

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 4, 2023

Minxuan Lin, PE  
ESA Construction, inc  
3435 Girard Blvd. NE  
Albuquerque, NM 87107

**Re: ABQ Sunport Rental Car Facility (Ready & Return Lot)/ 2200 Sunport Blvd. SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 06-15-2022 (M16-D024G)  
Certification dated 03-28-23

Dear Mr. Lin,

Based upon the information provided in your submittal received 03-15-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File

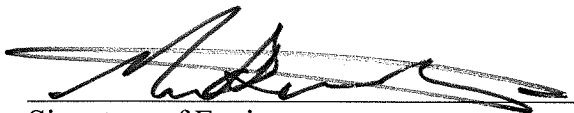
Subject: ABQ Sunport Rental Car Facility Ready & Return Lot, 2200 Sunport Blvd. SE (M16D024G)

### TRAFFIC CERTIFICATION

I, Minxuan Lin, NMPE NUMBER 20068, OF THE FIRM WHPacific Inc. an NV5 Company, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-15-2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Ian Looney OF THE FIRM ESA Construction Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON March 27, 2023, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ABQ Sunport Rental Car Facility Ready & Return Lot 2200 Sunport Blvd. SE (M16D024G) Site Inspection.

*LIST EXCEPTIONS, (none)*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer

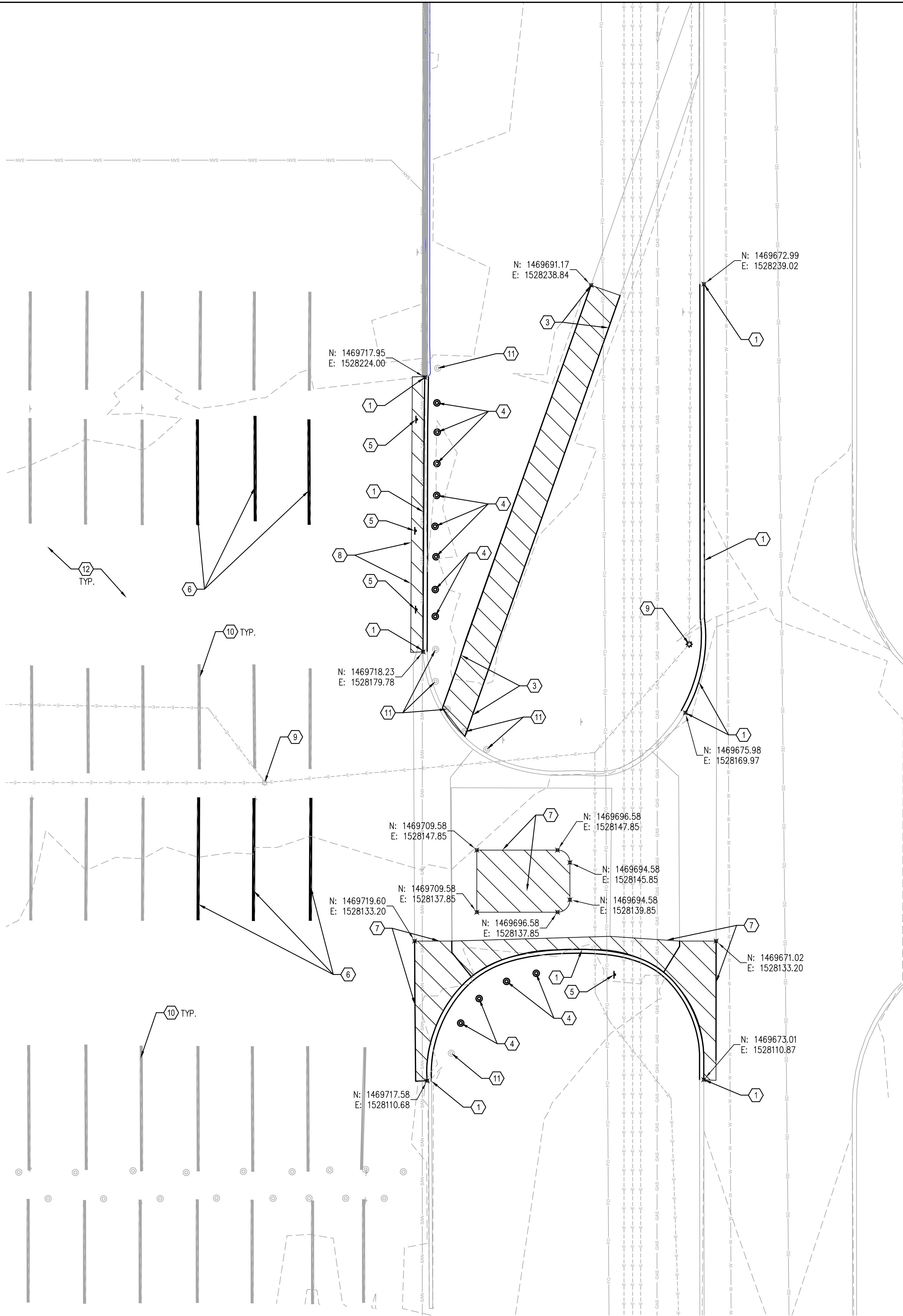
3-28-2023

Date



CC: Hartwell Briggs, RA  
Planning Manager, ABQ Aviation Department  
2200 Sunport Blvd  
Albuquerque, NM 87106  
[hbriggs@cabq.gov](mailto:hbriggs@cabq.gov)

[DATE: 10/22/2021 3:25 PM] [AUTHOR: jln] [PLOTTER: HP53] [STYLE: ---] [PAth: P:\Albuquerque International Sunport\229020-A000171.00\Execution\Drawings\Civil\Ready & Return Lot Design\2127017.06-C-101 DEMO PLAN.dwg] [LAYOUT: C-101 DEMO PLAN]



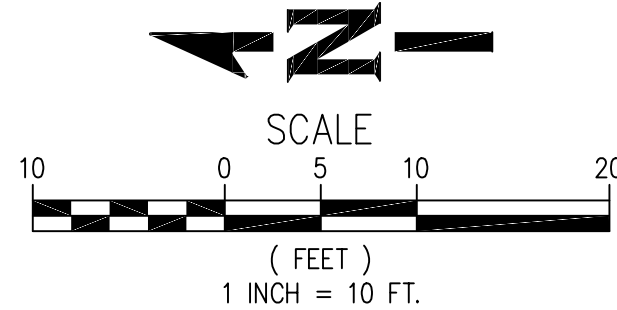
**GENERAL NOTES:**

1. ALL MATERIALS SHALL BE REMOVED AND HANDLED PER LOCAL ENVIRONMENTAL REGULATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR MATERIAL TO BE SALVAGED, AND TO DISPOSE ALL MATERIALS TO AN APPROVED LANDFILL.
2. ANY DAMAGE TO SITE FEATURES NOT INDICATED FOR DEMOLITION ON THIS SITE OR ON THE SURROUNDING PROPERTIES SHALL BE REPLACED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
3. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION PRIOR TO EXCAVATION.
4. CONTRACTOR TO CALL IN FOR UTILITY LINE LOCATES PRIOR TO ANY EXCAVATION.
5. ALL EXISTING UNDERGROUND UTILITIES LINES SHALL BE PROTECTED DURING DEMOLITION UNLESS OTHERWISE NOTED.

**KEYNOTES:**

1. DEMO, REMOVE & DISPOSE EXISTING CONCRETE CURB & GUTTER AND CONCRETE VALLEY GUTTER. REMOVE TO EXISTING NEAREST JOINT.
2. DEMO REMOVE & DISPOSE EXISTING CONCRETE DRIVEWAY PAVEMENT. REMOVE TO EXISTING NEAREST JOINT AS POSSIBLE.
3. DEMO, REMOVE & DISPOSE EXISTING CONCRETE SIDEWALK. REMOVE TO EXISTING NEAREST JOINT.
4. REMOVE & DISPOSE EXISTING STEEL BOLLARD AND BOLLARD FOUNDATION.
5. DEMO, REMOVE & DISPOSE EXISTING SIGN.
6. REMOVE EXISTING PARKING STRIPING.
7. SAWCUT, DEMO & REMOVE EXISTING CONCRETE DRIVEWAY AND VALLEY GUTTER, TO THE NEAREST JOINT.
8. SAWCUT & REMOVE EXISTING ASPHALT PAVEMENT.
9. DEMO EXISTING CONCRETE LIGHT POLE BASE. RELOCATE EXISTING LIGHT POLE AND INSTALL NEW CONCRETE BASE. SEE SITE PLAN AND ELECTRICAL PLAN FOR NEW LOCATION AND DETAILS.
10. EXISTING PARKING STRIPING TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
11. EXISTING BOLLARDS TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
12. SAWCUT, REMOVE & REPLACE EXISTING ASPHALT CONCRETE FOR NEW ELECTRICAL CONDUIT CONSTRUCTION. SEE ELECTRICAL SITE PLAN FOR TRENCH LOCATIONS.

**WHPacific**  
6501 Americas Pkwy NE, Suite 400  
Albuquerque, NM 87110  
505.247.0294 Fax 505.242.4845  
www.whpacific.com



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT RENTAL CAR FACILITY (RAC) - READY & RETURN LOT SITE DEMOLITION PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	
Last Design Update		Mo./Day/Yr.	
City Project No. 6564.00-16	Zone Map No. M-16	Drawing No. C-101	Sheet Of

FINAL DESIGN - OCTOBER 22, 2021

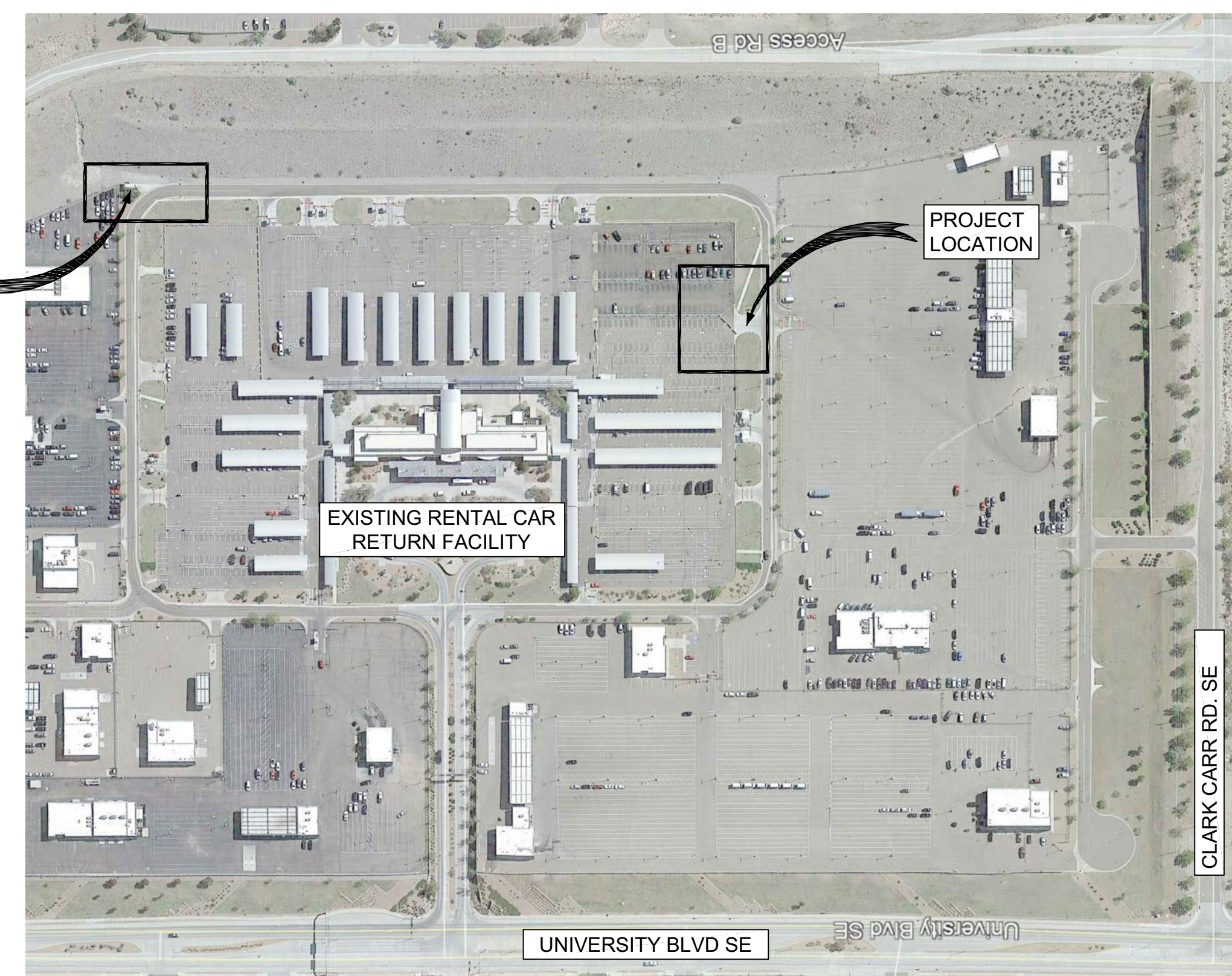
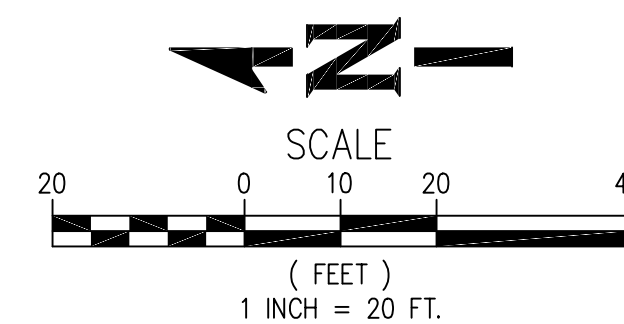
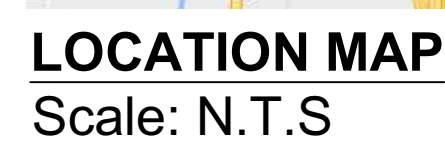
CITY OF ALBUQUERQUE  
PLANNING  
APPROVED  
The Approval of these plans shall not be construed as being a warranty or endorsement of any design or construction of this city.  
PERMIT # BP-2022-1032  
DATE: 06/15/22  
A printed copy of these plans shall be on the job site for all construction activities.

**ALBUQUERQUE INTERNATIONAL AIRPORT**  
**SUNPORT**

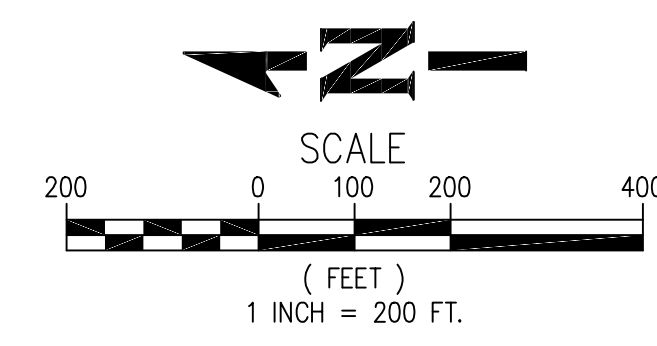
STAMP & SIGNATURE		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		Field Notes					
No.	Date	By	Date				
Remarks		By					
REVISIONS							
DESIGN							
Designed By:		Date:					
Drawn By:		Date:					
Checked By:		Date:					

**AS BUILT**





- ## KEYNOTES:
1. INSTALL 8' LONG X 12" WIDE WHITE STRIPING CROSS WALK SPACED 24" MAXIMUM FROM EXISTING SIDEWALK & ADA ACCESS RAMP UNDER CANOPY AREA FOR PEDESTRIAN ACCESS.
  2. INSTALL 20' LONG X 4" WIDE WHITE STRIPING FOR PARKING SPACES.
  3. RELOCATE EXISTING CONCRETE BARRIERS AS NECESSARY FOR NEW ENTRANCE CONSTRUCTION AND SPACE IT MINIMUM 4'-0" APART FOR PEDESTRIAN ACCESS.
  4. EXISTING CONCRETE BARRIERS TO REMAIN.
  5. INSTALL 3' STATIONARY STEEL BOLLARD PER COA STANDARD DETAIL DWG 2250. SPACED AT 9' MAXIMUM.



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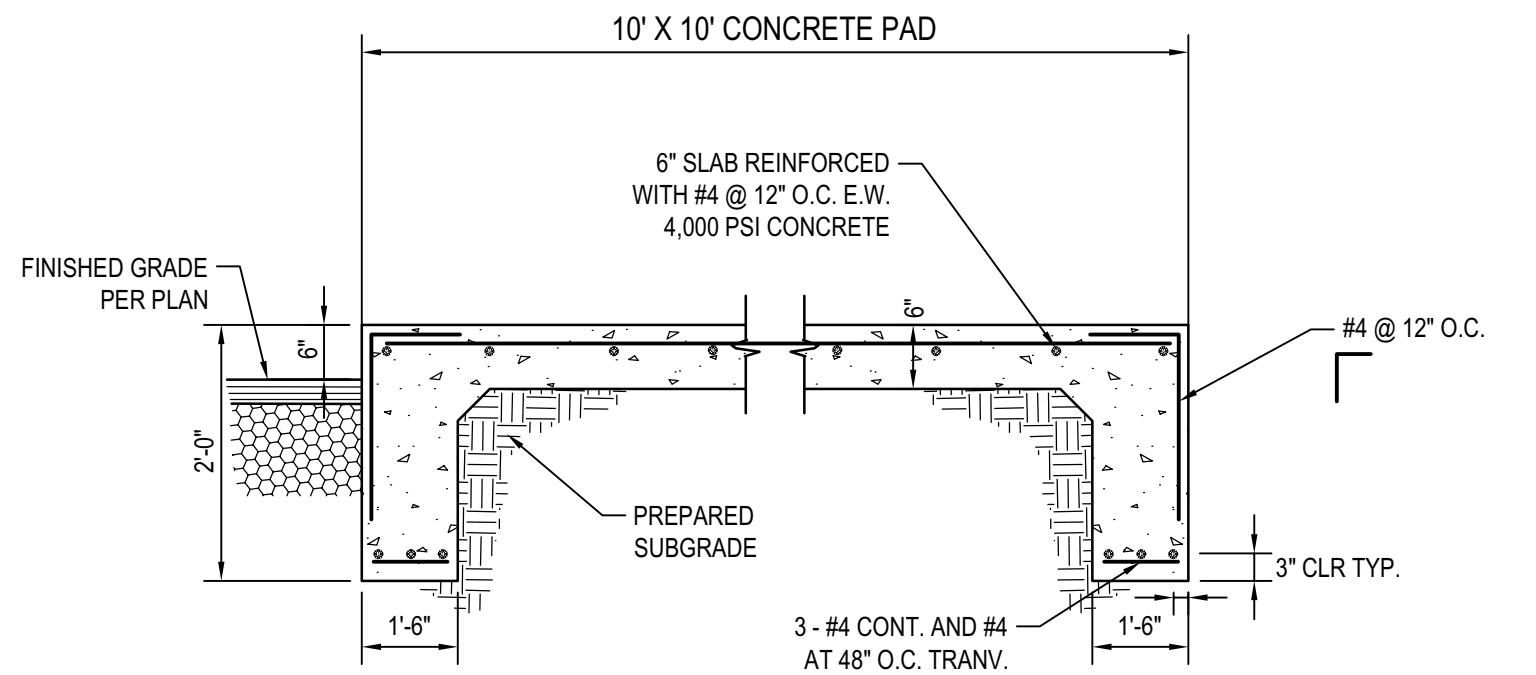
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP					
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT RENTAL CAR FACILITY (RAC) – READY & RETURN LOT OVERALL SITE PLAN					
Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.
					Mo./Day/Yr.
					Mo./Day/Yr.
					Mo./Day/Yr.
					Mo./Day/Yr.
City Project No. 6564.00-T6		Zone Map No. M-16		Drawing No. C-120	
				Sheet Of	

SURVEY INFORMATION		BENCH MARKS	AS BUILT INFORMATION
No.	Field Notes By                      Date		
			Controller Work Staked By Accepted By Acceptance By Date Field Verification By Drawings Date Corrected By Date  <i>MICRO-FILM INFORMATION</i> Recorded By Date  No.

**AS BUILT**



[DATE: 10/22/2021 5:10 PM] [AUTHOR: jro] [PLOTTER: HP55] [STYLE: ---] [PAth: P:\Albuquerque International Sunport\229020-A0017100\_Execution\Drawings\Civil\Ready & Return Lot Design\2127017.06-C-121 SITE PLAN.dwg] [LAYOUT: C-121 SITE PLAN]



CONCRETE PAD DETAIL  
SCALE: N.T.S.

1  
C-121



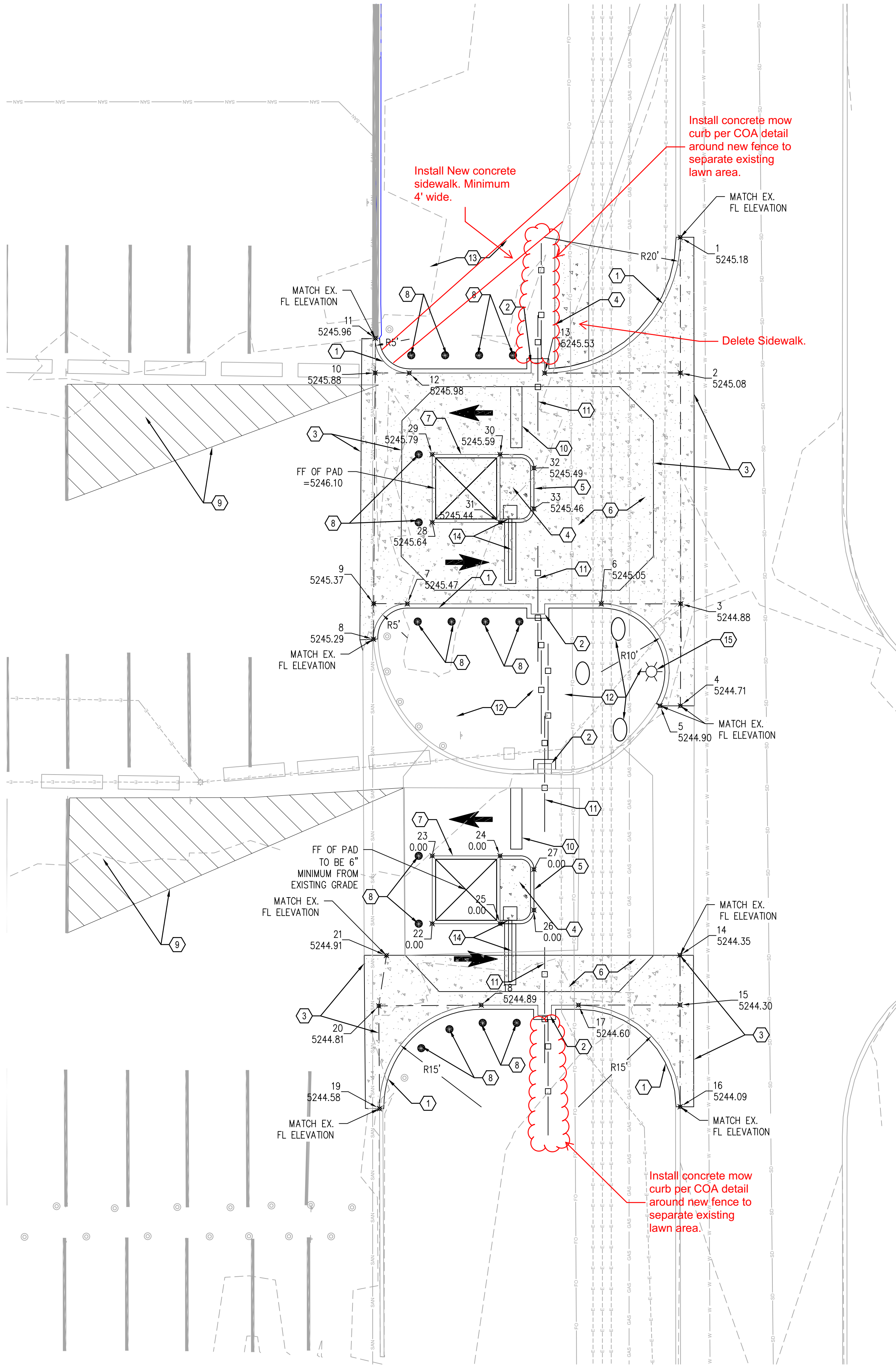
ROLL GATE DETAIL (EXAMPLE)  
SCALE: N.T.S.

2  
C-121

SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1469672.99	1528239.02	5245.18	FL
2	1469672.97	1528219.02	5245.08	FL
3	1469672.93	1528185.00	5244.88	FL
4	1469672.97	1528169.96	5244.71	FL
5	1469675.98	1528169.97	5244.90	CURB
6	1469684.64	1528185.00	5245.05	FL
7	1469713.24	1528185.00	5245.47	FL
8	1469718.23	1528179.78	5245.29	FL
9	1469718.20	1528185.03	5245.37	FL
10	1469717.99	1528219.03	5245.88	FL
11	1469717.96	1528224.13	5245.96	FL
12	1469712.96	1528219.00	5245.98	FL
13	1469692.99	1528219.00	5245.53	FL
14	1469673.03	1528133.20	5244.35	FL
15	1469673.02	1528125.87	5244.30	FL
16	1469673.01	1528110.87	5244.09	FL
17	1469688.01	1528125.85	5244.60	FL

SURVEY CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
18	1469702.34	1528125.85	5244.89	FL
19	1469717.34	1528110.59	5244.58	FL
20	1469717.46	1528125.74	5244.81	FL
21	1469716.32	1528133.16	5244.91	FL
22	1469709.58	1528137.85	0.00	FG
23	1469709.58	1528147.85	0.00	FG
24	1469699.58	1528147.85	0.00	FG
25	1469699.58	1528137.85	0.00	FG
26	1469694.58	1528139.85	0.00	FG
27	1469694.58	1528145.85	0.00	FG
28	1469709.58	1528197.00	5245.64	FG
29	1469709.58	1528207.00	5245.79	FG
30	1469699.58	1528207.00	5245.59	FG
31	1469699.58	1528197.00	5245.44	FG
32	1469694.58	1528205.00	5245.49	FG
33	1469694.58	1528199.00	5245.46	FG

NOTE:  
ELEVATION INDICATED AT 0.00 TO BE MATCHING  
EXISTING GRADE ELEVATION.



#### GENERAL NOTES:

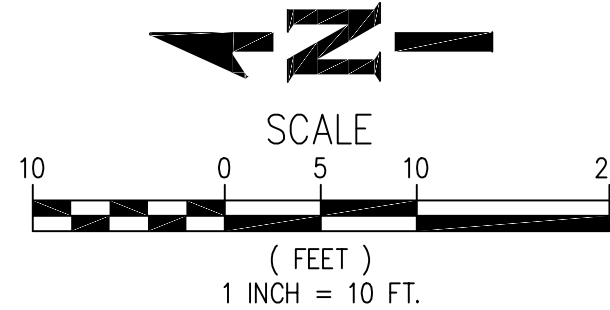
- ALL SITE CONSTRUCTION SHOULD CONFORM TO CITY OF ALBUQUERQUE PUBLIC WORKS STANDARD SPECIFICATION AND DETAILS UNLESS OTHERWISE NOTED.
- DIMENSION SHOWN ON THIS PLAN REFERENCE TO FACE OF CURB, EDGE OF BUILDING, EDGE OF SIDEWALKS UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION PRIOR TO EXCAVATION.
- CONTRACTOR TO CALL IN FOR UTILITY LINE LOCATES PRIOR TO ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITY SHALL BE REMAIN & PROTECTED THROUGH CONSTRUCTION UNLESS OTHERWISE NOTED.

#### KEYNOTES:

- CONSTRUCT STANDARD CURB & GUTTER PER COA STANDARD DETAIL DWG 2415A.
- INSTALL 2' X 1.5' CURB & GUTTER TURN-IN FOR SLIDING GATE ROLLER.
- CONSTRUCT CONCRETE VALLEY GUTTER PER COA STANDARD DETAIL DWG 2420.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER COA STANDARD DETAIL DWG 2430.
- CONSTRUCT 6" HEIGHT CONCRETE HEADER CURB PER COA STANDARD DETAIL DWG 2415A.
- CONSTRUCT 6" PORTLAND CEMENT CONCRETE OVER 6" AGGREGATE BASE COURSE OVER 12" OF COMPACTED SUBGRADE CONCRETE DRIVEWAY.
- CONCRETE 10' X 10' CONCRETE PAD FOR PREFABRICATED BOOTH BUILDING PER DETAIL 1, THIS SHEET.
- INSTALL 3' STATIONARY STEEL BOLLARD PER COA STANDARD DETAIL DWG 2250.
- INSTALL 4" WHITE STRIPING WITH 45 DEGREE STRIPING SPACED @ 2' FOR NO PARKING AREA.
- INSTALL 9' LONG SURFACE MOUNTED TRAFFIC SPIKES, CONTRACTOR TO COORDINATE WITH OWNER FOR TYPE AND MANUFACTURE.
- INSTALL 34' WIDE X 6' HEIGHT WROUGHT IRON DOUBLE SLIDE ROLLING GATE AND FENCE PER DETAIL 2, THIS SHEET. CONTRACTOR TO MATCH EXISTING FENCE AND GATE TYPE AND COLOR ACROSS THE STREET FROM PROJECT SITE.
- REMOVE EXISTING SOD AND IRRIGATION, REPLACE WITH ROCK MULCHING AND LARGE BOULDERS FOR PROTECTION. MATCH ROCK MULCHING COLOR ACROSS STREET.
- FIELD ADJUST EXISTING IRRIGATION LINES AND INSTALL NEW SOD.
- INSTALL AUTOMATED TIGER TEETH AND SECURITY ARM WITH SENSOR GROUND LOOP IN PAVEMENT FOR AUTOMATIC CLOSING. CONTRACTOR TO COORDINATE WITH OWNER AND SUNPORT AVIATION DEPARTMENT FOR SPEC.
- RELOCATED EXISTING LIGHT POLE, INSTALL NEW LIGHT POLE BASE, SEE ELECTRICAL PLAN FOR DETAIL AND POWER LINE RE-ROUTE REQUIREMENTS.

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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: ALBUQUERQUE INTERNATIONAL AIRPORT RENTAL CAR FACILITY (RAC) - READY & RETURN LOT SITE & GRADING PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	
City Project No. 6564.00-T6	Zone Map No. M-16	Drawing No. C-121	Sheet Of



No.	Date	Remarks	By
REVISIONS			
DESIGN			
Designed By:	Date:	Drawn By:	Date:
Checked By:	Date:		

AS BUILT INFORMATION			
Contractor	Work	Date	
Staked By	Accepted By	Date	
Field	Accepted By	Date	
Unrevised	Accepted By	Date	
Corrected By	Accepted By	Date	
MICRO-FILM INFORMATION			
Recorded By	No.	Date	

BENCH MARKS

SURVEY INFORMATION

STAMP & SIGNATURE

AS BUILT