



May 21, 2015

Mike Walla, PE
Walla Engineering
Suite 301
6501 America's Parkway
Albuquerque, NM 87110

**RE: Lamar Albuquerque, 1600 Airtech Court SE
Grading and Drainage Plan
Engineer's Stamp Date 4-15-2015 (File: M16-D024J1)**

Dear Mr. Walla:

Based upon the information provided in your submittal received 4-17-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- 1) Show basin boundaries to show the boundary between Basin I and Basin II. Provide legend for a basin boundary.
- 2) In the "Drainage Narrative", indicate that the site is not within a floodplain.
- 3) The new contours are shown to direct some drainage to the property north of the subject site. Minimize impact to the property to the north by providing a swale along the south side of the property line.
- 4) Because the pond does not drain within 6 hours, it must be sized to handle the 100-year 24-hour storm volume according to the information you have provided. Size the pond according to the calculations you have provided for the 100-year 24-hour runoff volume. If you can provide the background geotechnical information for the percolation rate provided, percolation rate credit may be allowed according to new DPM requirements in order to reduce pond volume requirements. Adjust the WSEL of the pond accordingly.

- 5) Provide an emergency spillway from the pond to the west to follow historical flow patterns in case the pond overtops. Provide riprap from the emergency spillway to the property line.
- 6) On the plans where a swale is shown and flow is concentrated, provide riprap to protect the slope. This would include riprap within the requested swale along the north property line and swales that are being directed into the proposed pond.

If you have any questions, you can contact me at 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque
Planning Department
Development & Building Services Division
DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2013)

Project Title: LAMAR ALBUQUERQUE Building Permit #: _____ City Drainage #: M16D024J1

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT LETTERED "E", AIRPORT TECHNICAL CENTER, ALBUQUERQUE, BERNALILLO, NEW MEXICO

City Address: 1600 AIRTECH COURT SE, ALBUQUERQUE, NEW MEXICO 87106

Engineering Firm: WALLA ENGINEERING Contact: MIKE WALLA

Address: 6501 AMERICAS PWKY NE, ALBUQ., NM 87110 SUITE 301

Phone#: 505-881-3008 Fax#: 505-881-4025 E-mail: mikew@wallaengineering.com

Owner: LAMAR ADVERTISING Contact: _____

Address: 5321 CORPORATE BLVD., BATON ROUGE, LA 70808

Phone#: 225-926-1000 Fax#: _____ E-mail: _____

Architect: DOMAIN ARCHITECTURE Contact: BRANDON BURR

Address: 8316 KELWOOD AVE., BATON ROUGE, LA 70806

Phone#: 225-216-3770 Fax#: 225-216-3771 E-mail: bburr@domain-dsgn.com

Surveyor: WAYJOHN SURVEYING INC. Contact: TOM JOHNSTON

Address: 330 LOUISIANA BLVD. NE, ALBUQUERQUE, NM 87108

Phone#: 505-255-2052 Fax#: 505-255-2887 E-mail: info@wayjohn.com

Contractor: _____ Contact: _____

Address: _____

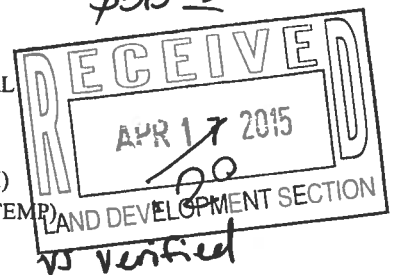
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 4-17-15 By: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

