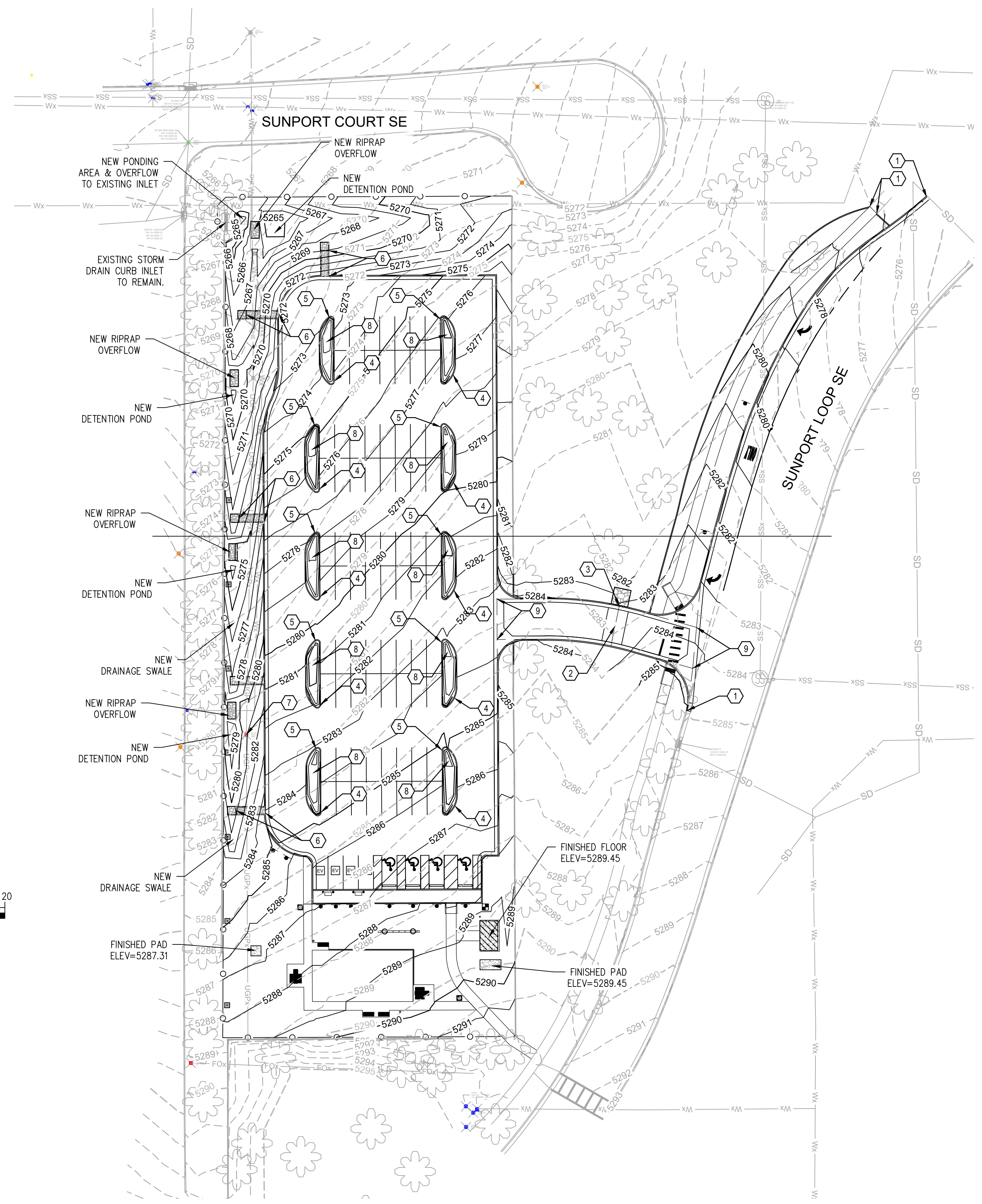
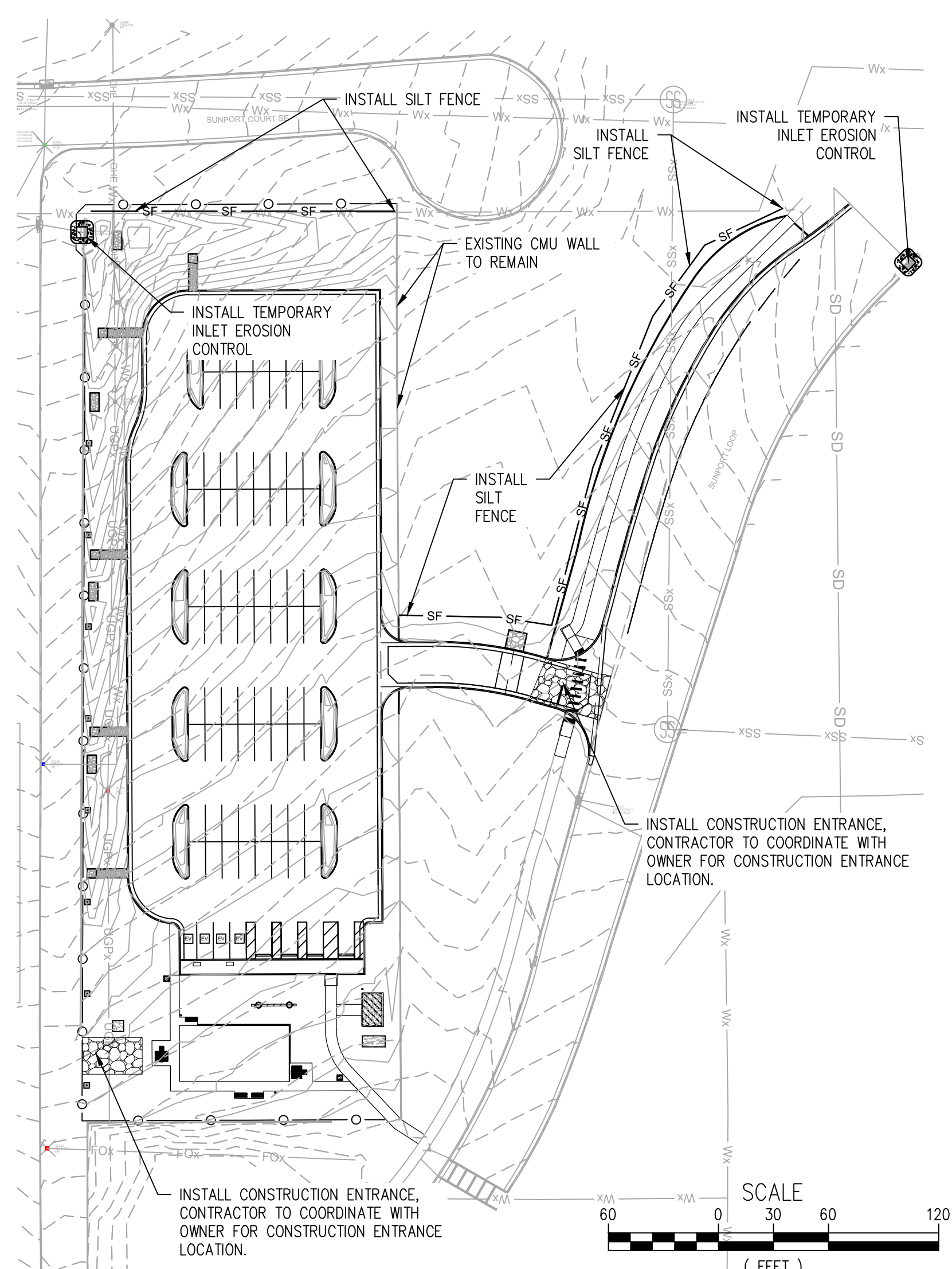
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-26-2022 **By:** Minxuan(Jacky) Lin

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



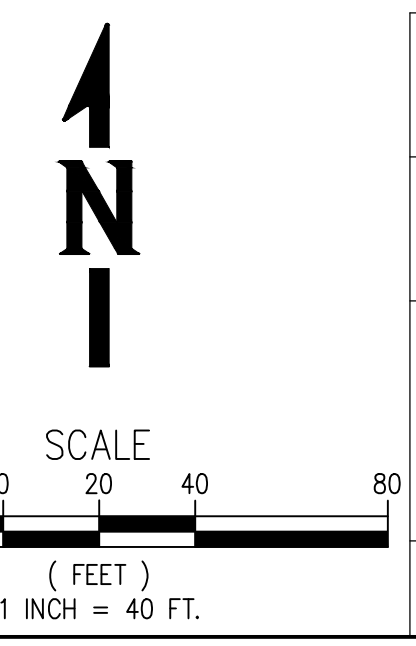
GENERAL NOTES:

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES ON SITE.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVE WITH A MINIMUM AMOUNT OF DELAY.
5. CONTRACTOR SHALL FIELD VERIFY SITE FOR EXISTING CONDITIONS (SPOILS, BORROW AREAS, ETC.) PRIOR TO BIDDING EARTHWORK QUANTITIES.
6. ALL PROPOSED ELEVATIONS ARE AT FLOWLINE OF CURB, TOP OF ASPHALT, TOP OF CONCRETE SIDEWALK, FINISHED GRADE AT SWALES AND PONDS UNLESS OTHERWISE NOTED. SEE POINT TABLE FOR POINT COORDINATES.
7. ALL TOP-BACK OF CURB ELEVATIONS ARE 6" OR 8" HIGHER THAN FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

KEYNOTES:

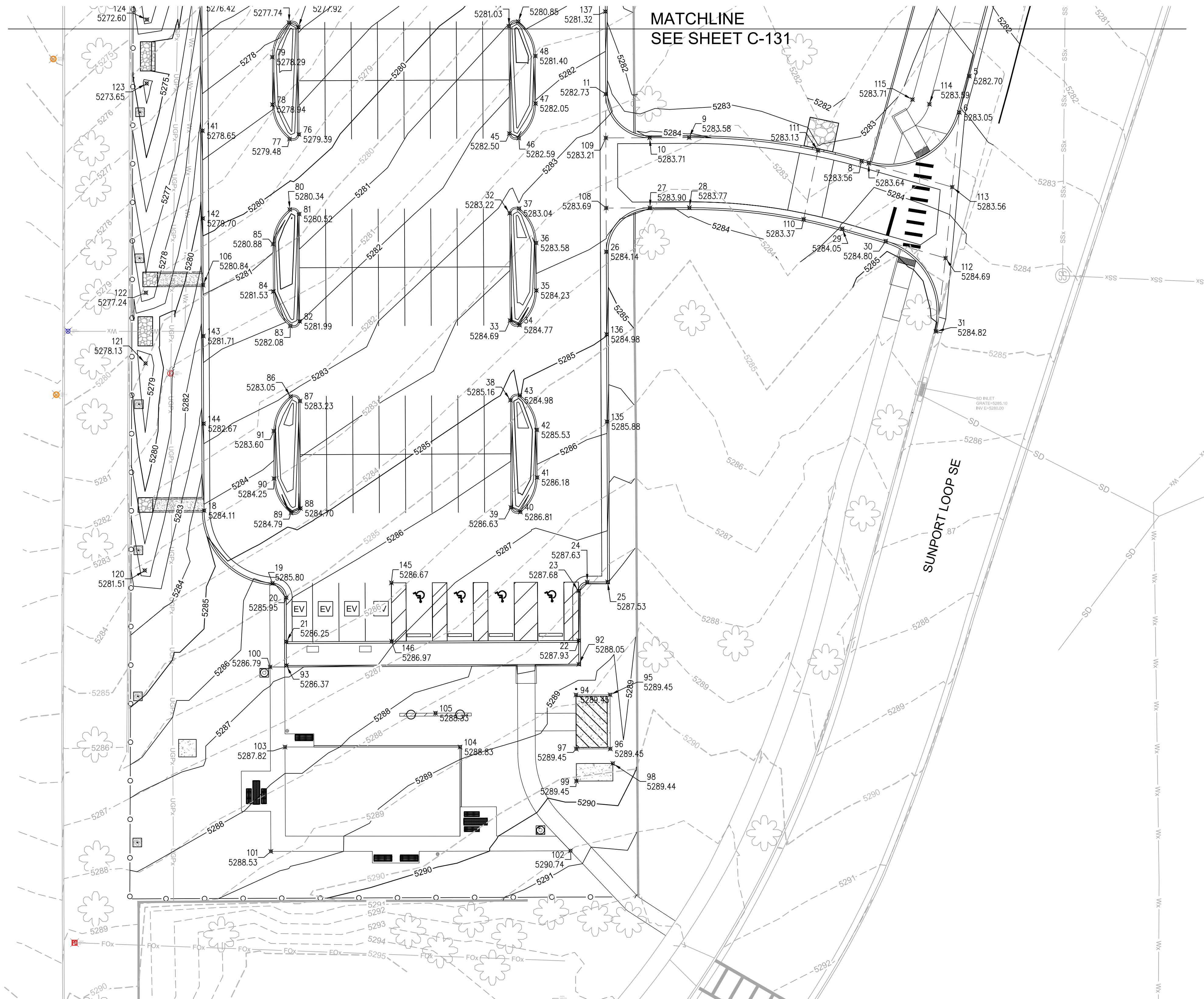
1. MATCH EXISTING FLOWLINE ELEVATION AT EXISTING CURB & GUTTER.
2. CONSTRUCT 6" WIDE CROSS VALLEY GUTTER PER DETAIL 3, SHEET C-503. COA STANDARD DWG 2422.
3. CONSTRUCT 4'-0" WIDE CURB OPENING PER DETAIL 3, SHEET C-502.
4. CONSTRUCT 2'-0" WIDE CURB OPENING PER DETAIL 3, SHEET C-502.
5. INSTALL 2'-0" WIDE CURB OPENING FOR OVERFLOW PER DETAIL 3, SHEET C-502.
6. CONSTRUCT 4'-0" WIDE CONCRETE RUNDOWN AND 5'X5' RIPRAP EROSION PAD PER DETAIL 5, SHEET C-502.
7. EXISTING ELECTRICAL MANHOLE TO REMAIN & PROTECTED THROUGH CONSTRUCTION. MAINTAIN EXISTING RIM ELEVATION.
8. PROVIDE MINIMUM OF 1'-0" OF STORAGE WITHIN PARKING ISLAND AREA. FINISHED GRADE TO BE 1' BELOW FLOWLINE OF HEADER CURB.
9. CONSTRUCT CONCRETE VALLEY GUTTER PER DETAIL 4, SHEET C-503. COA STANDARD DWG 2420.

[DATE: 8/26/2022 9:54 AM] [AUTHOR: jckvln] [PLOTTER: _DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [PATH: P:\Albuquerque International Sunport\655121-A00017102\Execution\Drawings\Civil\A00017102 - GRADING PLAN.dwg] [LAYOUT: C-130 GRADING & DRAINAGE PLAN]



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT OVERALL GRADING PLAN			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-130	Sheet Of

AS BUILT INFORMATION	
Contractor	Date
Work Shaded By	Date
Approved By	Date
Field Checked By	Date
Drawn By	Date
Checked By	Date
Recorded By	Date
MICRO-FILM INFORMATION	
No.	Date
BENCH MARKS	
No.	Date
SURVEY INFORMATION	
Field Notes	Date
By	
No.	
STAMP & SIGNATURE	
No.	Date
By	
Remarks	
REVISIONS DESIGN	
No.	Date
By	
Designed By: MLL	Date: 8/25/2022
Drawn By: MLL	Date: 8/26/2022
Checked By: BNF/BFL	Date: 8/25/2022



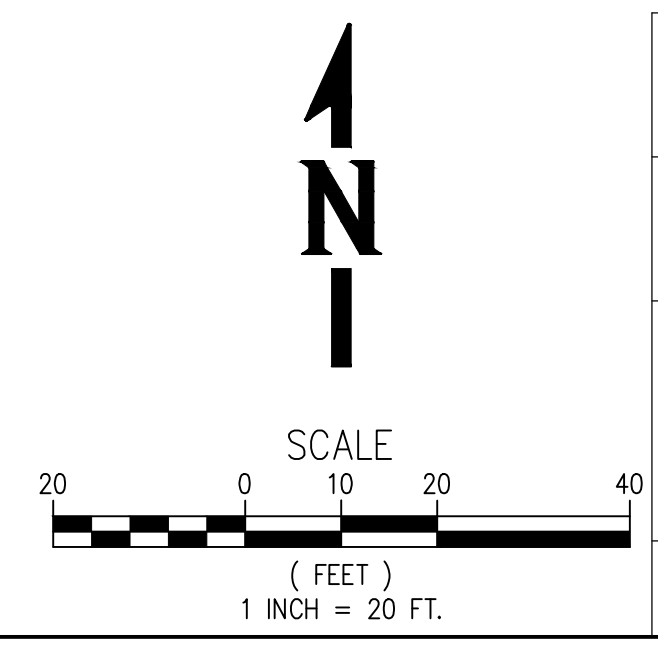
GRADING PLAN - AIS CELL PHONE LOT

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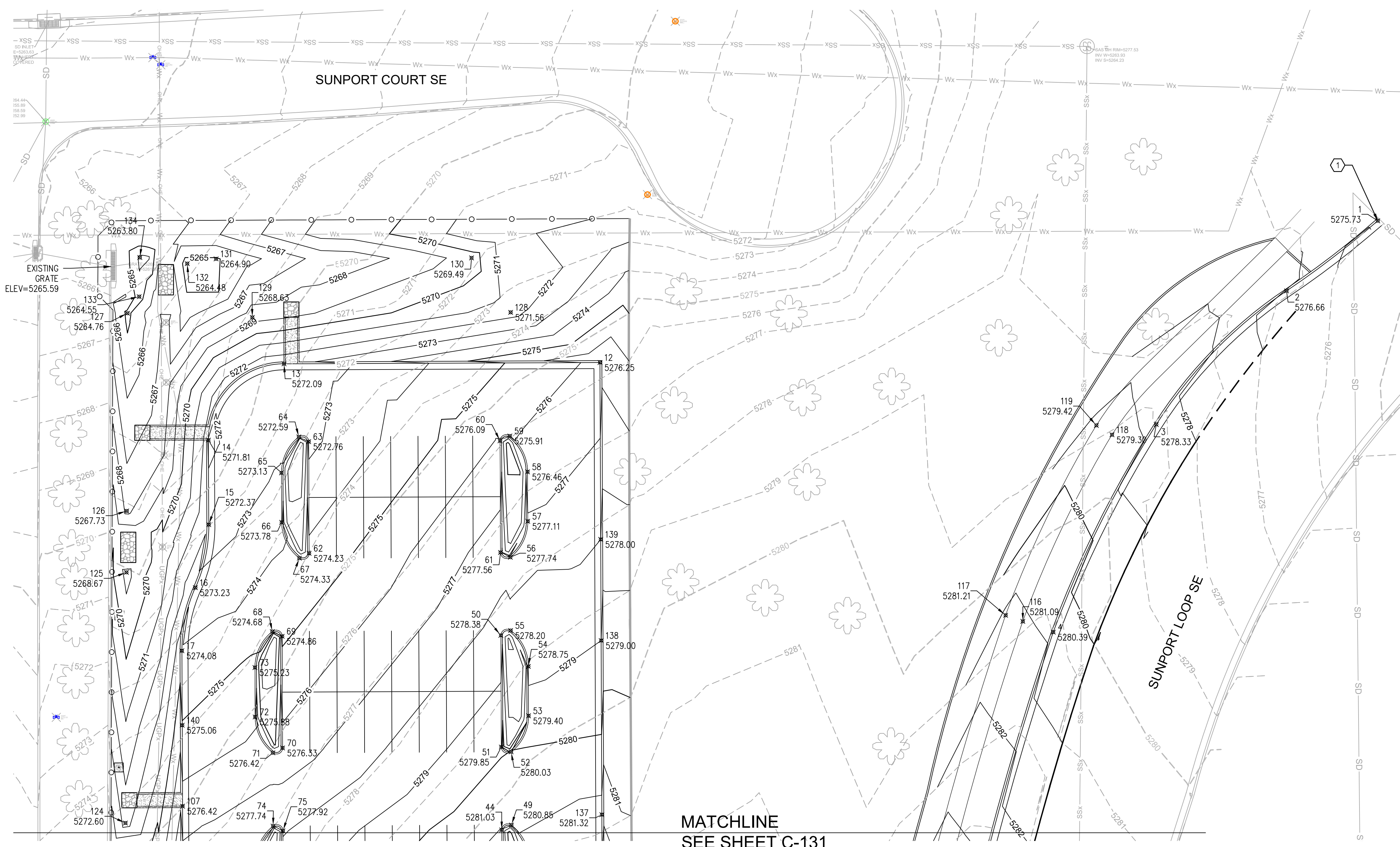
AS BUILT INFORMATION		Contractor		Date	
Work Shaded By		Approved By		Date	
Field Notes By		Drawn By		Date	
Checked By		Reviewed By		Date	
MICRO-FILM INFORMATION		Recorded By		Date	
BENCH MARKS		No.			
SURVEY INFORMATION		Field Notes		Date	
No.		By			
STAMP & SIGNATURE					
No.		By			
REVISIONS		Remarks			
No.	Date				
DESIGN		Designed By: MLL	Date: 8/25/2022		
		Drawn By: MLL	Date: 8/26/2022		
		Checked By: BNF/BFL	Date: 8/25/2022		



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT GRADING PLAN			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-131	Sheet Of

FINAL CONSTRUCTION - AUGUST 2022

[DATE: 8/26/2022 9:54 AM] [AUTHOR: jckv/jrn] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [PATH: P:\Albuquerque International Sunport\655321-A00017102\Execution\Drawings\Civil\A00017102 - GRADING PLAN.dwg] [LAYOUT: C-131 GRADING PLAN]



GENERAL NOTES:

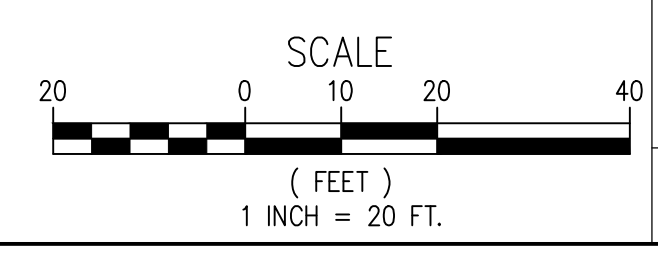
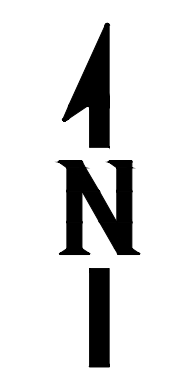
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MATCHLINE
SEE SHEET C-131

GRADING PLAN - AIS CELL PHONE LOT



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT GRADING PLAN			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-132	Sheet Of

AS BUILT INFORMATION	
Contractor	Date
Work Shaded By	Date
Approved By	Date
Field Checked By	Date
Micro-Film Information	Date
Recorded By	Date
No.	
BENCH MARKS	
Field Notes	Date
By	
No.	
SURVEY INFORMATION	
STAMP & SIGNATURE	
No.	Date
By	
Remarks	
REVISIONS	
DESIGN	
Designed By: MLL	Date: 8/25/2022
Drawn By: MLL	Date: 8/26/2022
Checked By: BNF/BFL	Date: 8/25/2022

[DATE: 8/26/2022 9:54 AM] [AUTHOR: jckvlin] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [PATH: P:\Albuquerque International Sunport\655121-A00017102\Execution\Drawings\Civil\A00017102 - GRADING PLAN.dwg] [LAYOUT: C-132 GRADING PLAN]



SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1474404.40	1530129.93	5275.73	FL-CURB
2	1474381.35	1530099.89	5276.66	FL-CURB
3	1474337.41	1530057.02	5278.33	FL-CURB
4	1474269.09	1530023.12	5280.39	FL-CURB
5	1474186.92	1529999.07	5282.70	FL-CURB
6	1474174.49	1529995.65	5283.05	FL-CURB
7	1474157.08	1529964.70	5283.64	FL-CURB
8	1474157.79	1529962.18	5283.56	FL-CURB
9	1474165.90	1529903.21	5283.58	FL-CURB
10	1474165.85	1529889.71	5283.71	FL-CURB
11	1474180.79	1529874.65	5282.73	FL-CURB
12	1474357.79	1529873.91	5276.25	FL-CURB
13	1474357.35	1529769.91	5272.09	FL-CURB
14	1474332.25	1529745.02	5271.81	FL-CURB
15	1474304.46	1529745.13	5272.37	FL-CURB
16	1474283.71	1529740.72	5273.23	FL-CURB
17	1474262.96	1529736.31	5274.08	FL-CURB
18	1474038.21	1529737.24	5284.11	FL-CURB
19	1474013.37	1529760.68	5285.80	FL-CURB
20	1474008.40	1529765.36	5285.95	FL-CURB
21	1473993.33	1529765.43	5286.25	FL-CURB
22	1473993.75	1529865.42	5287.93	FL-CURB
23	1474010.75	1529865.35	5287.68	FL-CURB
24	1474013.76	1529868.34	5287.63	FL-CURB
25	1474013.79	1529875.34	5287.53	FL-CURB
26	1474126.79	1529874.87	5284.14	FL-CURB
27	1474141.85	1529889.81	5283.90	FL-CURB
28	1474141.91	1529903.31	5283.77	FL-CURB
29	1474134.71	1529955.60	5284.05	FL-CURB
30	1474130.47	1529970.48	5284.80	FL-CURB

SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
31	1474099.54	1529987.67	5284.82	FL-CURB
32	1474140.02	1529841.82	5283.22	FL-CURB
33	1474103.28	1529841.97	5284.69	FL-CURB
34	1474101.72	1529845.21	5284.77	FL-CURB
35	1474113.56	1529850.93	5284.23	FL-CURB
36	1474129.81	1529850.86	5283.58	FL-CURB
37	1474141.61	1529845.04	5283.04	FL-CURB
38	1474076.02	1529842.08	5285.16	FL-CURB
39	1474039.28	1529842.24	5286.63	FL-CURB
40	1474037.72	1529845.47	5286.81	FL-CURB
41	1474049.56	1529851.19	5286.18	FL-CURB
42	1474065.81	1529851.13	5285.53	FL-CURB
43	1474077.61	1529845.31	5284.98	FL-CURB
44	1474204.02	1529841.55	5281.03	FL-CURB
45	1474167.28	1529841.70	5282.50	FL-CURB
46	1474165.71	1529844.94	5282.59	FL-CURB
47	1474177.56	1529850.66	5282.05	FL-CURB
48	1474193.81	1529850.59	5281.40	FL-CURB
49	1474205.61	1529844.78	5280.85	FL-CURB
50	1474268.02	1529841.29	5278.38	FL-CURB
51	1474231.28	1529841.44	5279.85	FL-CURB
52	1474229.71	1529844.68	5280.03	FL-CURB
53	1474241.56	1529850.40	5279.40	FL-CURB
54	1474257.81	1529850.33	5278.75	FL-CURB
55	1474269.61	1529844.51	5278.20	FL-CURB
56	1474293.71	1529844.41	5277.74	FL-CURB
57	1474305.56	1529850.13	5277.11	FL-CURB
58	1474321.81	1529850.06	5276.46	FL-CURB
59	1474333.61	1529844.24	5275.91	FL-CURB
60	1474332.02	1529841.02	5276.09	FL-CURB

SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
61	1474295.28	1529841.17	5277.56	FL-CURB
62	1474295.02	1529778.17	5274.23	FL-CURB
63	1474331.76	1529778.02	5272.76	FL-CURB
64	1474333.32	1529774.78	5272.59	FL-CURB
65	1474321.47	1529769.06	5273.13	FL-CURB
66	1474305.22	1529769.13	5273.78	FL-CURB
67	1474293.43	1529774.95	5274.33	FL-CURB
68	1474269.28	1529766.05	5274.68	FL-CURB
69	1474267.72	1529769.29	5274.86	FL-CURB
70	1474230.98	1529769.44	5276.33	FL-CURB
71	1474229.39	1529766.21	5276.42	FL-CURB
72	1474241.19	1529760.40	5275.88	FL-CURB
73	1474257.44	1529760.33	5275.23	FL-CURB
74	1474205.29	1529766.31	5277.74	FL-CURB
75	1474203.72	1529769.55	5277.92	FL-CURB
76	1474166.98	1529769.70	5279.39	FL-CURB
77	1474165.39	1529766.48	5279.48	FL-CURB
78	1474177.19	1529760.66	5278.94	FL-CURB
79	1474193.44	1529760.59	5278.29	FL-CURB
80	1474141.29	1529766.58	5280.34	FL-CURB
81	1474139.72	1529769.82	5280.52	FL-CURB
82	1474102.98	1529769.97	5281.99	FL-CURB
83	1474101.39	1529766.75	5282.08	FL-CURB
84	1474113.19	1529760.93	5281.53	FL-CURB
85	1474129.44	1529760.86	5280.88	FL-CURB
86	1474077.29	1529766.85	5283.05	FL-CURB
87	1474075.72	1529770.08	5283.23	FL-CURB
88	1474038.98	1529770.24	5284.70	FL-CURB
89	1474037.39	1529767.01	5284.79	FL-CURB
90	1474049.19	1529761.19	5284.25	FL-CURB

SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
91	1474065.44	1529761.13	5283.60	FL-CURB
92	1473985.62	1529865.46	5288.05	SWLK
93	1473985.21	1529765.46	5286.37	SWLK
94	1473975.12	1529864.50	5289.45	CONC
95	1473975.17	1529876.17	5289.45	CONC
96	1473956.67	1529876.25	5289.45	CONC
97	1473956.62	1529864.58	5289.45	CONC
98	1473951.67	1529877.10	5289.44	CONC
99	1473945.62	1529864.62	5289.45	CONC
100	1473984.68	1529759.84	5286.79	SWLK
101	1473921.55	1529760.10	5288.53	SWLK
102	1473921.76	1529862.62	5290.74	SWLK
103	1473957.28	1529764.95	5287.82	SWLK
104	1473957.28	1529824.84	5288.83	CONC
105	1473968.88	1529816.42	5288.33	DISPLAY CENTER
106	1474115.41	1529736.92	5280.84	FL-CURB OPEN
107	1474211.84	1529736.52	5276.42	FL-CURB OPEN
108	1474141.79	1529874.81	5283.69	FL-VG
109	1474165.79	1529874.71	5283.21	FL-VG
110	1474137.96	1529942.40	5283.37	FL-VG
111	1474161.46	1529947.30	5283.13	FL-VG
112	1474124.64	1529990.95	5284.69	FL-VG
113	1474148.95	1529993.23	5283.56	FL-VG
114	1474177.31	1529985.41	5283.59	SWLK
115	1474178.90	1529979.62	5283.71	SWLK
116	1474272.63	1530013.10	5281.09	SWLK
117	1474274.63	1530007.44	5281.21	SWLK
118	1474334.03	1530042.45	5279.30	SWLK
119	1474337.10	1530037.30	5279.42	SWLK
120	1474017.72	1529716.94	5281.51	FG-SWALE

SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
121	1474088.63	1529717.23	5278.13	FG-SWALE
122	1474112.79	1529717.33	5277.24	FG-SWALE
123	1474184.42	1529717.62	5273.65	FG-SWALE
124	1474206.27	1529717.70	5272.60	FG-SWALE
125	1474288.75	1529718.04	5268.67	FG-SWALE
126	1474308.95	1529718.12	5267.73	FG-SWALE
127	1474373.99	1529718.39	5264.76	FG-SWALE
128	1474374.29	1529844.51	5271.56	FG
129	1474372.62	1529759.47	5268.63	FG
130	1474392.20	1529831.63	5269.49	FG-SWALE
131	1474391.88	1529747.55	5264.90	FG-SWALE
132	1474390.31	1529738.05	5264.48	FG
133	1474379.46	1529722.24	5264.55	FG-SWALE
134	1474392.33	1529722.46	5263.80	FG
135	1474068.66	1529875.11	5285.88	FL-CURB
136	1474098.54	1529874.99	5284.98	FL-CURB
137	1474209.04	1529874.53	5281.32	FL-CURB
138	1474266.31	1529874.29	5279.00	FL-CURB
139	1474299.59	1529874.15	5278.00	FL-CURB
140	1474238.46	1529736.41	5275.06	FL-CURB
141	1474168.21	1529736.70	5278.65	FL-CURB
142	1474138.21	1529736.82	5279.70	FL-CURB
143	1474097.96	1529736.99	5281.71	FL-CURB
144	1474067.96	1529737.12	5282.67	FL-CURB
145	1474013.48	1529801.34	5286.67	TA
146	1473993.48	1529801.43	5286.97	TA/SWLK

GRADING POINT COORDINATE TABLES

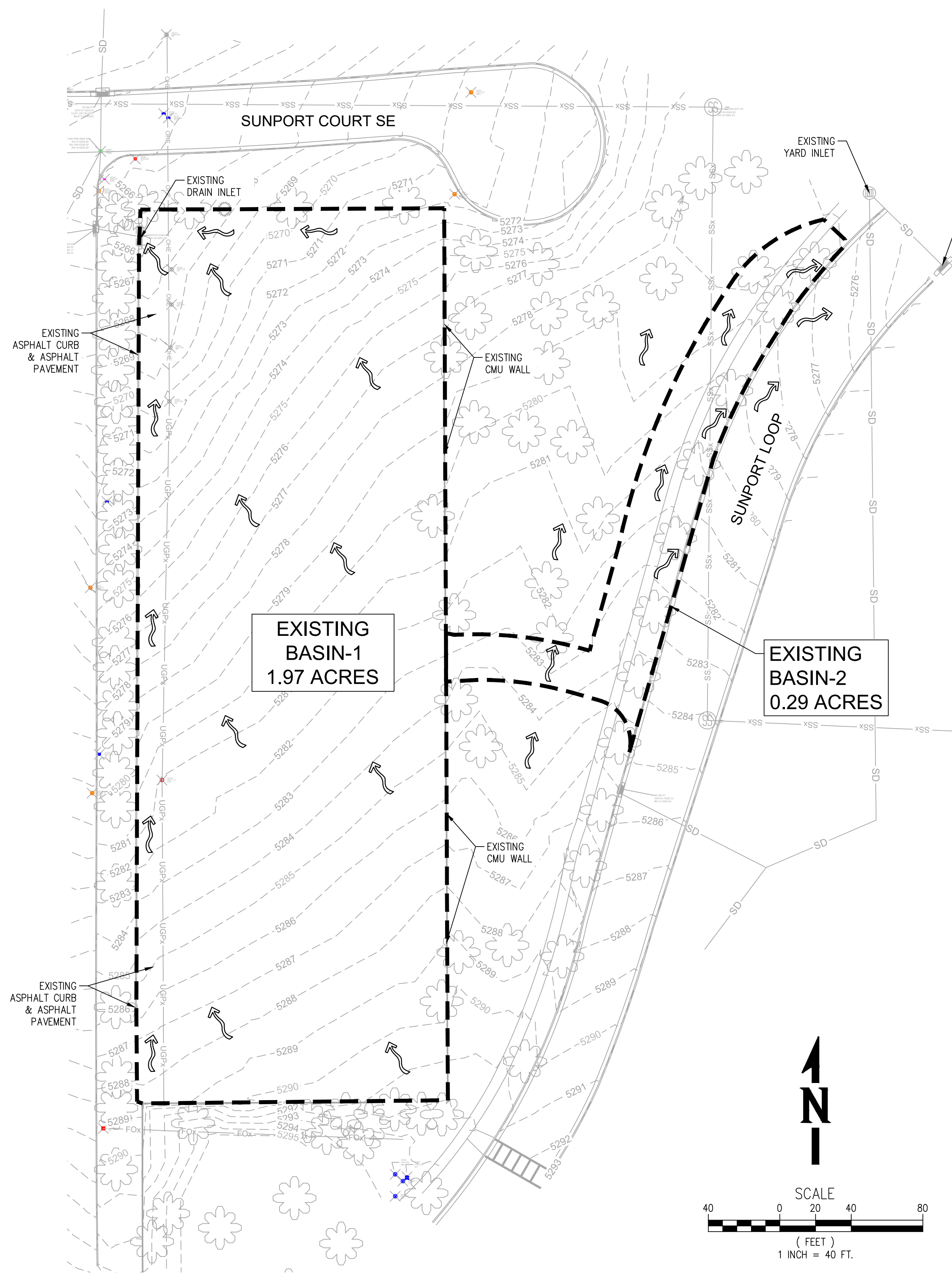
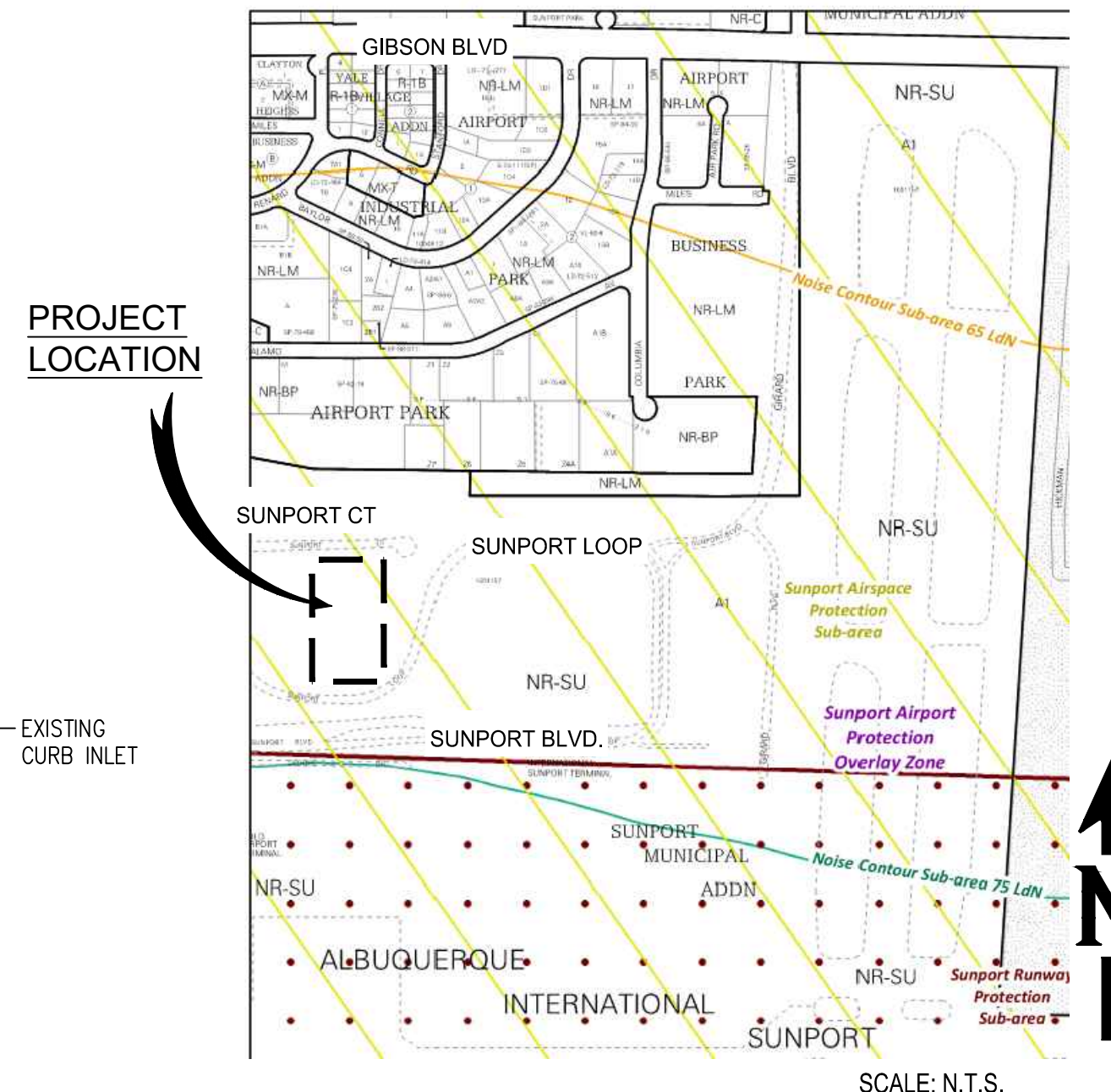


AS BUILT INFORMATION		Contractor		Date	
BENCH MARKS		Work Shaded By		Date	
SURVEY INFORMATION		Approved By		Date	
STAMP & SIGNATURE		Field Notes		Date	
		By		Date	
		No.		Date	
		REVISIONS		Date	
		DESIGN		Date	
		Checked By: MUL		Date: 8/25/2022	
		By: BNF/BPL		Date: 8/25/2022	



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT GRADING POINT TABLES			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-133	Sheet Of

[DATE: 8/26/2022 9:54 AM] [AUTHOR: jckvln] [PLOTTER: _DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [PATH: P:\Albuquerque International Sunport\855\2 - A00017102\Execution\Drawings\Civil\A00017102 - GRADING PLAN.dwg] [LAYOUT: C-133_GD_POINT TABLES]



LEGAL DESCRIPTION
 SUNPORT MUNICIPAL ADDITION, TRACTS A, B, C, D, E, F, G, H, J, K, L AND M.
 A REPLAT OF LANDS OF ALBUQUERQUE INTERNATIONAL AIRPORT, JULY, 2002.

DRAINAGE BASIN AREA
 2.26 ACRE: 98,445.60 SF

FLOOD ZONE DESIGNATION
 NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0361G DATED 9/26/2008.

DRAINAGE CRITERIA
 CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL ARTICLE 6-2, HYDROLOGY'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.

ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE DEFINES THE 90TH PERCENTILE STORM EVENT AS 0.42 INCHES.

HYDROLOGIC STUDY

EXISTING CONDITIONS
 THE SITE IS PRESENTLY A VACANT LOT THAT IS LOCATED SOUTH OF SUNPORT COURT, WEST OF SUNPORT LOOP AND EAST OF EXISTING HOTEL WITHIN THE ALBUQUERQUE SUNPORT AREA. THE EAST SIDE OF THE LOT WAS DIVIDED BY AN EXISTING CMU WALL AND NEXT TO THE EXISTING LAWN AREA TO SUNPORT LOOP.

SITE DRAINAGE
 TRENDED TO THE NORTHWEST CORNER FROM THE PROJECT SITE AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 6-8%. THERE WAS EXISTING ASPHALT CURB & PAVEMENT ALONG THE WEST OF THE PROPERTY BOUNDARY, AND CARRY THE FLOW TO AN EXISTING CURB INLET LOCATED NORTHWEST CORNER OF THE PROJECT SITE.

SITE DRAINAGE FROM THE EXISTING LAWN ARE
 TRENDED TO FLOW NORTH TO EXISTING YARD INLET AND EXISTING CURB INLET WITHIN EAST SIDE OF SUNPORT LOOP.

ALL DRAINAGE GOING TO THE CITY OF ALBUQUERQUE STORM DRAIN SYSTEM. SEE EXISTING DRAINAGE PLAN FOR EXISTING BASINS.

PROPOSED CONDITIONS
 THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF A NEW PAVED PARKING LOT FOR "CELL PHONE LOT" WITH FLIGHT INFORMATION DISPLAY BOARD, PRE-FABRICATED RESTROOM WITH LANDSCAPING AND ONSITE PARKING LIGHTS BOUNDARY WITH EXISTING CMU WALL AND NEW IRON FENCE.

THE PROPOSED DRAINAGE WILL BE DIVIDED INTO 2 BASINS AS THE SAME FOR THE EXISTING BASINS. SEE PROPOSED DRAINAGE PLAN FOR BASINS.

BASIN 1 CONSISTED AREAS OF THE NEW PARKING LOT WITH RESTROOM AND NEW LANDSCAPE AREA, DRAINAGE FLOW WILL COLLECTED THROUGH SERIES OF DETENTION PONDS WITHIN THE PARKING LANDSCAPE ISLANDS AND WEST OF PARKING LOT. ALL THE FLOWS WILL DISCHARGE TO THE EXISTING CURB INLET LOCATED NORTHWEST CORNER OF THE SITE.

THE SERIES OF THE DETENTION PONDS WITHIN BASIN 1 WILL INTERCEPT THE 90 PERCENTILE RUNOFF AND TO RETAIN THE DIFFERENCE OF THE HISTORIC RUNOFF FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THE DETENTION PONDS WILL BE CONSTRUCTED WITH GRAVEL MULCH WITH LANDSCAPING.

BASIN 2 CONSISTED AREAS OF THE NEW ENTRANCE TO THE PARKING LOT AND NEW RIGHT TURN LANE ON SUNPORT LOOP WITH UPDATED LANDSCAPE IN THE EXISTING LAWN & LANDSCAPE AREA. RUNOFF WILL BE SURFACE FLOW NORTH TO THE EXISTING YARD INLET AND EXISTING CURB INLET NORTH ALONG SUNPORT LOOP.

DRAINAGE SUMMARY:
 EX. BASIN 1 DISCHARGE TO EXISTING STORM CURB INLET ON SITE: DISCHARGE = 6.77 CFS, VOLUME = 0.23 AC-FT.
 PROPOSED BASIN 1 DISCHARGE TO EXISTING STORM CURB INLET ON SITE: DISCHARGE = 7.41 CFS, VOLUME = 0.29 AC-FT.
 NET DISCHARGE TO EXISTING STORM CURB INLET ON SITE = +0.64 CFS, VOLUME = +0.053 AC-FT
 PROPOSED DETENTION PONDS STORAGE WITHIN BASIN 1: VOLUME = 0.078 AC-FT
 NET DISCHARGE (WITH POND) = -0.73 CFS, VOLUME = -0.025 AC-FT.

EX. BASIN 2 DISCHARGE TO EXISTING STORM INLETS ON SUNPORT LOOP: DISCHARGE = 0.83 CFS, VOLUME = 0.03 AC-FT.
 PROPOSED BASIN 2 DISCHARGE TO EXISTING STORM INLETS ON SUNPORT LOOP: DISCHARGE = 1.12 CFS, VOLUME = 0.04 AC-FT.
 NET DISCHARGE TO STORM CURB INLET ON SUNPORT LOOP = +0.29 CFS, VOLUME = +0.018 AC-FT.

NET CHANGE FOR BOTH BASINS:
 BASIN 1: -0.73 CFS, VOLUME = -0.025 AC-FT
 BASIN 2: +0.29 CFS, VOLUME = +0.018 AC-FT
 NET: -0.44 CFS, VOLUME = -0.007 AC-FT.

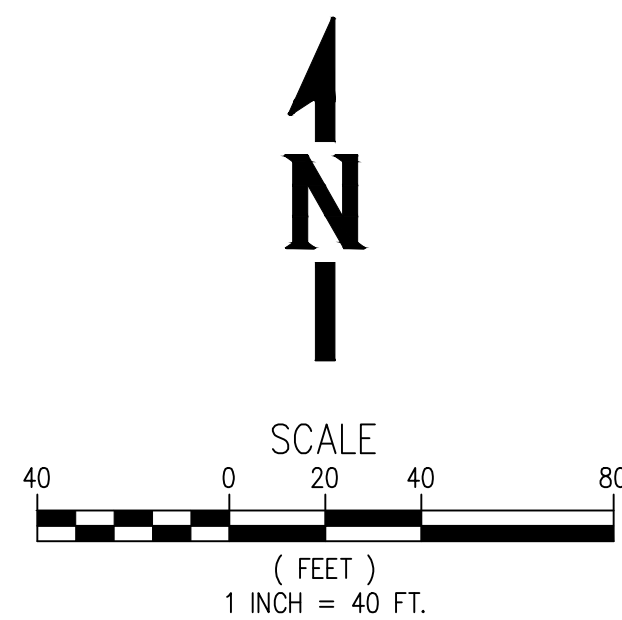
HYDROLOGIC STUDY CONCLUSION
 THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE SITE IS 7.60 CFS & 0.259 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE SITE IS 8.52 CFS & 0.331 AC-FT SINCE MOST OF THE SURFACE RUNOFF WILL BE COLLECTED THROUGH THE DETENTION POND ONSITE -0.73 CFS & -0.025 AC-FT. THIS RESULTS IN A NET REDUCTION OF 0.44 CFS & 0.007 AC-FT FROM EXISTING TO PROPOSED CONDITIONS. THE PROPOSED PARKING LOT ADDITION WILL HAVE NO IMPACT ON THE DOWNSTREAM AREAS SINCE THE RUNOFF AND DISCHARGE ARE LESS FROM THE PRE-DEVELOPED TO DEVELOPED CONDITION.

THE DETENTION POND HAVE BEEN DEVELOPED ON SITE FOR TWO REASONS:
 1) TO MITIGATE STORM WATER RUNOFF FROM EXISTING TO PROPOSED CONDITION.
 2) TO MANGE 90TH PERCENTILE STORM EVENT FIRST FLUSH GENERATED BY CONTRIBUTING IMPERVIOUS SURFACES.

100-YR & 90th PERCENTILE STORM EVENTS HYDROLOGIC CALCULATIONS

BASIN	AREA (ACRES)	LAND TREATMENT				UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (%)	100-YR			90th Percentile Storm Events		
		A (%)	B (%)	C (%)	D (%)			PEAK DISCHARGE (CFS)	VOLUME (AC-FT)	Stormwater Quality Volume	90th Percentile Storm (IN)	VOLUME (AC-FT)	
EXISTING CONDITIONS													
EX 1	1.97	0.0	0.0	70.0	30.0	3.44	1.42	6.77	0.23				N/A
EX 2	0.29	0.0	0.0	55.0	31.0	14.0	2.85	1.09	0.83	0.03			N/A
TOTALS	2.26							7.60	0.259				
PROPOSED CONDITIONS													
PRO. 1	1.97	0.0	0.0	45.0	55.0	3.76	1.75	7.41	0.29			0.42	0.038
PRO. 2	0.29	0.0	0.0	38.0	62.0	3.85	1.84	1.12	0.044			0.42	0.006
TOTALS	2.26							8.52	0.331				0.044
PROPOSED VS. EXISTING DIFFERENCE (Basin 1)								0.64	0.053				
PROPOSED VS. EXISTING DIFFERENCE (Basin 2)								0.29	0.018				
PROPOSED VS. EXISTING DIFFERENCE (OVERALL)								0.92	0.071				

REFERENCE:
 ARTICLE 6-2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, CITY OF ALBUQUERQUE, EFFECTIVE AS OF JUNE 8, 2020
 ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE DEFINES THE 90TH PERCENTILE STORM EVENT AS 0.42 INCHES.
 PRECIPITATION ZONES = ZONE 2



EXISTING DRAINAGE PLAN
 Scale: 1" = 40'

AS BUILT INFORMATION

Contractor	Date
Work Shaded By	Date
Approved By	Date
Field Checked By	Date
Revised By	Date
Checked By	Date
Recorded By	Date

BENCH MARKS

No.	Date

SURVEY INFORMATION

Field Notes	Date



STAMP & SIGNATURE

No.	Date

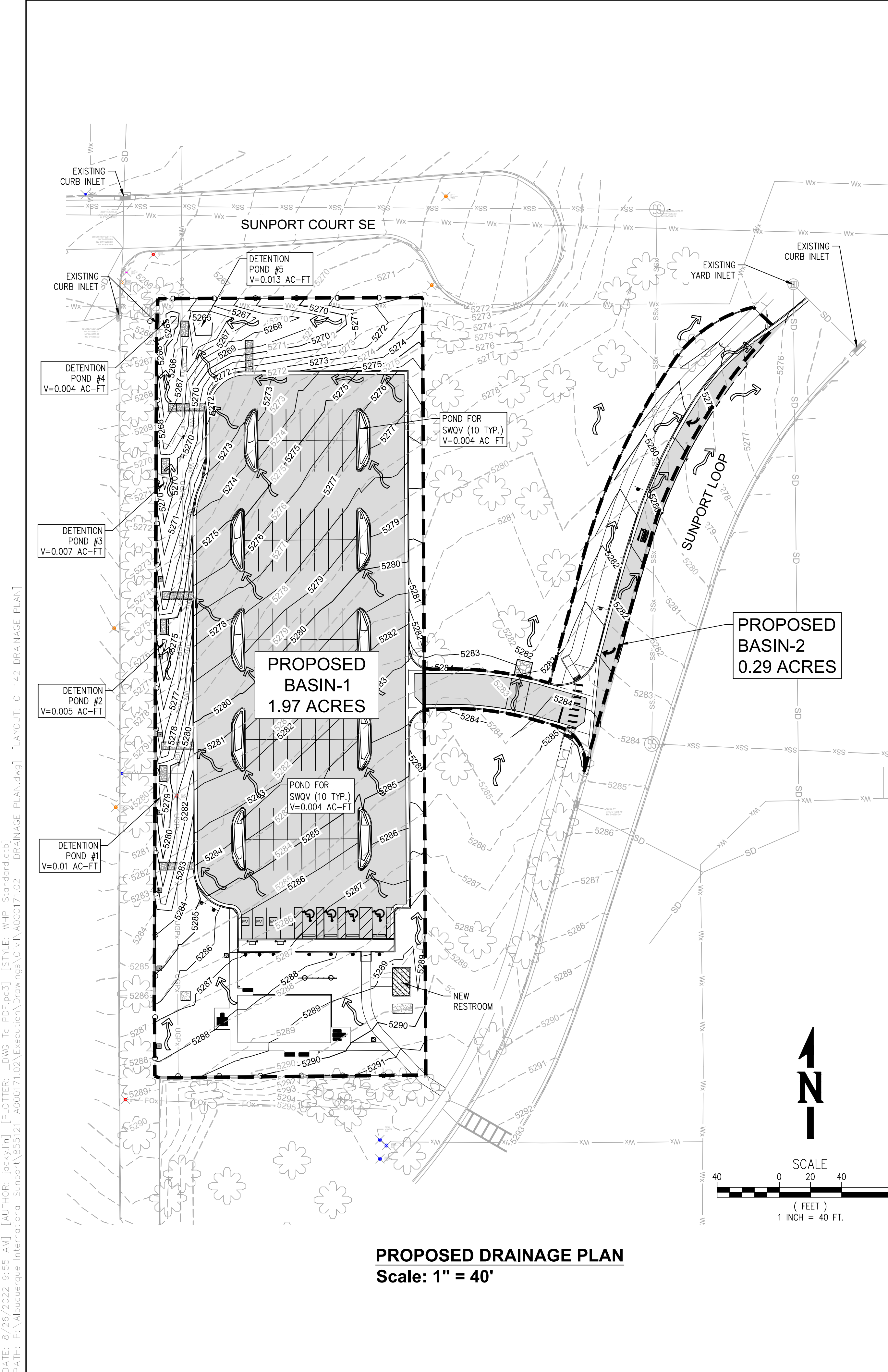


CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

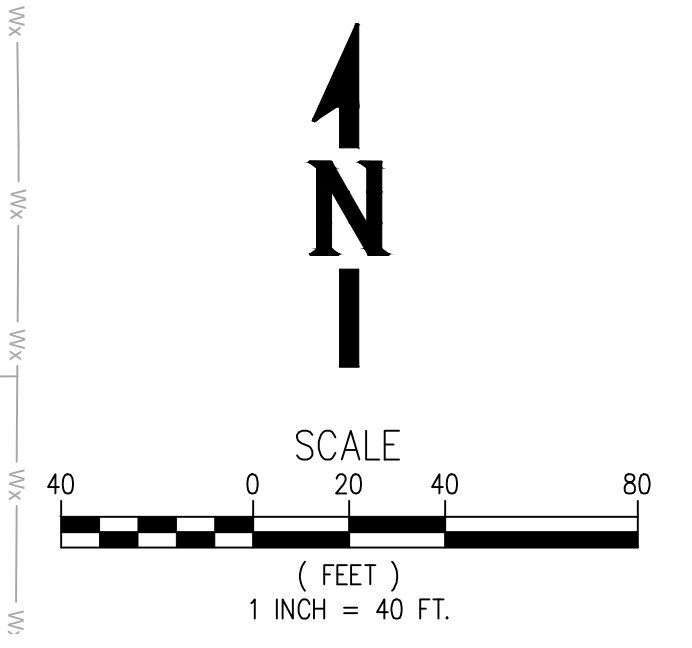
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.

City Project No. 6564.00-T4 Zone Map No. M-16 Drawing No. C-141 Sheet Of



PROPOSED DRAINAGE PLAN
Scale: 1" = 40'



100-YR & 90th PERCENTILE STORM EVENTS HYDROLOGIC CALCULATIONS

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR			90th Percentile Storm Events		VOLUME (AC-FT)
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	Stormwater Quality Volume	
EXISTING CONDITIONS											
EX 1	1.97	0.0	0.0	70.0	30.0	3.44	1.42	6.77	0.23		N/A
EX 2	0.29	0.0	55.0	31.0	14.0	2.85	1.09	0.83	0.03		N/A
TOTALS	2.26							7.60	0.259		
PROPOSED CONDITIONS											
PRO. 1	1.97	0.0	0.0	45.0	55.0	3.76	1.75	7.41	0.29	0.42	0.038
PRO. 2	0.29	0.0	0.0	38.0	62.0	3.85	1.84	1.12	0.044	0.42	0.006
TOTALS	2.26							8.52	0.331		0.044
PROPOSED VS. EXISTING DIFFERENCE (Basin 1)								0.64	0.053		
PROPOSED VS. EXISTING DIFFERENCE (Basin 2)								0.29	0.018		
PROPOSED VS. EXISTING DIFFERENCE (OVERALL)								0.92	0.071		

REFERENCE:
ARTICLE 6-2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, CITY OF ALBUQUERQUE, EFFECTIVE AS OF JUNE 8, 2020
ARTICLE 6-12 STORMWATER QUALITY, DRAINAGE ORDINANCE DEFINES THE 90th PERCENTILE STORM EVENT AS 0.42 INCHES.
PRECIPITATION ZONES = ZONE 2

LEGAL DESCRIPTION
SUNPORT MUNICIPAL ADDITION, TRACTS A, B, C, D, E, F, G, H, J, K, L AND M.
A REPLAT OF LANDS OF ALBUQUERQUE INTERNATIONAL AIRPORT, JULY, 2002

DRAINAGE BASIN AREA
2.26 ACRE; 98,445.60 SF

FLOOD ZONE DESIGNATION
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0361G DATED 9/26/2008.

DRAINAGE CRITERIA
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL ARTICLE 6-2, HYDROLOGY'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.
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SITE DRAINAGE TRENDED TO THE NORTHWEST CORNER FROM THE PROJECT SITE AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 6-8%. THERE WAS EXISTING ASPHALT CURB & PAVEMENT ALONG THE WEST OF THE PROPERTY BOUNDARY, AND CARRY THE FLOW TO AN EXISTING CURB INLET LOCATED NORTHWEST CORNER OF THE PROJECT SITE.
SITE DRAINAGE FROM THE EXISTING LAWN ARE TRENDED TO FLOW NORTH TO EXISTING YARD INLET AND EXISTING CURB INLET WITHIN EAST SIDE OF SUNPORT LOOP.
ALL DRAINAGE GOING TO THE CITY OF ALBUQUERQUE STORM DRAIN SYSTEM. SEE EXISTING DRAINAGE PLAN FOR EXISTING BASINS.

PROPOSED CONDITIONS
THE PROPOSED SITE IMPROVEMENTS FOR THE SITE WILL CONSIST OF A NEW PAVED PARKING LOT FOR "CELL PHONE LOT" WITH FLIGHT INFORMATION DISPLAY BOARD, PRE-FABRICATED RESTROOM WITH LANDSCAPING AND ONSITE PARKING LIGHTS BOUNDARY WITH EXISTING CMU WALL AND NEW IRON FENCE.

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NET DISCHARGE (WITH POND) = -0.73 CFS, VOLUME = -0.025 AC-FT.

EX. BASIN 2 DISCHARGE TO EXISTING STORM INLETS ON SUNPORT LOOP: DISCHARGE = 0.83 CFS, VOLUME = 0.03 AC-FT.
PROPOSED BASIN 2 DISCHARGE TO EXISTING STORM INLETS ON SUNPORT LOOP: DISCHARGE = 1.12 CFS, VOLUME = 0.04 AC-FT.
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NET CHANGE FOR BOTH BASINS:
BASIN 1: -0.73 CFS, VOLUME = -0.025 AC-FT
BASIN 2: +0.29 CFS, VOLUME = +0.018 AC-FT
NET: -0.44 CFS, VOLUME = -0.007 AC-FT.

HYDROLOGIC STUDY CONCLUSION
THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE SITE IS 7.60 CFS & 0.259 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE SITE IS 8.52 CFS & 0.331 AC-FT SINCE MOST OF THE SURFACE RUNOFF WILL BE COLLECTED THROUGH THE DETENTION POND ONSITE -0.73 CFS & -0.025 AC-FT. THIS RESULTS IN A NET REDUCTION OF 0.44 CFS & 0.007 AC-FT FROM EXISTING TO PROPOSED CONDITIONS. THE PROPOSED PARKING LOT ADDITION WILL HAVE NO IMPACT ON THE DOWNSTREAM AREAS SINCE THE RUNOFF AND DISCHARGE ARE LESS FROM THE PRE-DEVELOPED TO DEVELOPED CONDITION.

THE DETENTION POND HAVE BEEN DEVELOPED ON SITE FOR TWO REASONS:
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2) TO MANGE 90th PERCENTILE STORM EVENT FIRST FLUSH GENERATED BY CONTRIBUTING IMPERVIOUS SURFACES.

DETENTION POND - Parking Island (Each)

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5284.0	20	0	0.00	0	0.00
5285	150	85	0.002	85	0.002
5285.5	185	84	0.002	169	0.004
TOTAL STORAGE				169	0.004

Total of 10 Parking Island (Same Storage Area) Total 0.04

DETENTION POND - 1

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5279.0	60	0	0.00	0	0.00
5280	375	218	0.005	218	0.005
5280.5	560	234	0.01	451	0.010
TOTAL STORAGE				451	0.010

DETENTION POND - 2

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5274.0	15	0	0.00	0	0.00
5275	185	100	0.002	100	0.002
5275.5	340	131	0.00	231	0.005
TOTAL STORAGE				231	0.005

DETENTION POND - 3

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5269.0	15	0	0.00	0	0.00
5270	225	120	0.003	120	0.003
5270.5	430	164	0.00	284	0.007
TOTAL STORAGE				284	0.007

DETENTION POND - 4

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5264.0	15	0	0.00	0	0.00
5265	135	75	0.002	75	0.002
5265.5	315	113	0.00	188	0.004
TOTAL STORAGE				188	0.004

DETENTION POND - 5

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5265.0	130	0	0.00	0	0.00
5266	460	295	0.007	295	0.007
5266.5	610	268	0.01	563	0.013
TOTAL STORAGE				563	0.013



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT
CELL PHONE PARKING LOT
DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-142	Sheet Of

AS BUILT INFORMATION

Contractor	Work Shaded By	Date
Approved By	Approved By	Date
Field Checked By	Field Checked By	Date
Reviewed By	Reviewed By	Date
Checked By	Checked By	Date

MICRO-FILM INFORMATION

No.	Date

BENCH MARKS

No.	Date

STAMP & SIGNATURE

Field Notes

REVISIONS

No.	Date	Remarks	By

DESIGN

Designed By: _____ Date: _____

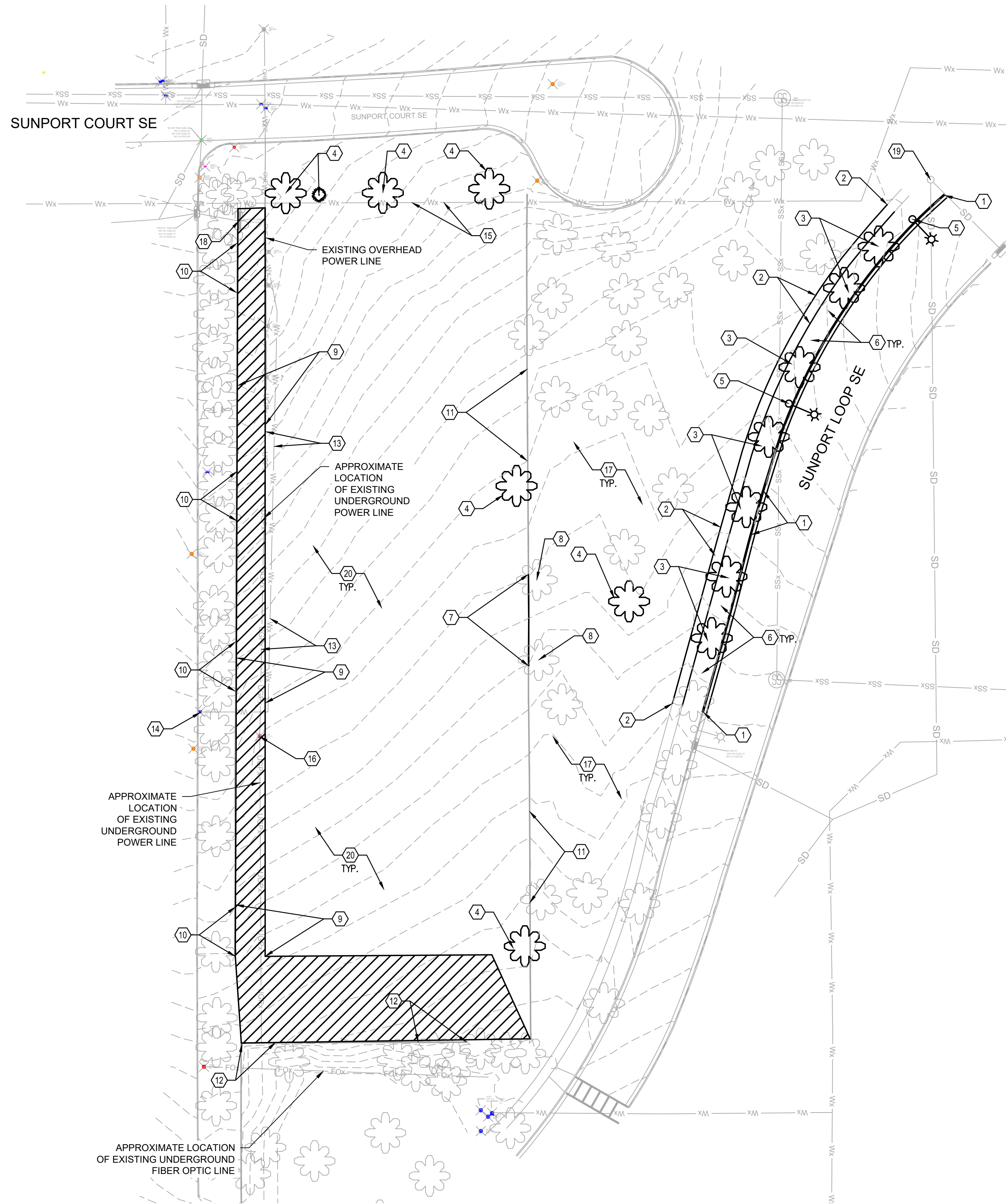
Drawn By: _____ Date: _____

Checked By: _____ Date: _____

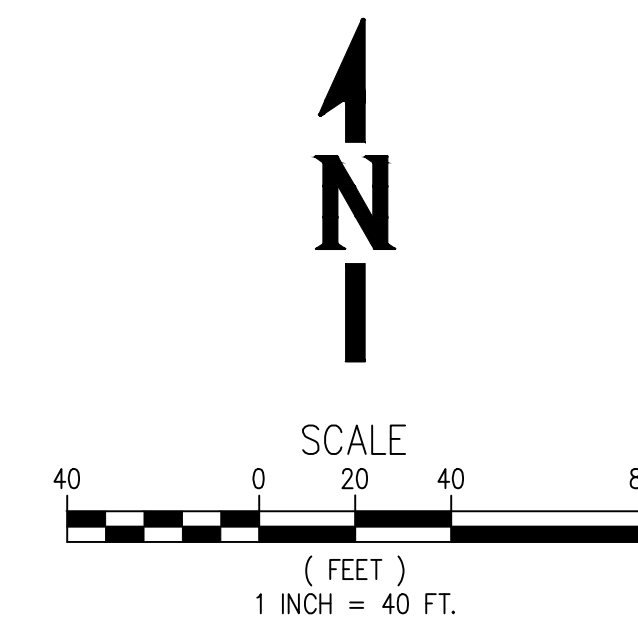
MINXUAN LIN
NEW MEXICO
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9-26-2022
PROFESSIONAL ENGINEER

[DATE: 8/26/2022 9:55 AM] [AUTHOR: jckvlin] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [LAYOUT: C-142 DRAINAGE PLAN] [PATH: P:\Albuquerque International Sunport\6564\2\Execution\Drawings\Civil\A00017102 - DRAINAGE PLAN.dwg]

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DEMOLITION PLAN - AIS CELL PHONE LOT



GENERAL NOTES:

- EXISTING UTILITY LINES SHALL BE BLUE STAKED PRIOR TO EXCAVATION. CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION.
- EXISTING BENCHMARKS SHALL BE PROTECTED AND/OR MODIFIED PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- ALL MATERIALS SHALL BE REMOVED AND HANDLED PER CITY OF ALBUQUERQUE ENVIRONMENTAL REGULATIONS, CONTRACTOR SHALL COORDINATE WITH OWNER FOR MATERIAL TO BE SALVAGED, AND TO DISPOSE ALL MATERIAL TO AN APPROVED LANDFILL.
- ANY DAMAGE TO SITE FEATURES NOT INDICATED FOR DEMOLITION ON THIS SITE OR ON THE SURROUNDING PROPERTIES SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
- DEMO & REMOVE EXISTING CONCRETE CURB & GUTTER, SIDEWALK TO NEAREST JOINT, UNLESS OTHERWISE NOTED.

KEYNOTES:

- DEMO, REMOVE & DISPOSE EXISTING CONCRETE CURB & GUTTER.
- DEMO, REMOVE & DISPOSE EXISTING CONCRETE SIDEWALK.
- DEMO, REMOVE & DISPOSE EXISTING TREE ALONG EXISTING LANDSCAPE BUFFER. CONTRACTOR TO FIELD VERIFY NUMBER OF TREE TO BE REMOVE.
- DEMO, REMOVE & DISPOSE EXISTING TREE, TREE STUMP AND SHRUBS.
- EXISTING STREET LIGHT AND ELECTRICAL LINE AND PULL BOXES TO RELOCATE WITHIN NEW RIGHT TURN LAND, SEE ELECTRICAL PLAN FOR NEW LOCATION.
- ALL EXISTING STREET TRAFFIC SIGNS ALONG LANDSCAPE BUFFER TO RELOCATE BEHIND NEW CURB & GUTTER.
- DEMO & REMOVE EXISTING CMU WALL FOR NEW ENTRANCE DRIVE.
- EXISTING TREE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- SAWCUT FROM EXISTING EDGE OF ASPHALT CURB. DEMO, REMOVE & DISPOSE EXISTING ASPHALT CONCRETE. CONTRACTOR TO FIELD VERIFY AMOUNT OF ASPHALT REMOVAL.
- EXISTING ASPHALT CURB TO REMAIN.
- EXISTING CMU WALL TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING CMU RETAINING WALL TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING UNDERGROUND POWER LINE AND WATER LINE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING FIRE HYDRANT TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING RECLAIM WATER LINE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING ELECTRICAL MANHOLE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- SEE IRRIGATION & LANDSCAPE PLAN FOR EXISTING LANDSCAPING & IRRIGATION LINE DEMOLITION.
- EXISTING STORM CURB INLET TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING STORM YARD GRATE INLET TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- CLEAR & GRUB EXISTING VEGETATION AND REMOVE EXISTING ASPHALT CONCRETE IN PROJECT SITE.



AS BUILT INFORMATION	
Contractor	Date
Work Staked By	Date
Approved By	Date
Field Notes By	Date
Checked By	Date
Recorded By	Date
MICRO-FILM INFORMATION	
No.	Date

SURVEY INFORMATION	
Field Notes By	Date
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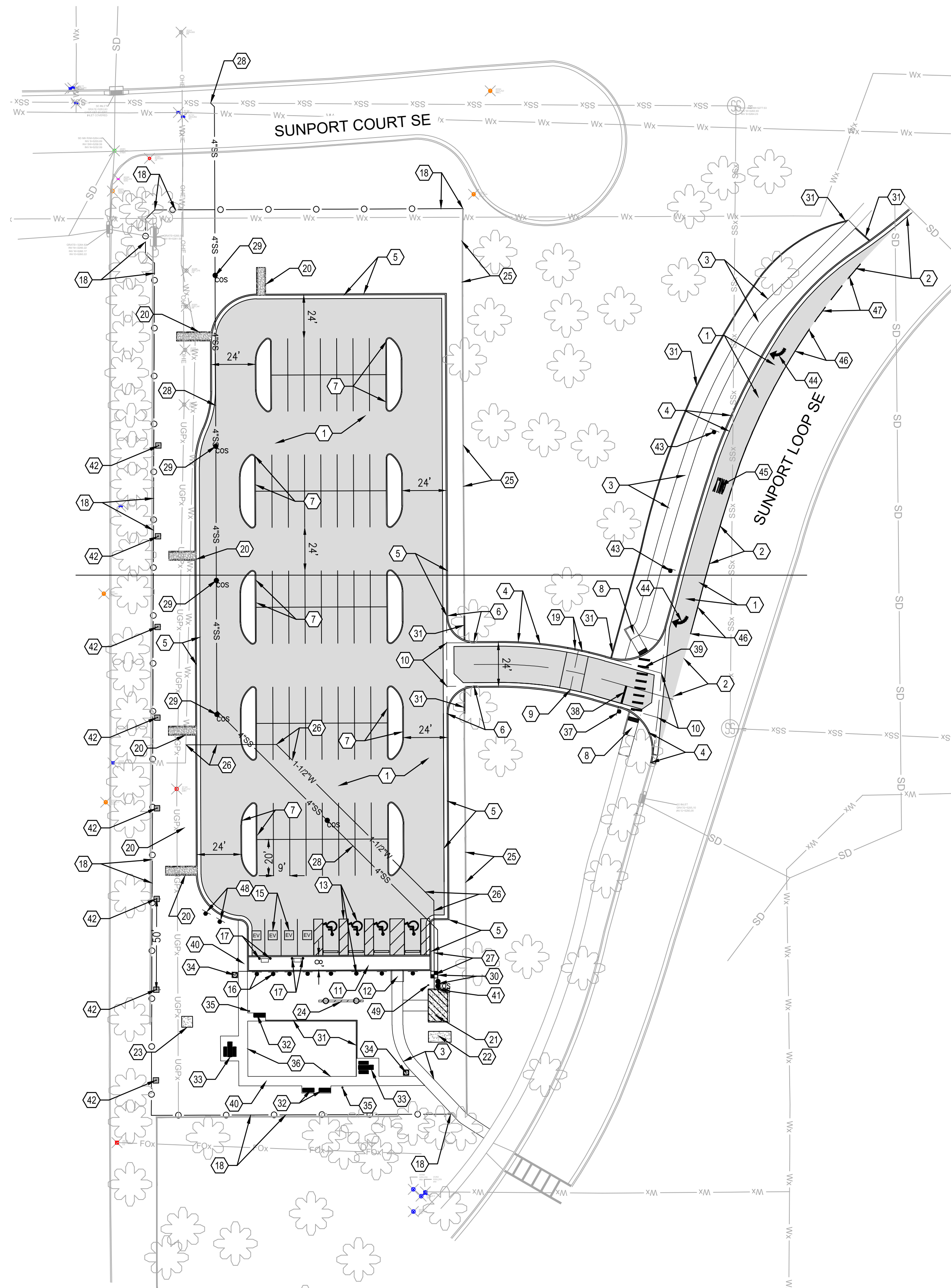
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8/26/2022	BNFB/PL

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT DEMOLITION PLAN			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-101	Sheet Of



KEYNOTES:

1. CONSTRUCT ASPHALT PAVEMENT PER DETAIL 1, SHEET C-501.
2. SAWCUT EXISTING ASPHALT PAVEMENT & MATCH NEW ASPHALT PER DETAIL 2, SHEET C-501.
3. CONSTRUCT 6' WIDE CONCRETE SIDEWALK PER DETAIL 3, SHEET C-501.
4. CONSTRUCT 8" STANDARD CURB & GUTTER PER DETAIL 1, SHEET C-502. COA STD. DWG. 2415A.
5. CONSTRUCT 6" (MODIFIED) STANDARD CURB & GUTTER PER DETAIL 1, SHEET C-502.
6. INSTALL CURB TRANSITION FROM 8" TO 6" CURB & GUTTER.
7. CONSTRUCT 6" HEADER CURB PER DETAIL 2, SHEET C-502. COA STANDARD DWG. 2415B.
8. CONSTRUCT CONCRETE CURB RAMPS PER DETAIL 1 & 2, SHEET C-503. COA STANDARD DWGS.
9. CONSTRUCT 6' WIDE CONCRETE CROSS VALLEY GUTTER AND DEPRESSED CURB PER DETAIL 3, SHEET C-503.
10. CONSTRUCT CONCRETE VALLEY GUTTER PER DETAIL 4, SHEET C-503.
11. INSTALL 8' WIDE CONCRETE SIDEWALK PER DETAIL 3, SHEET C-501.
12. CONSTRUCT HANDICAP PARKING CURB RAMP PER DETAIL 4 & 5, SHEET C-501.
13. INSTALL HANDICAP PARKING STRIPING, SYMBOLS AND SIGNS PER DETAIL 6, 7 & 8, SHEET C-501.
14. INSTALL PARKING SPACE STRIPING PER DETAIL 6, SHEET C-501. (TYPICAL)
15. INSTALL "ELECTRICAL VEHICLE" PARKING SPACE SYMBOL - (4) TYPICAL.
16. INSTALL "ELECTRICAL VEHICLE CHARGE PARKING ONLY" SIGNS - (4) TYPICAL.
17. INSTALL (2) BOLLARDS EACH SIDE OF ELECTRIC CAR CHARGING STATION PER DETAIL 9, SHEET C-501. SEE ELECTRICAL PLAN FOR CHARGING STATION DETAILS.
18. INSTALL 6' HEIGHT WROUGHT IRON FENCE PER DETAIL 6, SHEET C-502 OR APPROVAL EQUAL.
19. INSTALL 4' WIDE CURB OPENING PER DETAIL 3, SHEET C-502.
20. CONSTRUCT 4' WIDE CONCRETE RUNDOWN PER DETAIL 5, SHEET C-502.
21. CONSTRUCT 18'-6" X 11'-8" CONCRETE FOUNDATION PAD FOR PREFABRICATED RESTROOM. SEE STRUCTURAL PLAN DETAIL A3, SHEET S-101 FOR FOUNDATION DETAIL & ARCHITECTURE SPECIFICATION FOR RESTROOM DETAILS.
22. CONSTRUCT 6' X 12'-6" CONCRETE EQUIPMENT PAD PER PNM STANDARD DETAIL FOR TRANSFORMER. SEE ELECTRICAL PLAN FOR DETAILS.
23. CONSTRUCT 6' X 6" CONCRETE EQUIPMENT PAD PER PNM STANDARD DETAIL FOR ELECTRICAL SWITCH GEAR. SEE ELECTRICAL PLAN FOR DETAILS.
24. NEW 24'-0" WIDE FLIGHT INFORMATION DISPLAY BOARD. SEE SPECIFICATIONS FOR DETAILS. SEE STRUCTURAL PLAN DETAIL A1 & B1, SHEET S-101 FOR FOUNDATION AND SIGN STRUCTURAL ELEVATION DETAILS. SEE ELECTRICAL PLAN FOR POWER REQUIREMENTS.
25. EXISTING CMU WALL TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
26. INSTALL 1-1/2" WATER SERVICE LINE PER DETAIL 1, SHEET C-504. PROPOSED TIE-IN CONNECTION TO EXISTING 6" WATER LINE.
27. INSTALL 1" WATER METER & BOX PER DETAIL 1 & 2, SHEET C-504. ENCASE 30'-0" LF OF NEW WATER SERVICE LINE IN 25 MIL POLYETHYLENE SLEEVE FROM BUILDING FOUNDATION.
28. CONNECTION POINT TO EXISTING SEWER MAIN, INSTALL 4" SEWER SERVICE LINE PER DETAIL 3, SHEET C-504. REMOVE & REPLACE EXISTING ASPHALT, CURB & GUTTER FOR SEWER SERVICE LINE CONSTRUCTION.
29. INSTALL SINGLE SEWER CLEANOUT.
30. INSTALL DOUBLE SEWER CLEANOUT. INSTALL 30'-0" OF CONCRETE ENCASEMENT FOR SEWER SERVICE LINE FROM BUILDING FOUNDATION PER DETAIL 4, SHEET C-504. COA STANDARD DWG. 2140.
31. CONSTRUCT 6" CONCRETE MOW CURB PER COA STD. DWG. #2726.
32. FURNISH AND INSTALL 6' STEEL BENCH WITH BACKREST, MODEL 58-60 BY DUMOR, AVAILABLE FROM EXERPLAY, INC. (505) 280-0208, IN STANDARD POWDER COAT COLOR OPTION 'SUDAN' WITH VERTICAL STEEL STRAP TOP AND INTERMEDIATE ARM RESTS. (OR APPROVED EQUIVALENT) SURFACE MOUNT WITH STAINLESS STEEL SEISMIC WEDGE ANCHORS, MINIMUM LENGTH: 5". ANCHOR DIAMETER TO MATCH ANCHOR HOLES ON FURNISHING ANCHOR POINTS. SECURE WITH BREAKAWAY NUTS.
33. FURNISH AND INSTALL 8' STEEL ACCESSIBLE PICNIC TABLE MODEL 443-82 BY DUMOR, AVAILABLE FROM EXERPLAY, INC. (505) 280-0208, IN STANDARD POWDER COAT COLOR OPTION 'SUDAN' WITH VERTICAL STEEL STRAP TOP AND SEAT. (OR APPROVED EQUIVALENT) SURFACE MOUNT WITH STAINLESS STEEL SEISMIC WEDGE ANCHORS, MINIMUM LENGTH: 5". ANCHOR DIAMETER TO MATCH ANCHOR HOLES ON FURNISHING ANCHOR POINTS. SECURE WITH BREAKAWAY NUTS.
34. FURNISH AND INSTALL WASTE RECEPTACLE, MODEL SHALL BE SECURR HS55 BY BEARSAVER, (888)671-7066, IN FOREST BROWN. (OR APPROVED EQUIVALENT) SURFACE MOUNT TO 36" X 36" CONCRETE SLAB CONSTRUCTED PER COA STD DWG #2425 WITH STAINLESS STEEL SEISMIC WEDGE ANCHORS, MINIMUM LENGTH: 5". ANCHOR DIAMETER TO MATCH ANCHOR HOLES ON FURNISHING ANCHOR POINTS. SECURE WITH BREAKAWAY NUTS.
35. FURNISH AND INSTALL PET WASTE STATION. WASTE STATION SHALL BE MODEL E3, SUPERIOR PEST WASTE ELIMINATOR STATION AS AVAILABLE FROM PET WASTE ELIMINATOR CO., (800) 790-8896. (OR APPROVED EQUIVALENT) EMBED MOUNT PER MANUFACTURER'S SPECIFICATIONS.
36. CONSTRUCT 5' WIDE CONCRETE SIDEWALK WITH TURN-DOWN EDGE AT LAWN SIDE PER DETAIL 3, SHEET C-501.
37. INSTALL STOP SIGN.
38. INSTALL 10'-0" IN LENGTH STOP BAR STRIPING.
39. INSTALL 6'-0" IN LENGTH ROADWAY CROSSING STRIPING.
40. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER DETAIL 3, SHEET C-501.
41. INSTALL UTILITY TRENCH VENTING FOR LANDFILL GAS PER DETAIL 1, SHEET C-505.
42. INSTALL LANDFILL GAS MITIGATION WELL PER DETAIL 2, SHEET C-505. SPACED 50'-0" OF CENTER 1'-0" AWAY AND ALONG NEW WEST FENCE. (TOTAL OF 8 WELL).
43. RELOCATED EXISTING "PEDESTRIAN CROSSING" & SPEED LIMIT SIGNS.
44. INSTALL "RIGHT TURN" ARROW PAVEMENT STRIPING.
45. INSTALL "ONLY" PAVEMENT TRAFFIC STRIPING.
46. INSTALL 4" WHITE SOLID PAVEMENT STRIPING.
47. INSTALL 4" WHITE DASHED PAVEMENT STRIPING FOR RIGHT TURN LANE.
48. INSTALL NO OVERNIGHT PARKING SIGN PER DETAIL 1, SHEET C-121.
49. CONSTRUCT LFG MONITORING PROBE 2' AWAY FROM THE CORNER OF BUILDING PAD PER DETAIL 7, SHEET C-502.



SITE & UTILITY PLAN - AIS CELL PHONE LOT

GENERAL NOTES:

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES ON SITE.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVE WITH A MINIMUM AMOUNT OF DELAY.
5. ALL DIMENSIONS ARE SHOWN TO FACE OF CURB, EDGE OF SIDEWALK, CORNER OF BUILDING, CENTERLINE OF WALL & CENTERLINE OF FENCE UNLESS OTHERWISE NOTED.

PARKING SPACE SUMMARY

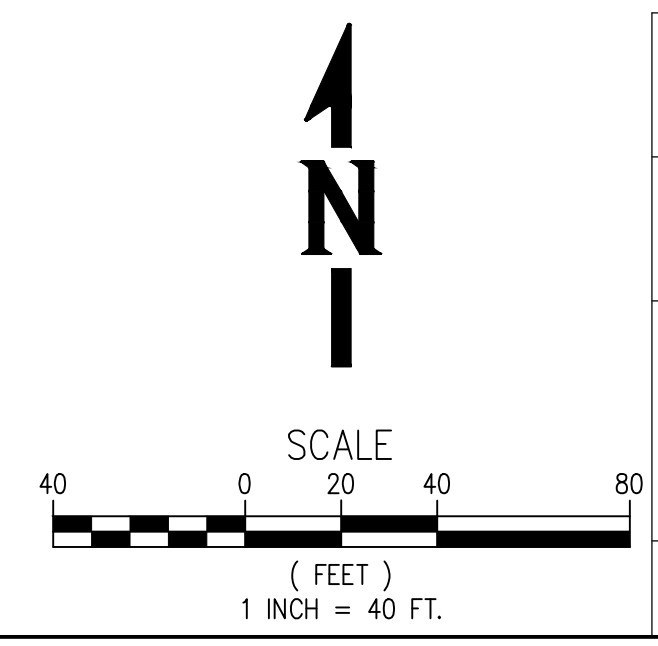
PARKING SPACE =
 78 - REGULAR SPACE (9'X20')
 4 - REGULAR SPACE (FOR EV, CHARGING STATION)
 4 - HANDICAP SPACE
 86 - TOTAL SPACES

NOTE: TOTAL PARKING SPACES 51-100,
 TOTAL REQUIRED ACCESSIBLE PARKING SPACES = 4
 NUMBER REQUIRED TO BE VAN ACCESSIBLE = 1
 (SOURCE: 2015 N.M. ACCESSIBLE PARKING CHECKLIST)

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Contractor	Work Shaded By	Date	Field Notes	No.	By	No.	By
	Approved By	Date					
	Field Notes	Date					
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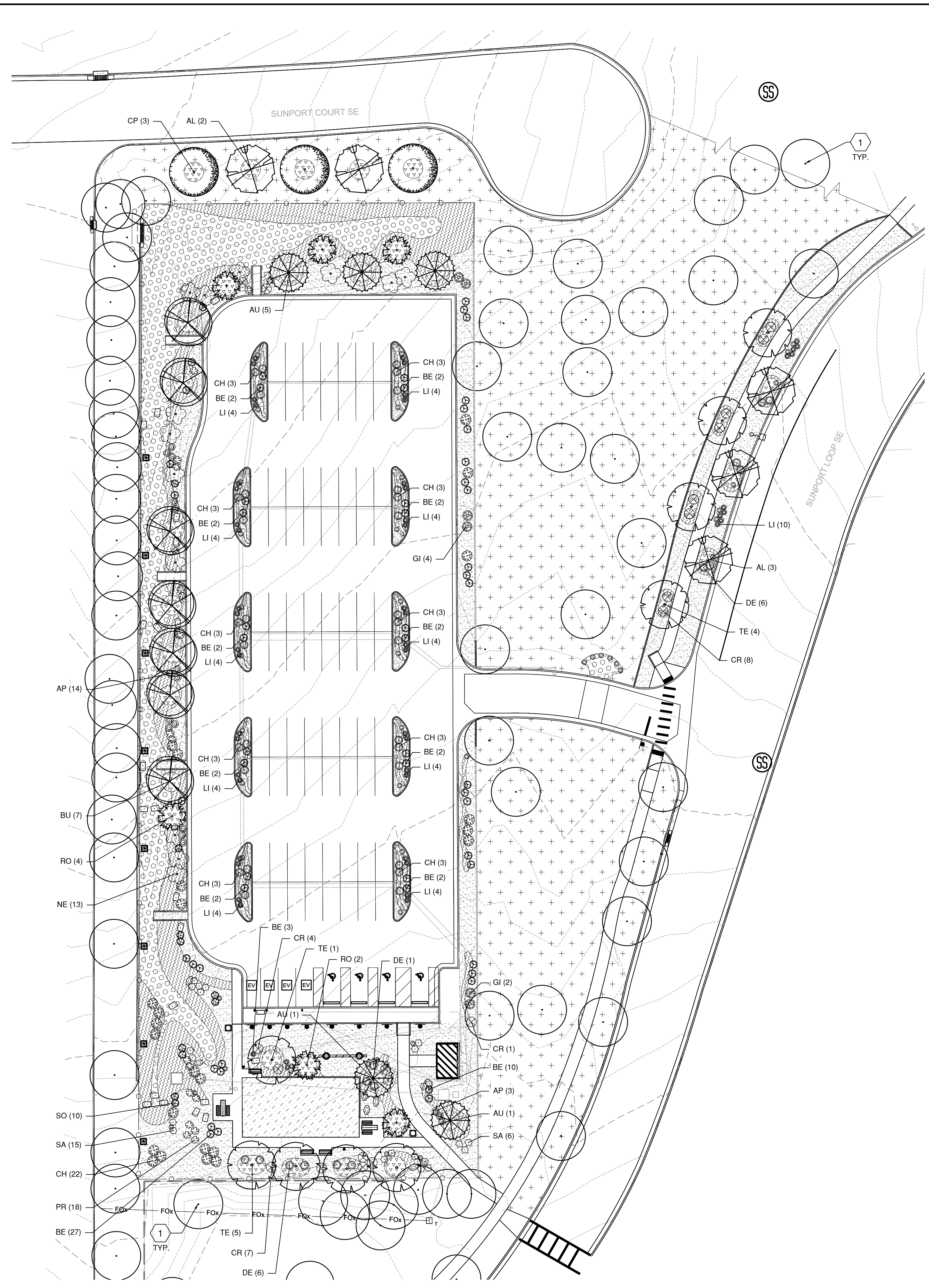


CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT OVERALL SITE PLAN			
Design Review Committee	City Engineer Approval	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. 6564.00-T4	Zone Map No. M-16	Drawing No. C-120	Sheet Of



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PLANT LEGEND

CODE	COMMON NAME	BOTANICAL NAME	QTY	MIN. INSTALLED SIZE	CONTAINER	MATURE SIZE
TREES						
AL	'ALLEE' ELM	ULMUS PARVIFOLIA 'EMER II'	5	2" CAL, 12'-14" HT	B&B	30' HT & SPD
AU	AUSTRIAN PINE	PINUS NIGRA	5	MIN 5' HT	B&B	30' HT & SPD
BU	BUBBA DESERT WILLOW	CHILOPSIS LINEARIS 'BUBBA'	7	2" CAL, 12'-14" HT	B&B	20' HT & SPD
CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3	MIN 9' HT. MULTI.	B&B	25' HT & SPD
RO	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM	6	MIN 5' HT	B&B	20' HT & SPD
TE	TEXAS RED OAK	QUERCUS BUCKLEYI	9	2" CAL, 12'-14" HT.	B&B	30' HT & SPD
SHRUBS						
AP	APACHE PLUME	FALLUGIA PARADOXA	17	MIN 18" HT	5-GAL	4' HT & SPD
BE	BEARGRASS	NOLINA MICROCARPA	57	MIN 18" HT	5-GAL	4' HT & SPD
CH	CHAMISA	CHRYSOTHAMNUS NAUSEOSUS	25	MIN 18" HT	5-GAL	5' HT & SPD
CR	CREEPING SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	20	MIN 18" SPD	5-GAL	2' HT X 5' SPD
DE	DEER GRASS	MUHLENBERGIA RIGENS	45	MIN 18" HT	5-GAL	4' HT & SPD
GI	GIANT SACATON	SPOROBOLUS WRIGHTII	6	MIN 18" SPD	5-GAL	5' HT X 5' SPD
LI	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	50	MIN 18" HT	5-GAL	2' HT & SPD
NE	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	13	MIN 4" HT	15-GAL	12' HT & SPD
PR	PRICKLY PEAR	OPUNTIA ENGELMANNII	18	MIN 18" HT	5-GAL	4' HT & SPD
SA	SAND SAGE	ARTEMISIA FILIFOLIA	23	MIN 12" HT	5-GAL	4' HT X 5' SPD
SO	SOTOL	DASYLERION WHEELERI	10	MIN 18" HT	5-GAL	4' HT & SPD

HATCH LEGEND

- ENGINEERED WOOD FIBER. SEE GENERAL NOTE B.
- REPAIR EXISTING LAWN AS NEEDED. SEE GENERAL NOTE C.
- 4" DEPTH 7/16" GRAVEL MULCH OVER FILTER FABRIC. SEE GENERAL NOTE D.
- 4" DEPTH 2-4" GRAVEL MULCH OVER FILTER FABRIC. SEE GENERAL NOTE E.
- 8" - 12" COBBLE MULCH OVER FILTER FABRIC. SEE GENERAL NOTE F.
- 4" DEPTH WOOD CHIP MULCH. SEE GENERAL NOTE G.
- BOULDERS. SEE GENERAL NOTE H.

GENERAL NOTES

1. EXISTING TREE TO REMAIN.

LANDSCAPE CALCULATIONS

ZONING	NR-C: COMMERCIAL
	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (SF)	179481
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	26922
LANDSCAPE PROVIDED (SF)	95409
VEGETATIVE COVER (% - REQ)	75.0
VEGETATIVE COVER (SF - REQ)	71557
VEGETATIVE COVER (SF - PROV.)	94122
GROUND COVER (% - REQ)	18.75
GROUND COVER (SF - REQ)	17889
GROUND COVER (SF - PROV.)	67820
PARKING LOT AREA (SF)	64560
REQ. PARKING LANDSCAPE 10% (SF)	6456
PROV. PARKING LANDSCAPE (SF)	45760
REQ. PARKING TREES (1/10 SPOTS)	9
PROV. PARKING TREES	10
COOL SEASON GRASS LAWN (SF-NEW)	0
COOL SEASON GRASS LAWN (SF-EXISTING)	49652

PLANT KEYED NOTES

- A. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES LISTED IN THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLANTING PLAN, QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID. ADDITIONAL PAYMENT WILL NOT BE MADE FOR ANY DISCREPANCY IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE.
- B. CONTRACTOR SHALL INSTALL 6" DEPTH OF ENGINEERED WOOD FIBER (EWF). EWF SHALL BE "TIMBER TOTS" AS AVAILABLE FROM OUT OF THE WOODS MANUFACTURING (505-877-0890). SEE NOTE K.
- C. CONTRACTOR SHALL REPAIR LAWN AREAS DAMAGED BY TRENCHING AND OTHER CONSTRUCTION ACTIVITIES BY SODDING THE AREAS ACCORDING TO COA STD. SPECIFICATIONS. SEE GENERAL NOTE B.
- D. CONTRACTOR SHALL INSTALL A 4" DEPTH OF 7/16" "LUCY GOLD" GRAVEL MULCH AS AVAILABLE FROM RESTORATION GROUP INC (505-294-1470). INSTALL MULCH OVER OVER FILTER FABRIC, MIN. 3 OZ/SY NONWOVEN NEEDLE PUNCHED POLYPROPYLENE (MIRAFI MSCALE OR EQUIVALENT). OVERLAP FABRIC ENDS 3", TURN DOWN EDGES 6". TOP OF GRAVEL MULCH SHALL BE 1" BELOW TOP OF ADJACENT PAVING. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- E. CONTRACTOR SHALL INSTALL A 4" DEPTH OF 2-4" "ROSESTONE" GRAVEL MULCH AS AVAILABLE FROM VULCAN MATERIALS (505-343-7800). INSTALL MULCH OVER OVER FILTER FABRIC, MIN. 3 OZ/SY NONWOVEN NEEDLE PUNCHED POLYPROPYLENE (MIRAFI MSCALE OR EQUIVALENT). OVERLAP FABRIC ENDS 3", TURN DOWN EDGES 6". TOP OF GRAVEL MULCH SHALL BE 1" BELOW TOP OF ADJACENT PAVING. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL INSTALL A 12" DEPTH OF 8"-12" "COYOTE MIST" COBBLE MULCH AS AVAILABLE FROM JPR GRAVEL (505-877-4913). INSTALL MULCH OVER OVER FILTER FABRIC, MIN. 3 OZ/SY NONWOVEN NEEDLE PUNCHED POLYPROPYLENE (MIRAFI MSCALE OR EQUIVALENT). OVERLAP FABRIC ENDS 3", TURN DOWN EDGES 6". TOP OF COBBLE MULCH SHALL BE 1" BELOW TOP OF ADJACENT PAVING. PROVIDE SAMPLE OF GRAVEL MULCH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- G. CONTRACTOR SHALL INSTALL A 4" DEPTH OF WOOD CHIP MULCH PER IDO 14-16-5-6(C)(5)(E). MULCH SHALL BE "WOOD MULCH" AS AVAILABLE FROM SOLUTIONS (505-877-0220). SEE NOTE K.
- H. FURNISH AND INSTALL 12 - 24 CF BLUE SAIS BOULDER AS AVAILABLE FROM NEW MEXICO TRAVERTINE, (505) 864-6300. BURY 1/3 OF BOULDER VOLUME.
- I. IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE LISTED UNDER "CONTAINER" AND HEIGHT & SPREAD LISTED UNDER "INSTALLED SIZE", THE SPECIFIED PLANT SHALL MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "INSTALLED SIZE". IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, IT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- J. TREES SHALL BE PLANTED PER COA STD DWG 2714. PLANT TREES IN TURF PER COA STD DWG 2713 AND TREES ON SLOPES PER COA STD DWG 2715. SHRUBS SHALL BE PLANTED PER COA STD DWG 2716. PLANT SHRUBS ON SLOPES PER COA STD DWG 2717.
- K. WHERE WOOD MUGH AND/OR WOOD FIBER SURFACING ARE SPECIFIED, CONTRACTOR SHALL INSTALL MULCH/SURFACING TO THE DEPTH SPECIFIED. CONTRACTOR SHALL ALLOW MULCH TO SETTLE FOR MIN. 28 DAYS. AT THE END OF THE SETTLEMENT PERIOD, CONTRACTOR SHALL APPLY ADDITIONAL MATERIAL AS NECESSARY TO ACHIEVE THE SPECIFIED DEPTH.



AS BUILT INFORMATION

Contractor	Date
Work Shown By	Date
Approved By	Date
Field Checked By	Date
Reviewed By	Date
Checked By	Date

BENCH MARKS

No.	Date

SURVEY INFORMATION

Field Notes	Date
By	
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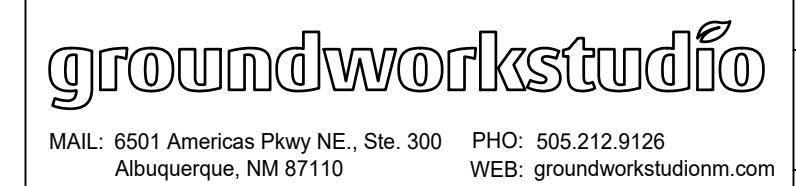


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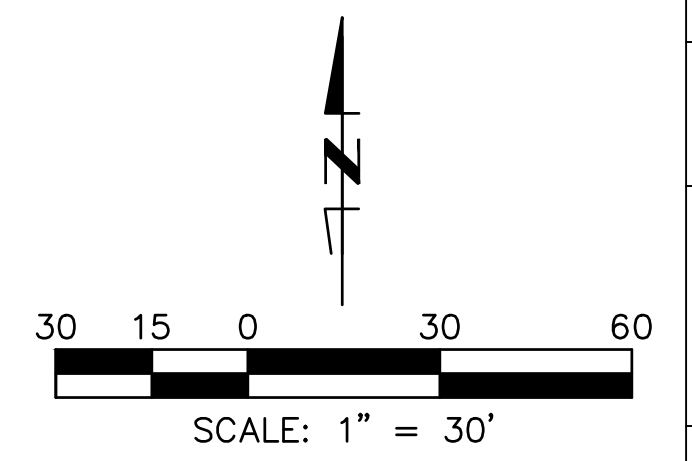
REVISIONS

No.	Date	By	Remarks



MAIL: 6501 Americas Pkwy NE, Ste. 300 PHO: 505.212.9126
 Albuquerque, NM 87110 WEB: groundworkstudio.com

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT CELL PHONE PARKING LOT LANDSCAPE PLANTING PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
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FINAL CONSTRUCTION - JULY 2022