



**Planning Department
Transportation Development Services**

July 16, 2015

Kate Balfour McLean, AIA, NCARB
Domain Architecture
8616 Kelwood Ave.
Baton Rouge, LA 70806

**Re: Lamar Albuquerque
1600 Airtech Court
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 7-15-15 (M16-D024J1)**

Dear Ms. Mclean,

Based upon the information provided in your resubmittal received 7-14-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. Please show a directional arrow.
2. Please show the extent of the project site. Please show the property line, fencing and any other development on the south side of the proposed project site.
3. Per ADA requirements ANSI 502.5, ADA parking spaces must have and unobstructed 8ft. wide by 18 ft. in length. Upon review of the submitted drawings, the wheel stops will be obstructing the total length of the ADA parking spaces.
4. Per DPM, the site must provide bicycle parking space and signage. Per COA Zoning requirements, there must be one bicycle space provided for every twenty automobile or light truck spaces. Please detail location of bicycle parking drawing.
5. Please include two copies of the traffic circulation layout at the next submittal.

CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely, 

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Service

c: File
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: LAMAR ALBUQUERQUE Building Permit #: _____ City Drainage #: M16-D024J1
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____
City Address: _____

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: LAMAR ADVERTISING Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: DOMAIN ARCHITECTURE Contact: _____
Address: 8316 KELWOOD AVE; BATON ROUGE; LA 70806
Phone#: 225 216 3770 Fax#: KMCLEAN@DOMAIN-DSGN.COM (OR)
BBURR@DOMAIN-DSGN.COM

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided ☐

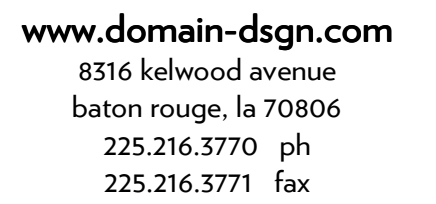
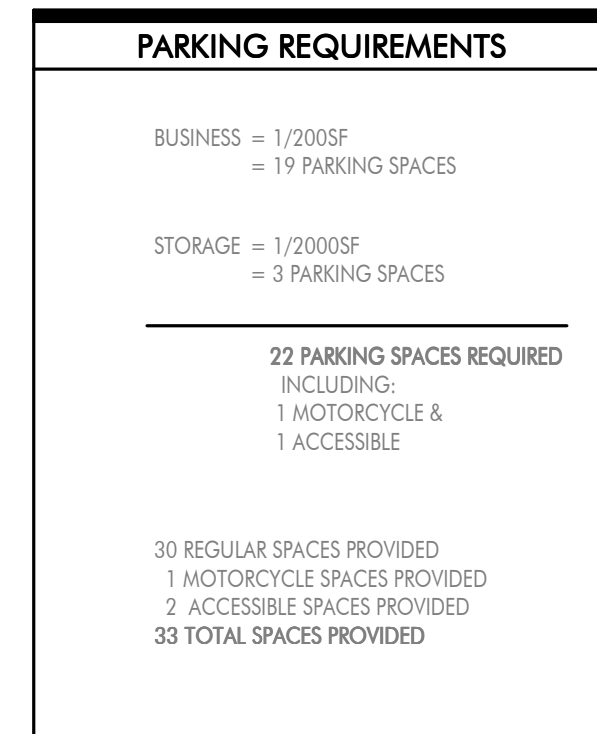
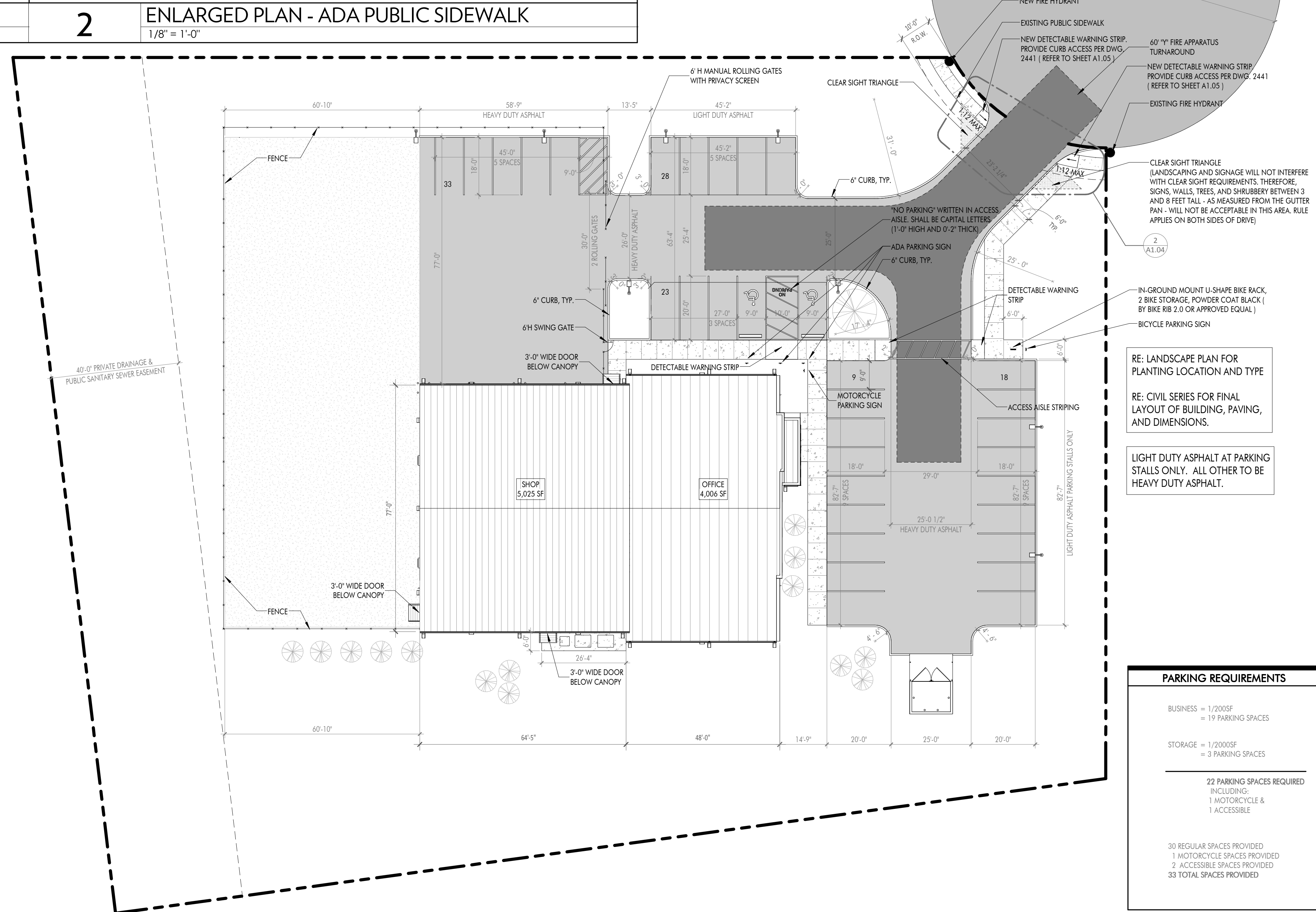
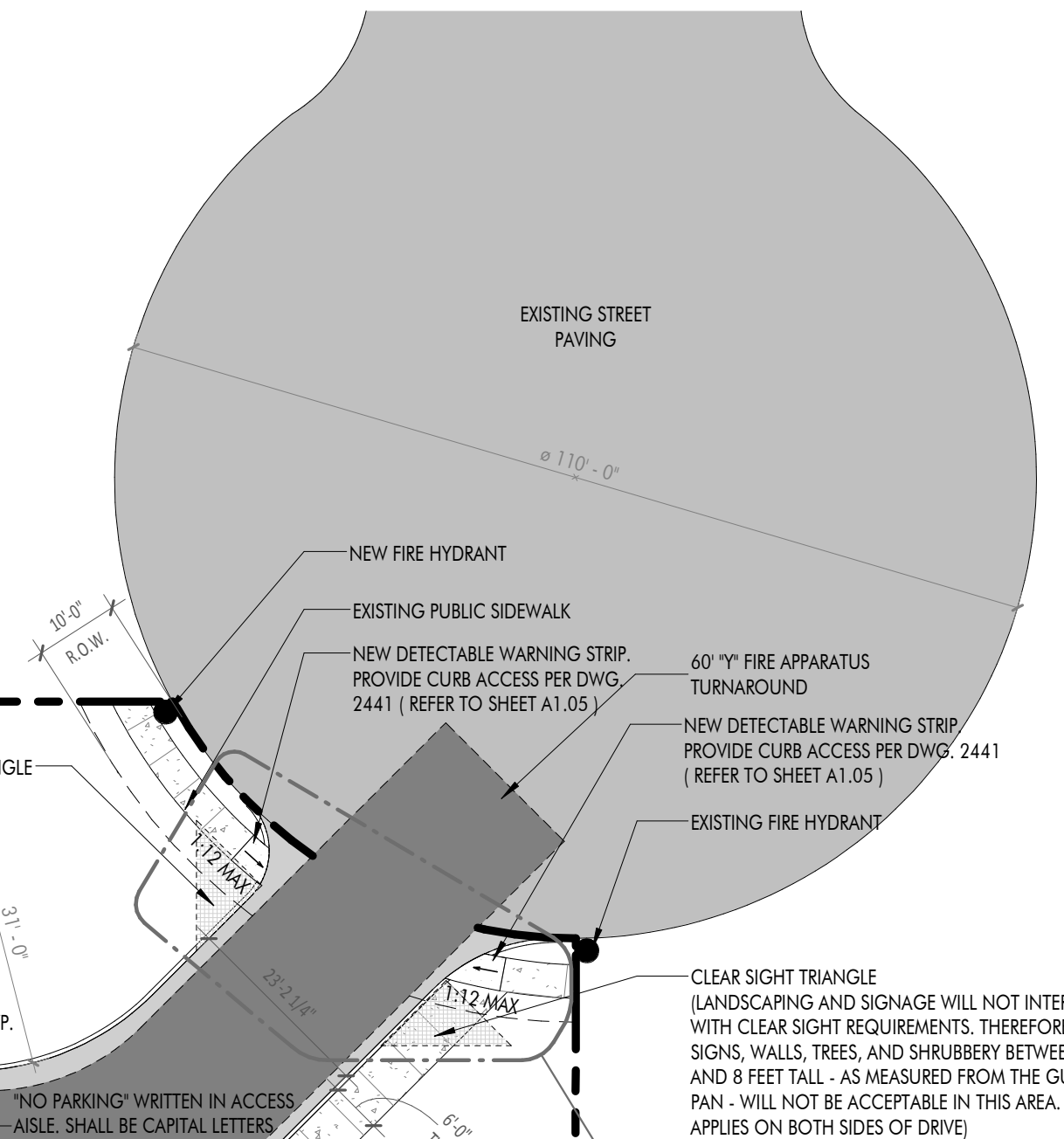
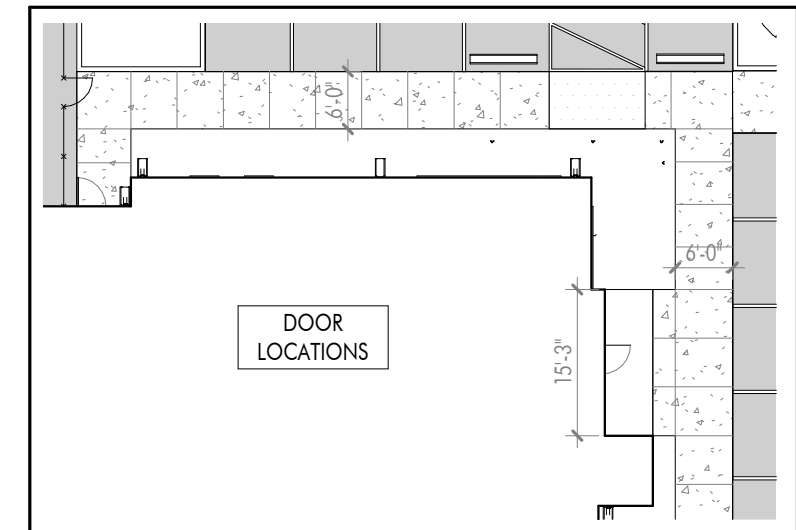
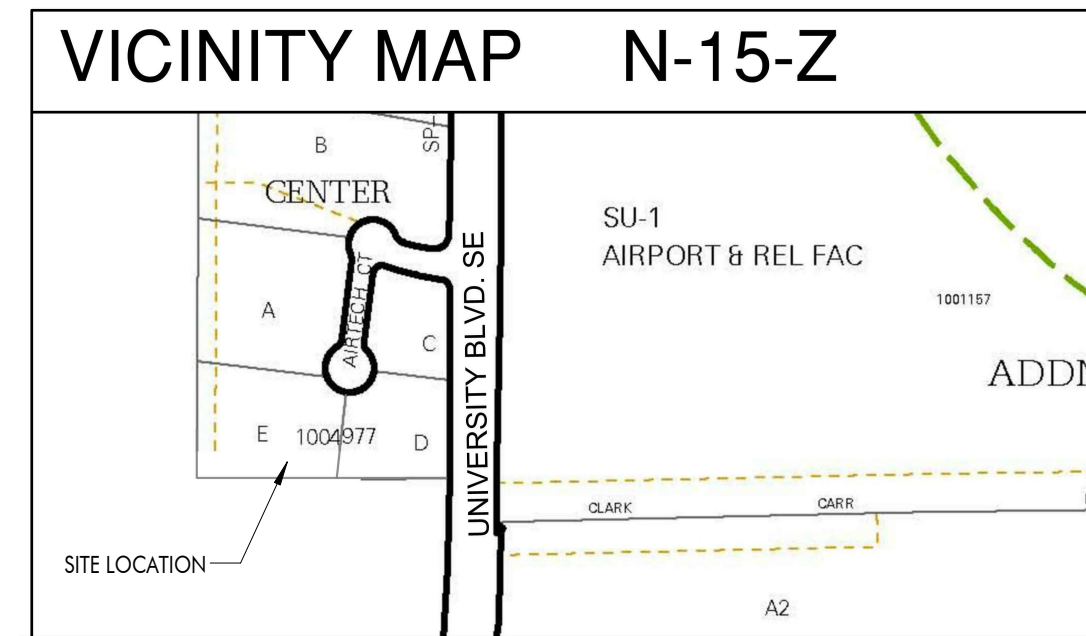
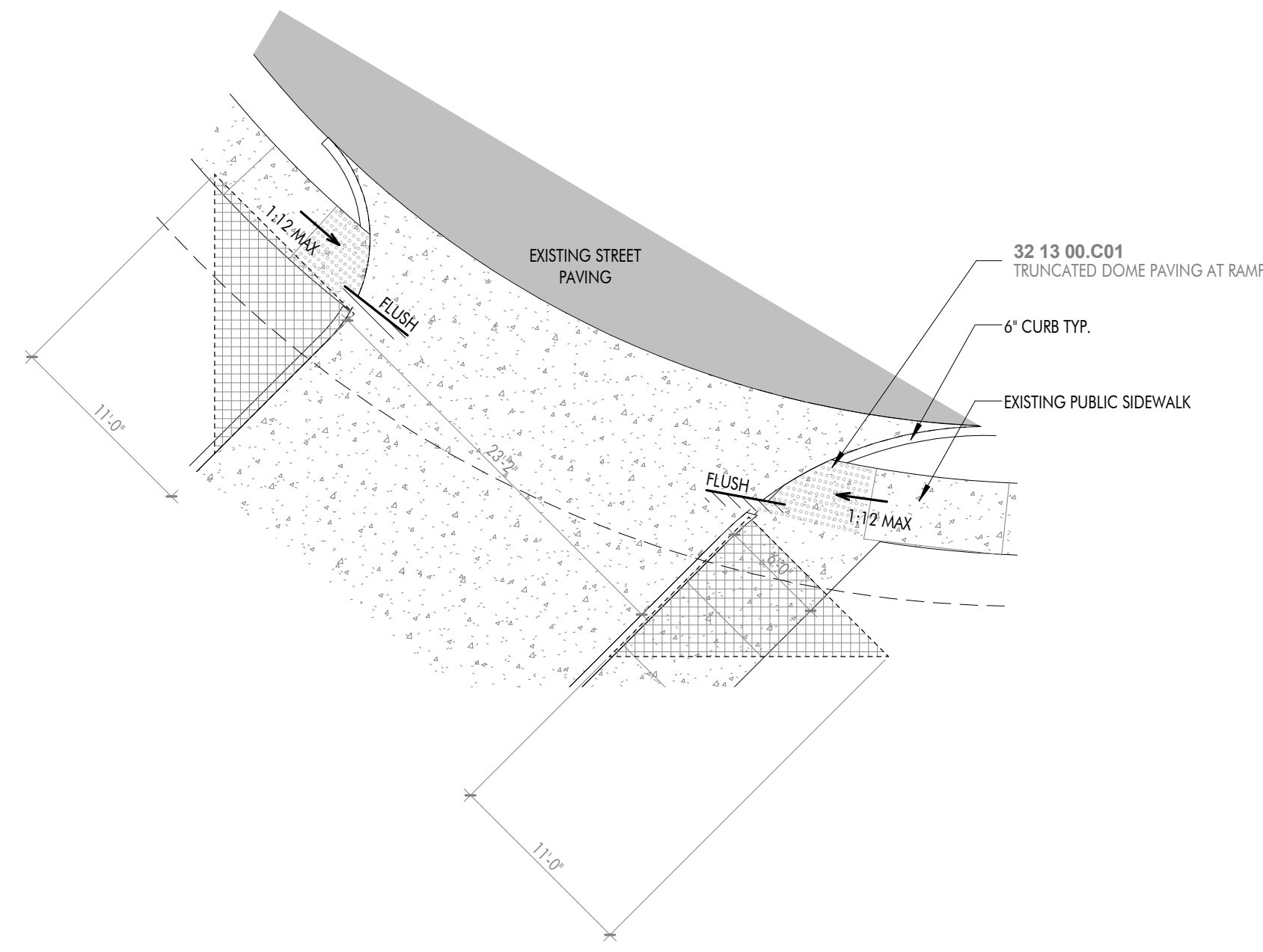
DATE SUBMITTED: 07-13-205

By: KATE MCLEAN / BRANDON BURR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

*Received
7-14-15*



These drawings are the property of DOMAIN ARCHITECTURE APAC and are not to be reproduced in whole or in part. They are only to be used for the project and site specifically identified herein.

Scales stated hereon are valid on the original drawings only. Contractor shall carefully review all dimensions and conditions shown and report to the architect any errors, inconsistencies, or omissions discovered.

These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

NEW CONSTRUCTION FOR
LAMAR ALBUQUERQUE

1600 AIRTECH COURT
ALBUQUERQUE, NM 87106

structural engineer:
RME ABC
2715 BROADBENT PKWY, NE
ALBUQUERQUE, NM 87107
505.889.3004

mep engineer:
KME SALAS O'BRIEN
2380 TOWN CENTER BLVD, #1210
BATON ROUGE, LA 70809
225.766.8002

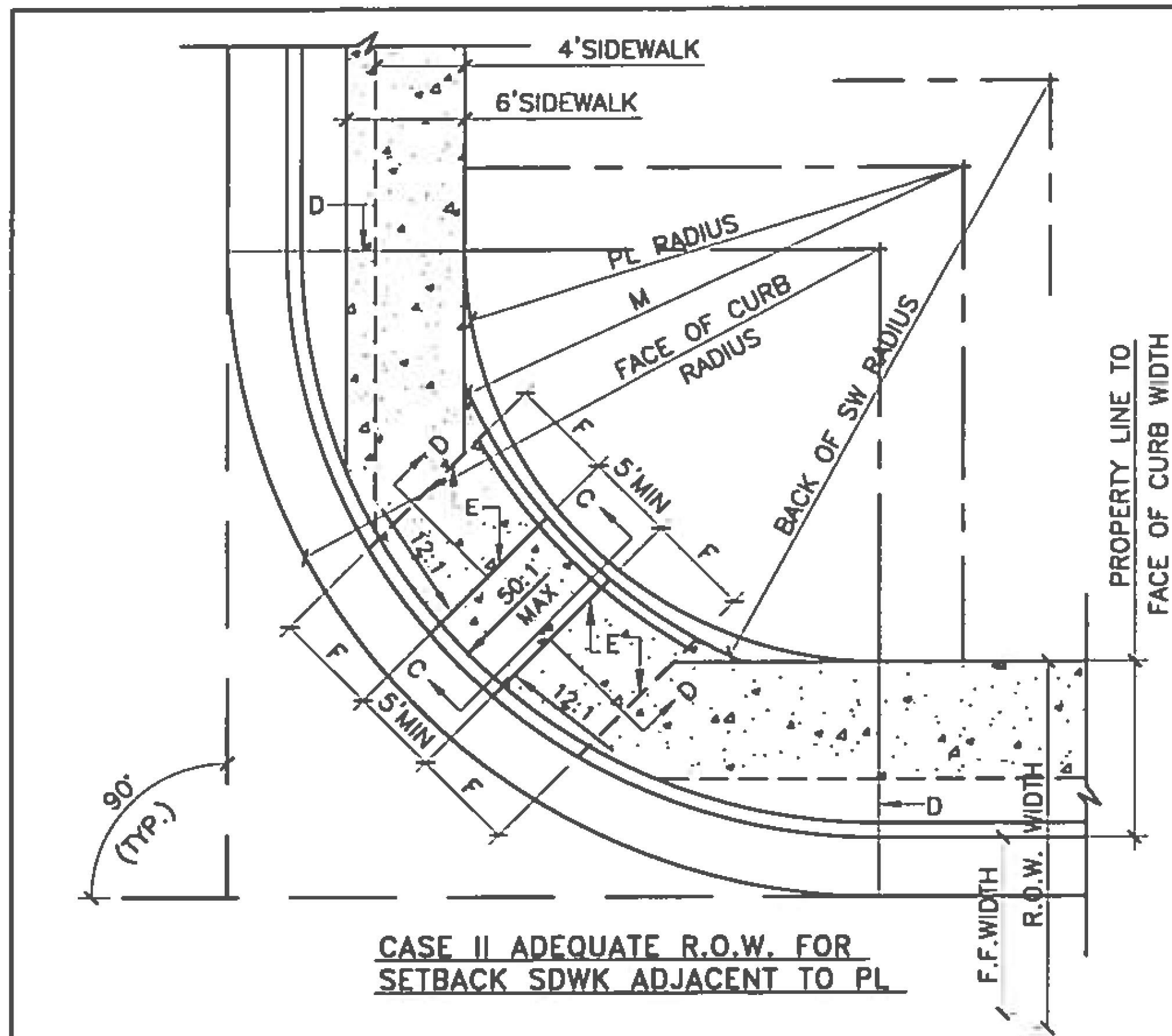
civil engineer:
WALLA ENGINEERING
6501 AMERICAS PKWY NE, #301
ALBUQUERQUE, NM 87110
505.881.3008

[illegible]

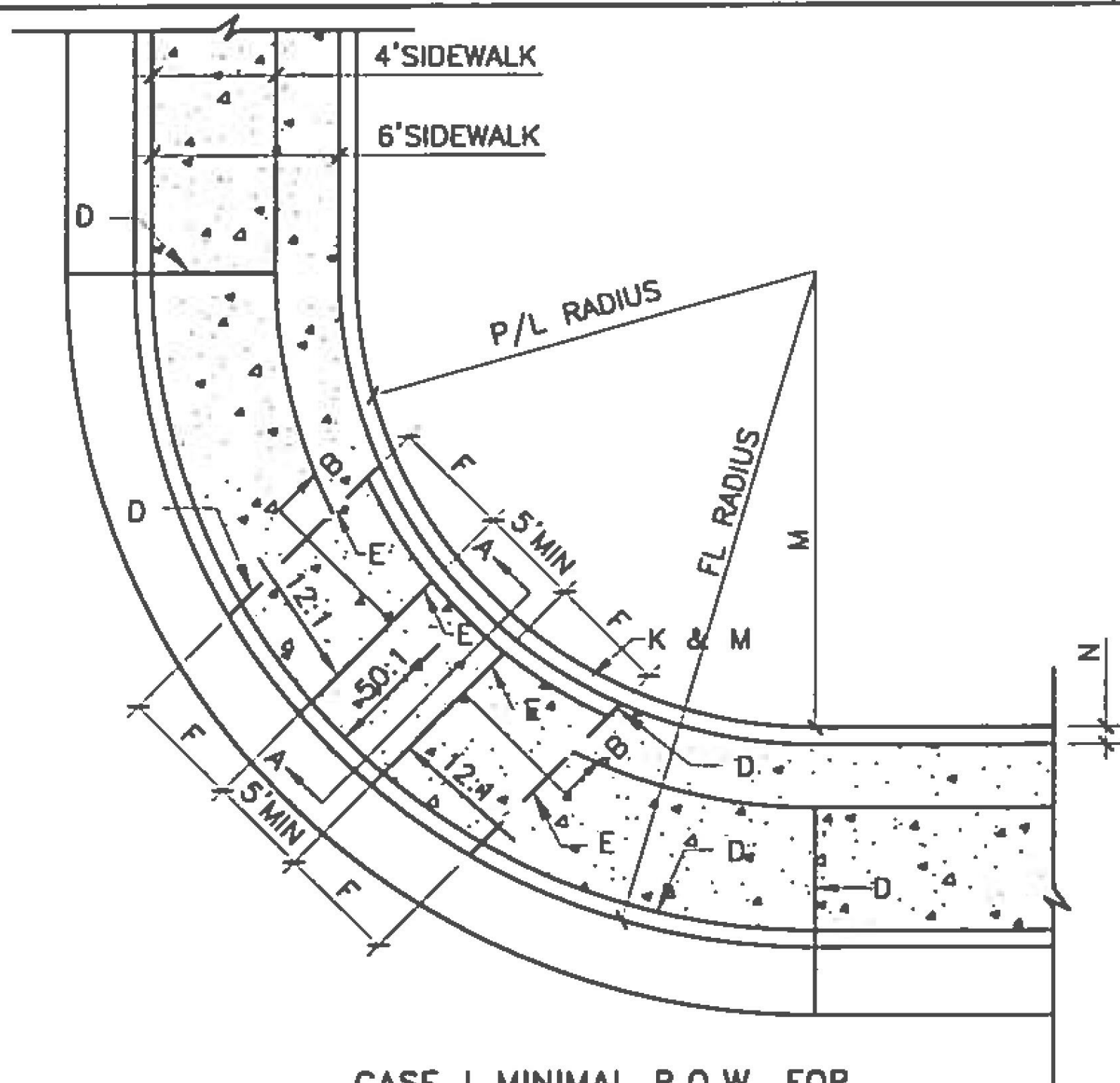
date
JULY 16, 2015

sheet

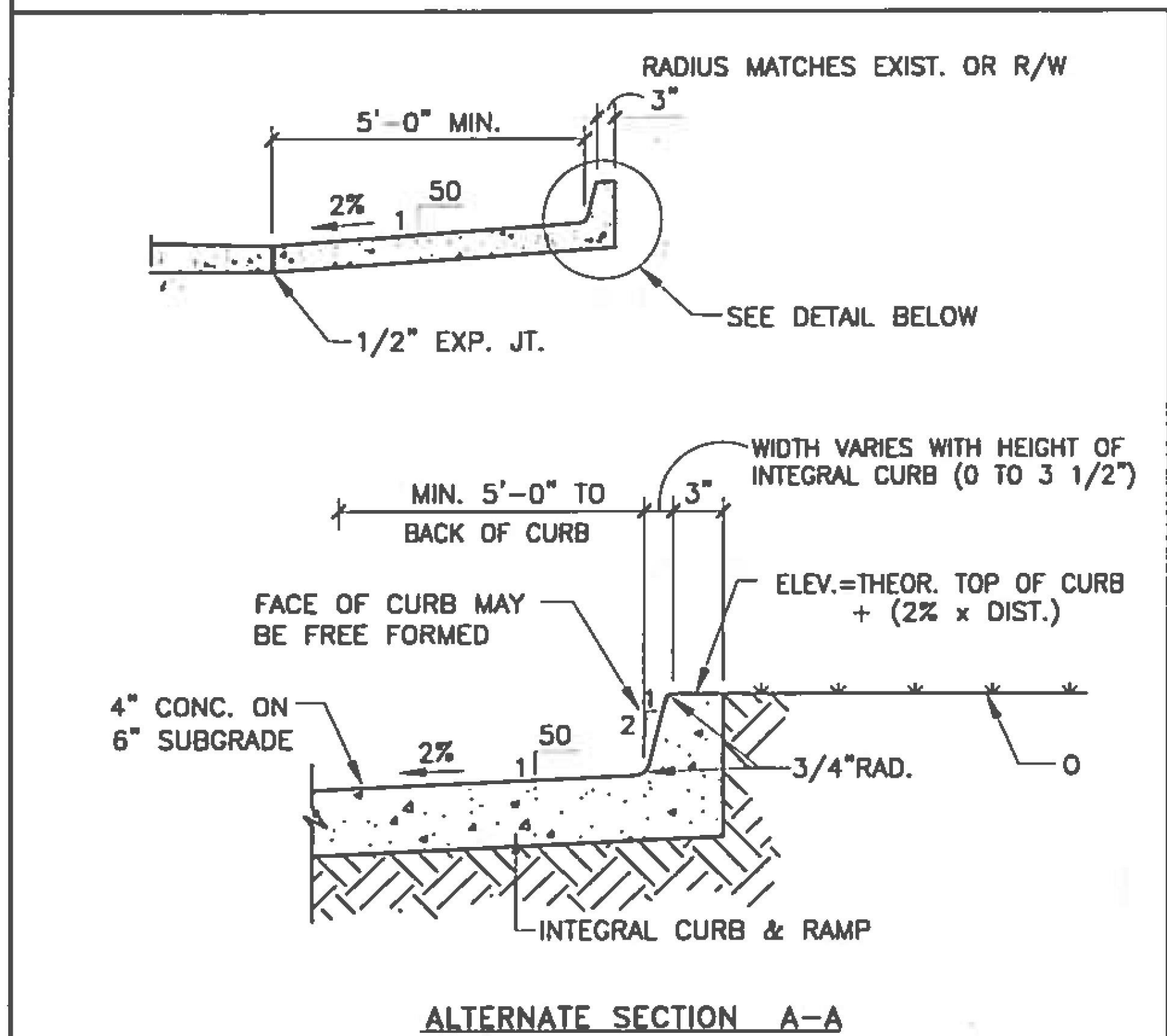
A1.04



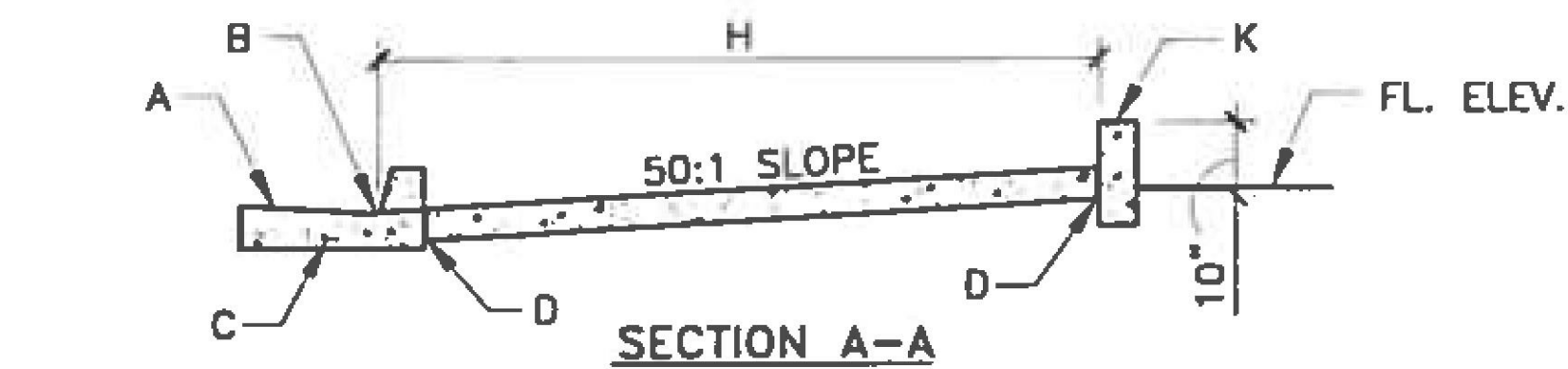
CASE II ADEQUATE R.O.W. FOR
SETBACK SDWK ADJACENT TO PL



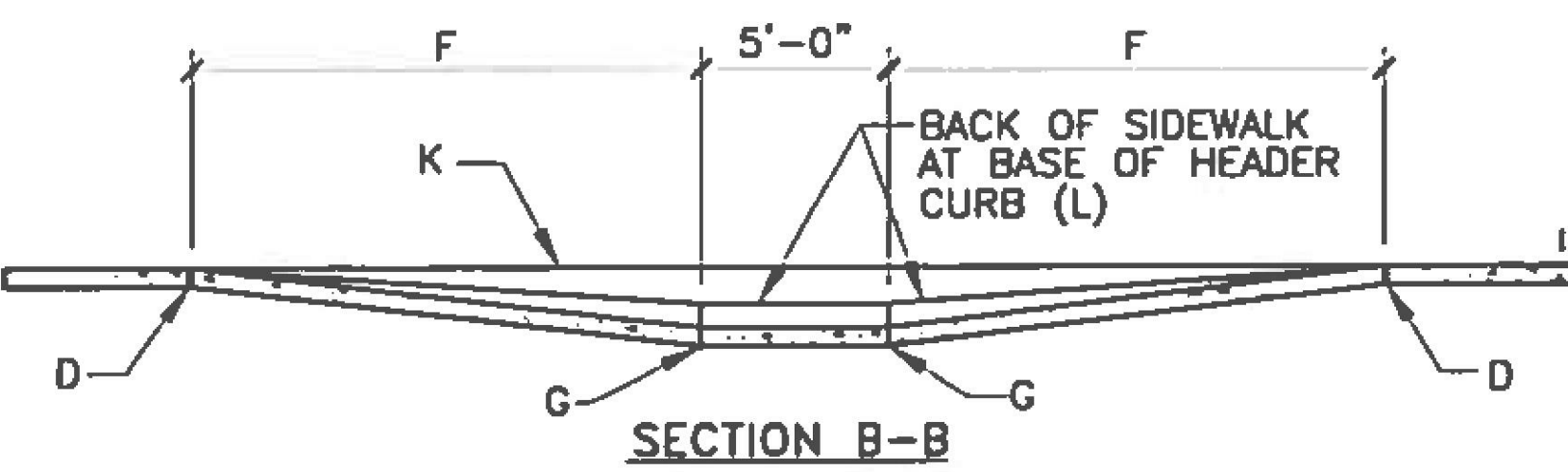
CASE I MINIMAL R.O.W. FOR
SIDEWALK AT BACK OF CURB



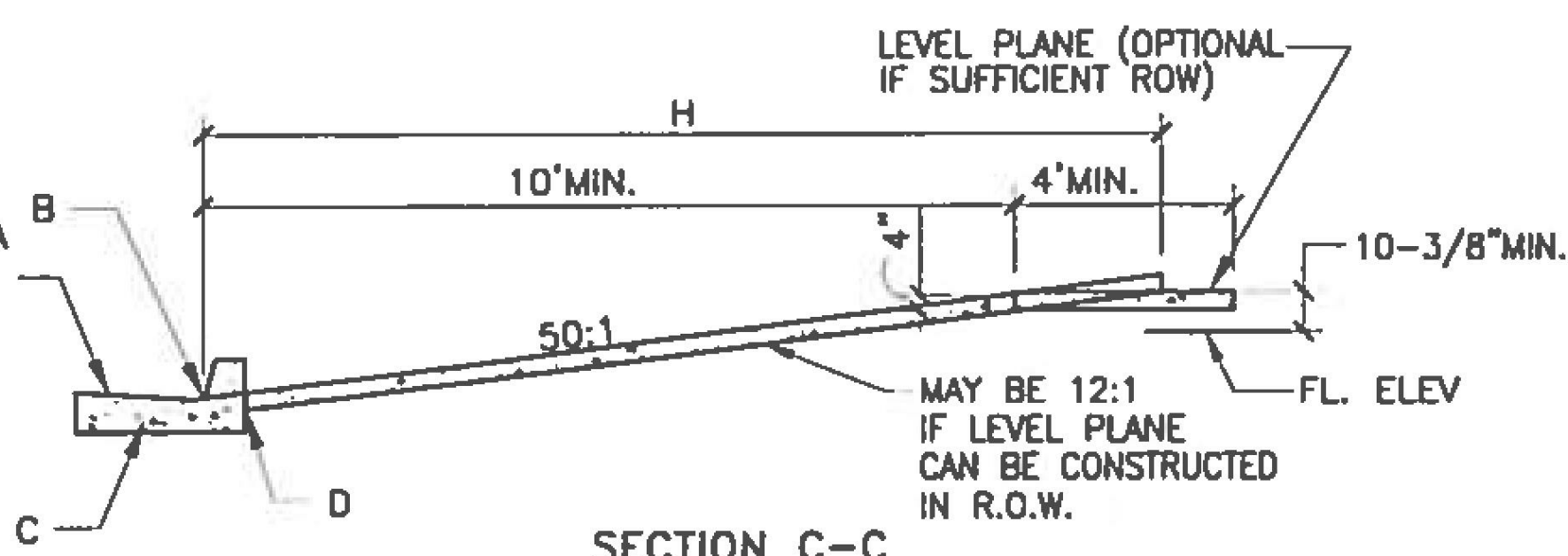
ALTERNATE SECTION A-A



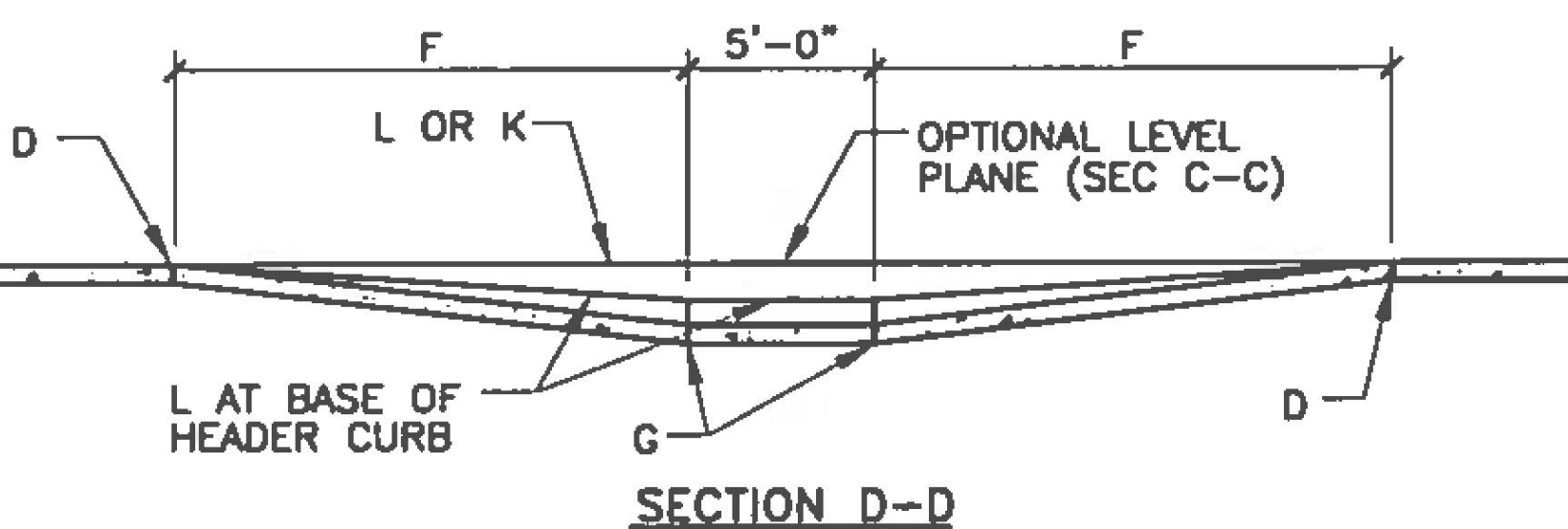
SECTION A-A



SECTION B-B



SECTION C-C



SECTION D-D

Δ	PL RAD.	CURB RAD.	PL CURB WIDTH	BACK S.W. RADIUS
90°	25'	25'	4'	25'
90°	30'	25'	4'	30'
90°	25'	30'	4'	25'
90°	30'	30'	4'	30'

- GENERAL NOTES:**
- CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
 - SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRAVERSE TO THE SLOPE OF THE RAMP.
 - GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
 - WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.

- CONSTRUCTION NOTES:**
- SLOPE OF GUTTER DEPENDENT ON REQUIREMENTS FOR VALLEY GUTTER.
 - FLUSH WITH RAMP AND GUTTER.
 - CURB & GUTTER (SEE STD. DWG. 2415-GUTTER AT CURB ACCESS RAMP).
 - 1/2" EXPANSION JOINT.
 - PARALLEL LINES-TOP AND BOTTOM OF RAMP.
 - 12:1 MAX SLOPE OF RAMP.
 - CONTRACTION JOINT.
 - VARIES WITH AVAILABLE R.O.W.
 - VARIABLE.
 - HEADER CURB, SEE DWG. 2415.
 - BACK OF SIDEWALK.
 - BACK OF SIDEWALK RADIUS TO BE ESTABLISHED 90 AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) OR NONE THROUGHOUT. SEE STD. DWG. 2440 (NOTE 5) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNTIMELY UNRESOLVABLE CONSTRAINTS.
 - 4-1/2" MAX.
 - ANY PRIVATE LANDSCAPING AND OR IRRIGATION SHALL BE RESTORED TO ORIGINAL CONDITION. SHOULD ANY PRIVATE IMPROVEMENT NEED TO BE REMOVED, OWNER MUST BE NOTIFIED.

REVISIONS	CITY OF ALBUQUERQUE
11/14/91	PAVING
4/27/94	(WHEELCHAIR) CURB ACCESS RAMP
	DWG. 2441 JANUARY 2003

revisions
No. Description Date

