

CITY OF ALBUQUERQUE



May 2, 2008

James W. Lewis, P.E.
9208 Lona Lane NE
Albuquerque, NM 87111

**Re: Isleta Church of Christ Addition, 2424 Miles Road SE (M16-D40),
Traffic Circulation Layout
Engineer's Stamp Dated 4-18-08 (M16-D40)**

Dear Mr. Lewis,

The TCL submittal received 4-21-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Isleta Church of Christ ZONE MAP: M16 DO40
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 4, Block 1 Airport Industrial Park
 CITY ADDRESS: 2424 Miles Road

ENGINEERING FIRM: _____ CONTACT: James Lewis
 ADDRESS: _____ PHONE: 858-1761
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Isleta Church of Christ CONTACT: Fritz Lucero
 ADDRESS: _____ PHONE: 980-8783
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

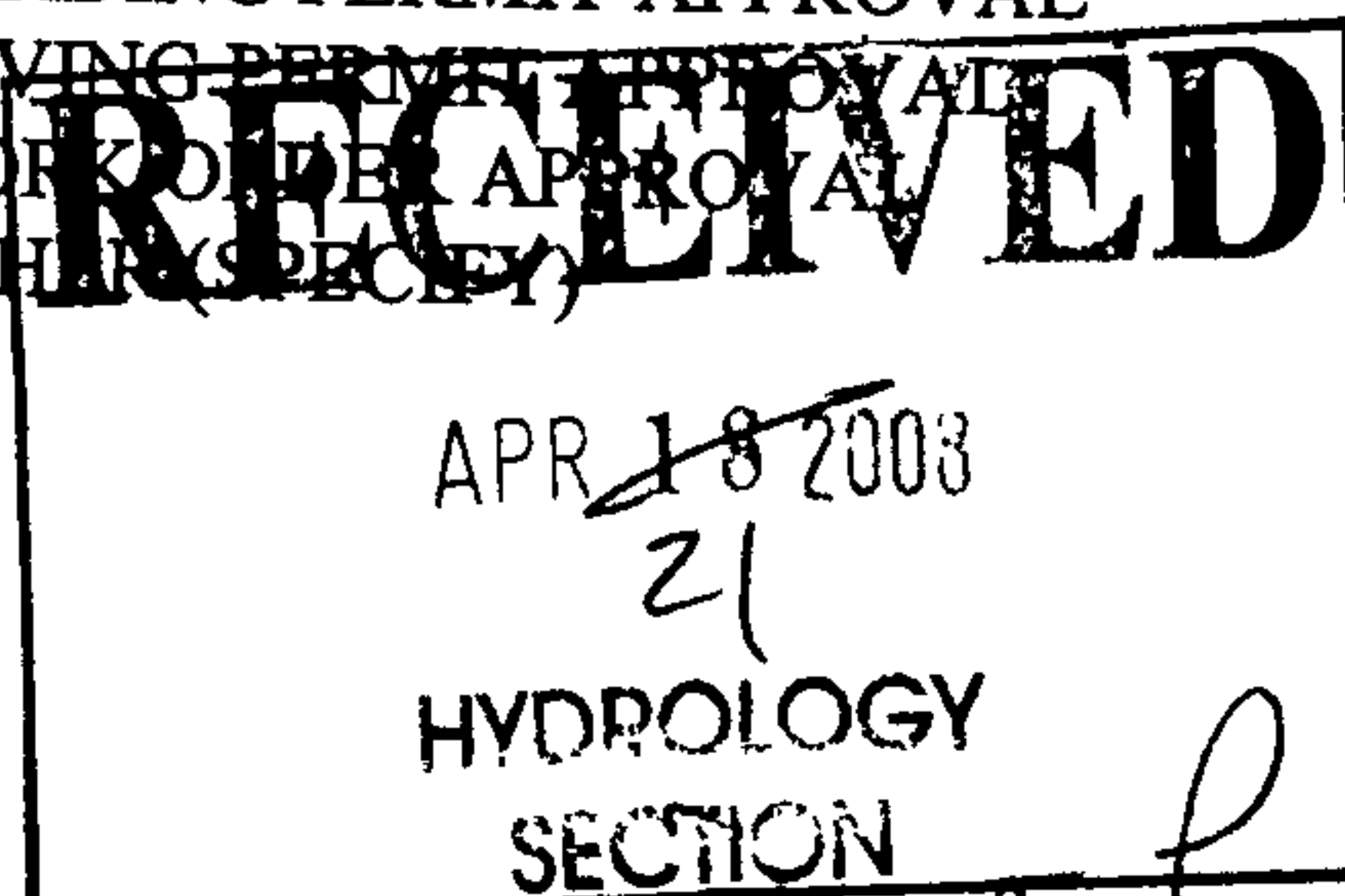
CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
 _____ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
☒ NO
 _____ COPY PROVIDED

DATE SUBMITTED: 04/18/08

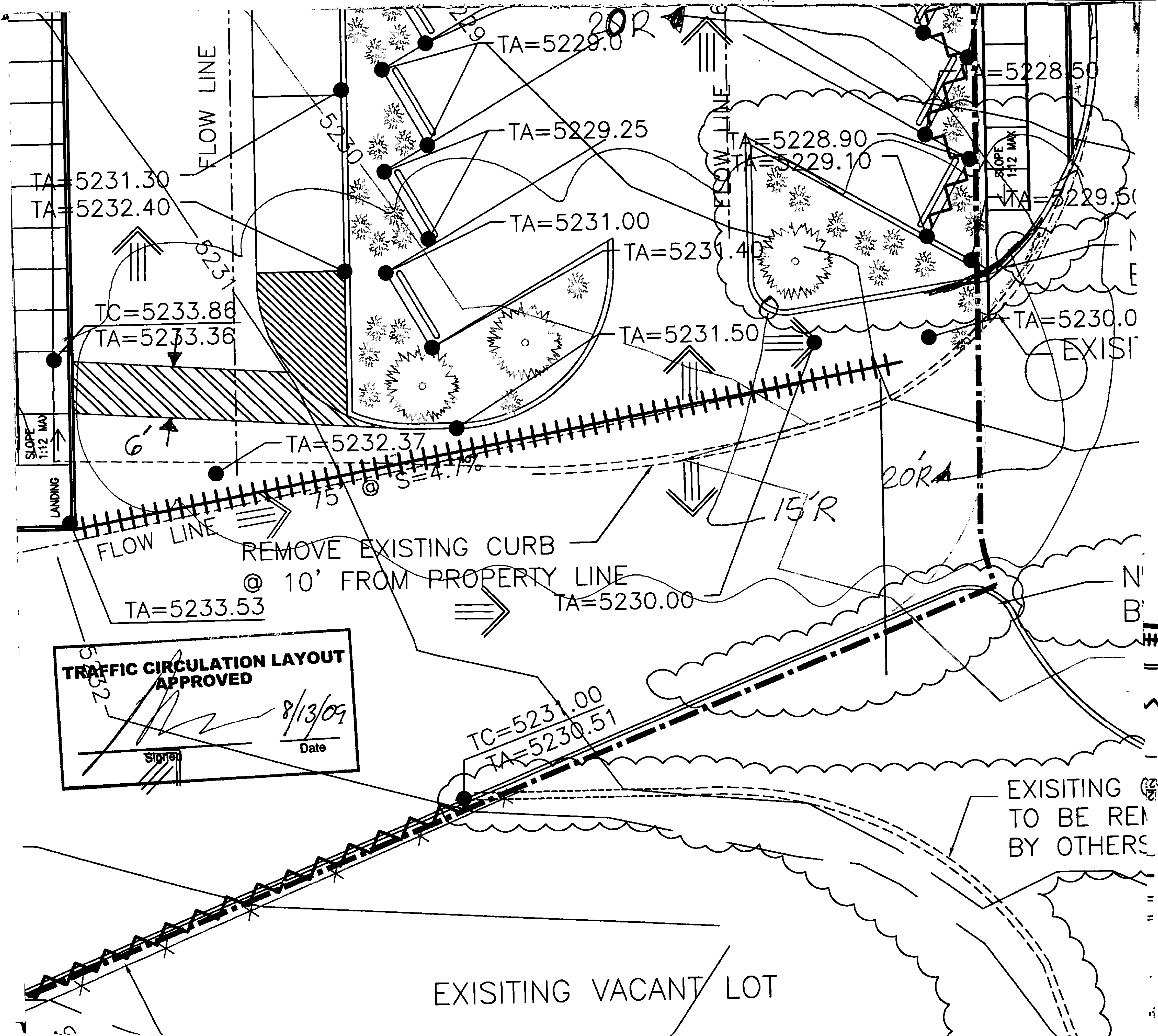


BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

HYDRO HAS FILE



CITY OF ALBUQUERQUE



April 30, 2008

James Lewis, P.E.
9208 Lona Lane NE.
Albuquerque, NM 87111

**Re: Isleta Church of Christ Grading and Drainage Plan
2424 Miles Rd.
Engineer's Stamp dated 4-18-08 (M16-D40)**

Dear Mr. Lewis,

Based upon the information provided in your submittal dated 4-21-08, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely

Bradley L. Bingham, PE, CFM
Principal Engineer, Planning Department.
Building and Development Services

C: Antoinette Baldonado, DMD
Duane Schmitz, DMD

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Isleta Church of Christ ZONE MAP: M16/0040
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 4, Block 1 Airport Industrial Park
 CITY ADDRESS: 2421 Miles Road

ENGINEERING FIRM: _____ CONTACT: James Lewis
 ADDRESS: _____ PHONE: 858-1761
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Isleta Church of Christ CONTACT: Fritz Lucero
 ADDRESS: _____ PHONE: 980-8783
 CITY, STATE: _____ ZIP CODE: 345-0958 (fx)

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

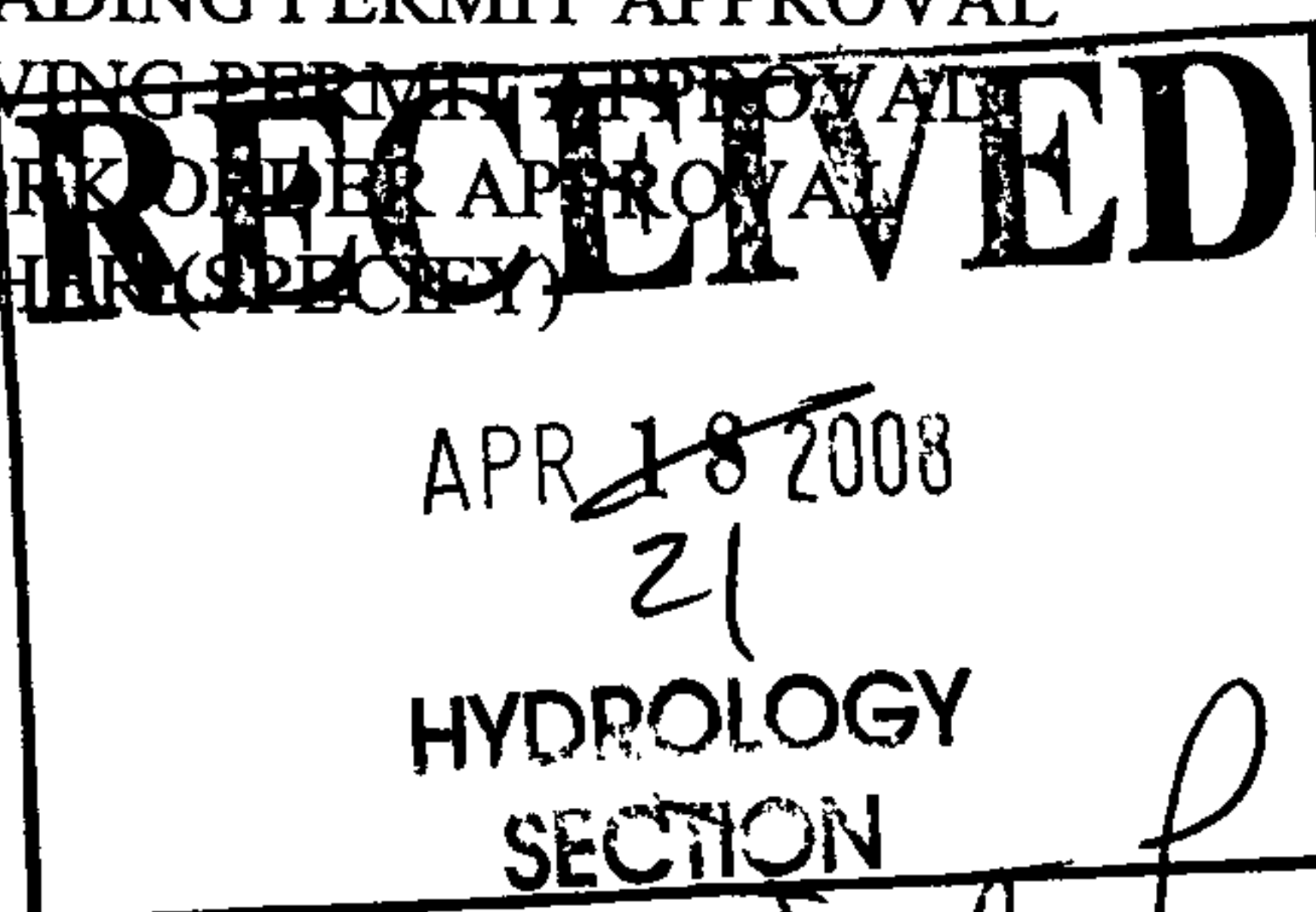
CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
 _____ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
 _____ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
☒ NO
 _____ COPY PROVIDED

DATE SUBMITTED: 04/18/08



BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Bingham, Brad L.

To: tuckgreen@netzero.net

Subject: RE: Certification for Ironworkers 495 (M16-D40)

I will not accept a cert from any other engineer.

From: tuckgreen@netzero.net [mailto:tuckgreen@netzero.net]

Sent: Friday, April 11, 2008 1:40 PM

To: Bingham, Brad L.

Subject: Certification for Ironworkers 495 (M16-D40)

Hello Brad -

I am the site engineer of record for the referenced Ironworkers 495 project (M16-D40).

It came to my attention this morning that the project is ready - or almost ready - for certification and that an as-built survey has been made by Albuquerque Surveying.

The Architects (SMPC) have not paid me on my invoice of December 10 2007 despite a re-invoice on January 30 2008 and a follow-up phone call thereafter, nor have there been any signs that they intend to pay.

I do not want the Architects to get another engineer to certify. I think that would be an attempt to avoid paying me for my professional services and for the review fees I paid to the City. To the extent possible I would not agree to having another engineer certify.

Please make a printed copy of this email part of the project file.

Please let me know if you for some reason will not / do not make this email part of the file.

Thank you.

Tucker Green, PE
Per Se Engineering 505.232.9394

4/11/2008

CITY OF ALBUQUERQUE



February 22, 2008

James Lewis, P.E.
9208 Lona Lane NE.
Albuquerque, NM 87111

Re: Isleta Church of Christ Grading and Drainage Plan
Engineer's Stamp dated 1-11-08 (M16-D40)

Dear Mr. Lewis,

Based upon the information provided in your submittal dated 1-14-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- The spot elevations shown on this plan will create ponding in the parking lot since some of them are almost 3 feet below Miles Rd.
- The plan does not provide adequate water blocks at the entrances to ensure that runoff in Miles stays in the road.
- On the western edge of the parking lot, it appears that 5 feet of fill will be needed. Is a retaining wall planned? This should be shown on plan and concurrence from the electric company will be required since there will be much less clear distance to the electric lines shown on your plan.
- The plan shows existing curb that must be removed (no note to that effect) and, more importantly, new curb that must be built in Miles. As you are aware, this curb must be built by City Work Order. It is not apparent what the extents of this curb would need to be to keep runoff from the north and east from entering your site.
- Please quantify any offsite runoff entering your site from the south and east.

I would like to meet with you to discuss these comments. Please contact me at 924-3986 to schedule this meeting.

Sincerely

Bradley L. Bingham, PE, CFM
Principal Engineer, Planning Department.
Building and Development Services

C:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Islet Church of Christ ZONE MAP: M-16/D040
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: _____

ENGINEERING FIRM: James Lewis CONTACT: Armando Naser
 ADDRESS: _____ PHONE: 321-7990
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

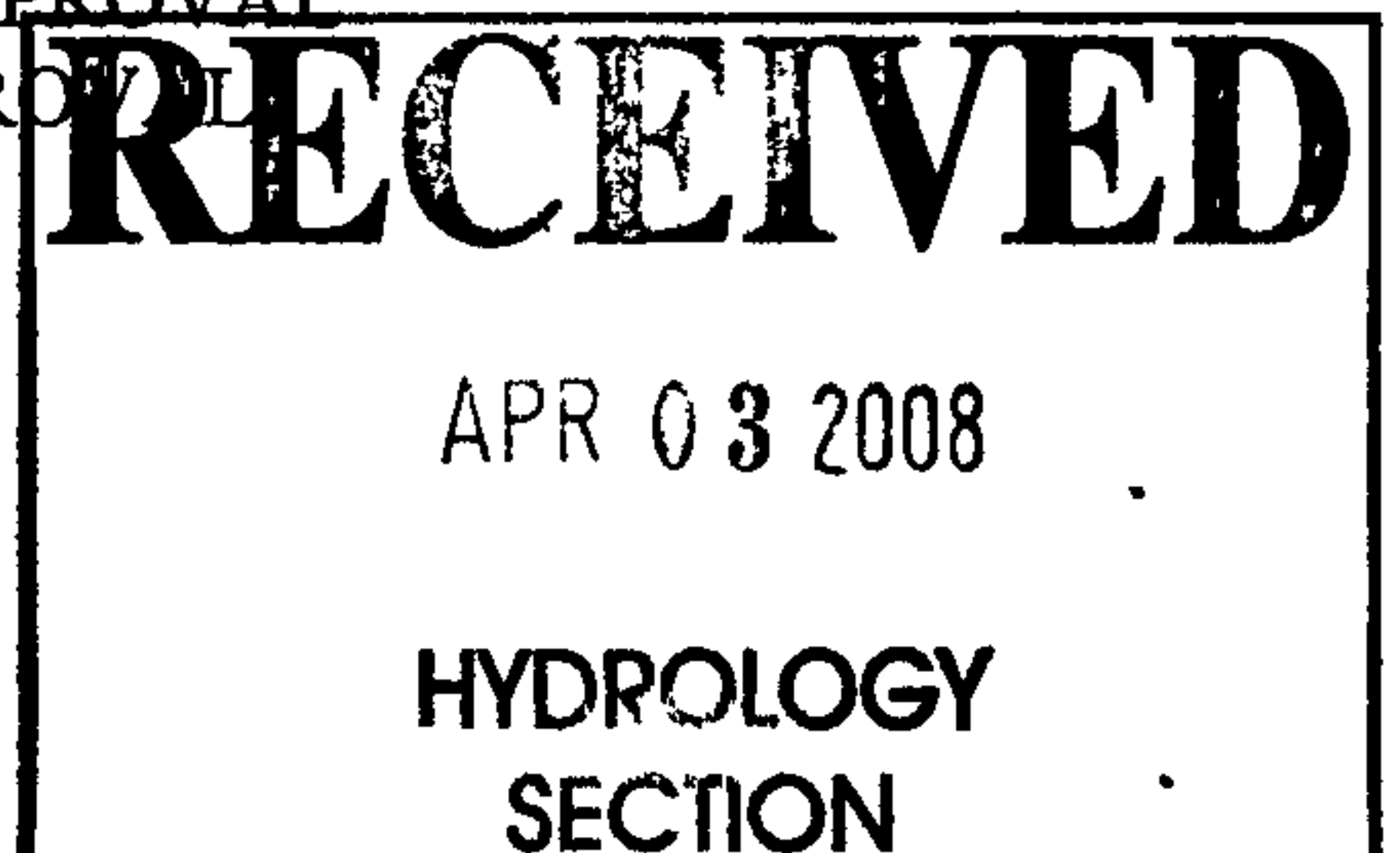
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

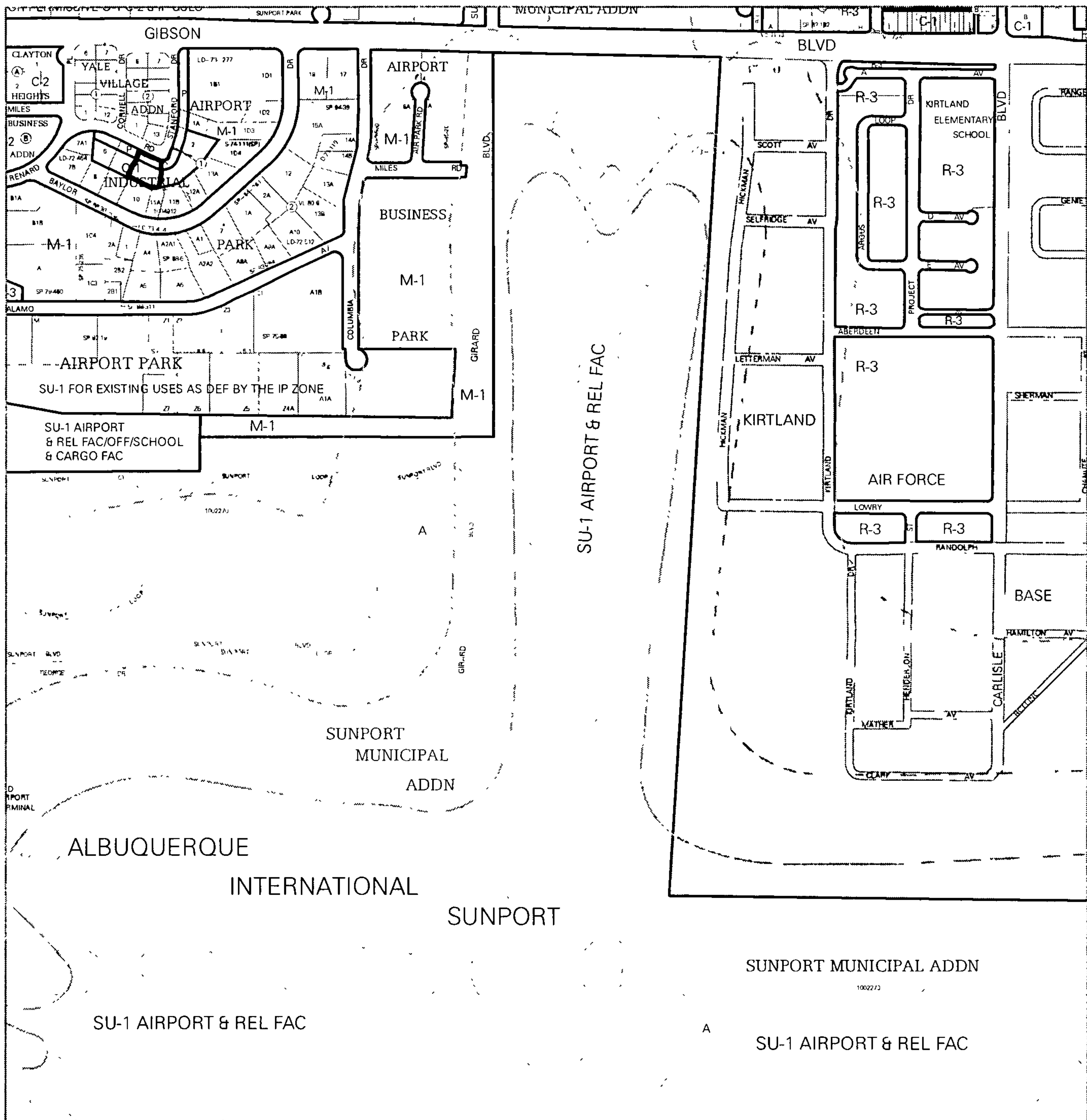
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: _____ BY: _____

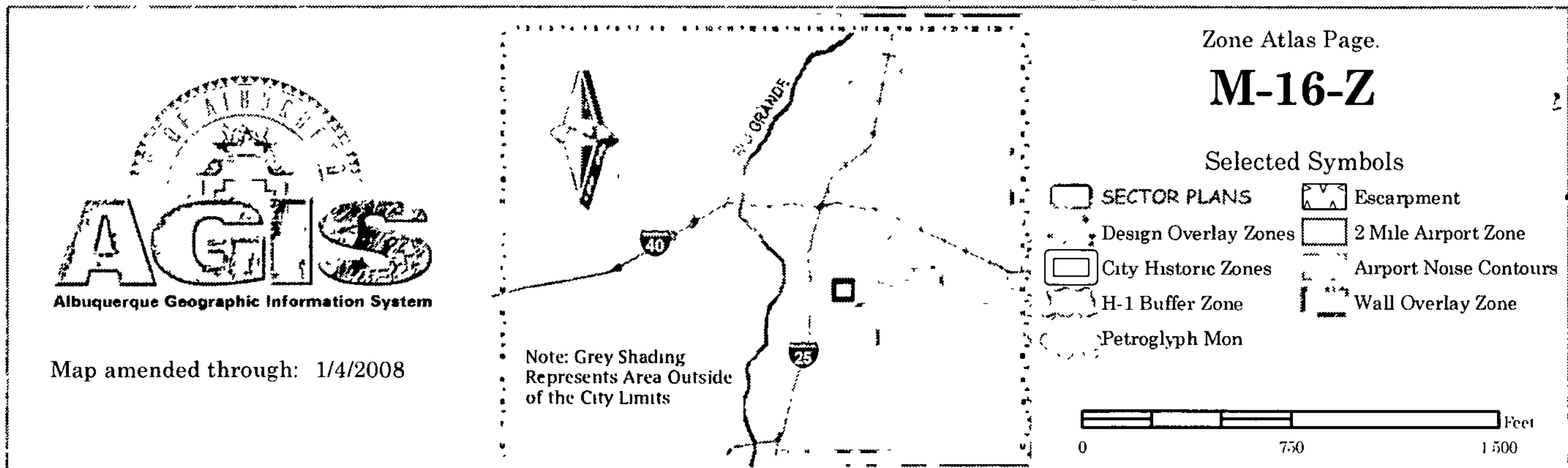


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



For more current information and more details visit <http://www.cabq.gov/gis>



CITY OF ALBUQUERQUE



January 23, 2008

James W. Lewis, P.E.
9208 Lona Lane NE
Albuquerque, NM 87111

**Re: Isleta Church of Christ Addition, 2424 Miles Road SE (M16-D40),
Traffic Circulation Layout
Engineer's Stamp Dated 1-11-08 (M16-D40)**

Dear Mr. Lewis,

Based upon the information provided in your submittal received 1-14-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Please clarify the existing versus proposed conditions.
2. Show the lot lines on the plan.
3. Is the proposed entrance a drivepad or curb return? Your build note indicated this entrance has curb returns.
4. Demonstrate how the existing exit meets current ADA standards.
5. List radii for all curves shown.
6. Provide a clear vicinity map showing the location of the development in relation to well-known landmarks, municipal boundaries, and zone atlas map index number.
7. For passenger vehicles, the minimum end island radius is 15 feet.
8. What is the distance between drivepads? Please provide this information.
9. Please show the location of the nearest driveway on the adjacent lots.
10. A five-foot keyway is required for dead-end parking aisles.
11. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
12. The parking stalls must be separated from traffic flow by a curbed or striped end aisle a minimum of 4 feet in width.
13. Is the sidewalk along Miles Road existing or proposed? If proposed, the sidewalk must be located at the property line.
14. Please include two copies of the traffic circulation layout at the next submittal.
15. As the proposed traffic circulation includes one directional traffic, appropriate striping and signing must be provided ("Do Not Enter" signs, striping, etc.).

CITY OF ALBUQUERQUE



16. Call out the width of all sidewalk, both existing and proposed. Note where sidewalk width narrows and provide the width in this area.
17. Provide geometric details for the wheelchair ramps. Include slope.
18. Build notes are needed for the proposed drivepads. Provide details or refer to the appropriate City Standards.
19. Please refer to all applicable city standards by City Standard number.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

P.O. Box 1293

C: File

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 23, 2007

Ken Sandoval
907 Forrester NW
Albuquerque, NM 87102

**Re: Isleta Church of Christ Addition, 2424 Miles Road SE,
Traffic Circulation Layout
No Architect's Stamp (M16-D40)**

Dear Mr. Sandoval,

Based upon the information provided in your submittal received 9-29-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please clarify the existing versus proposed conditions.
2. What is the current status of Miles Road SE? Is there curb and gutter? Sidewalk? Please show this information on the plan.
3. Provide a clear vicinity map showing the location of the development in relation to well-known landmarks, municipal boundaries, and zone atlas map index number.
4. For passenger vehicles, the minimum end island radius is 15 feet.
5. What is the distance between drivepads? Please provide this information.
6. Clarify the scale of the plan; is the scale 1" = 10'?
7. Please show the location of the nearest driveway on the adjacent lots.
8. A five-foot keyway is required for dead-end parking aisles.
9. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
10. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
11. The parking stalls must be separated from traffic flow by a curbed or striped end aisle a minimum of 4 feet in width.
12. A public sidewalk (minimum width of 6 feet) must be provided along Miles Road at the property line.
13. Please include two copies of the traffic circulation layout at the next submittal.
14. As the proposed traffic circulation includes one directional traffic, appropriate striping and signing must be provided ("Do Not Enter" signs, striping, etc.).

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



15. Call out the width of all sidewalk, both existing and proposed. Note where sidewalk width narrows and provide the width in this area.
16. Provide geometric details for the wheelchair ramps. Include slope.
17. Build notes are needed for the proposed drivepads. Provide details or refer to the appropriate City Standards.
18. Please refer to all applicable city standards by City Standard number.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

P.O. Box 1293

C: Robert McElheney, R.A., 9232 Hilton Ave. NE, Albuquerque, NM 87111
File

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 23, 2007

Robert McElheney, R.A.
9232 Hilton Ave. NE
Albuquerque, NM 87111

**Re: Isleta Church of Christ Addition, 2424 Miles Road SE,
Traffic Circulation Layout
No Architect's Stamp (M16-D40)**

Dear Mr. McElheney,

Based upon the information provided in your submittal received 9-29-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Please clarify the existing versus proposed conditions.
2. What is the current status of Miles Road SE? Is there curb and gutter? Sidewalk? Please show this information on the plan.
3. Provide a clear vicinity map showing the location of the development in relation to well-known landmarks, municipal boundaries, and zone atlas map index number.
4. For passenger vehicles, the minimum end island radius is 15 feet.
5. What is the distance between driveways? Please provide this information.
6. Clarify the scale of the plan; is the scale 1" = 10'?
7. Please show the location of the nearest driveway on the adjacent lots.
8. A five-foot keyway is required for dead-end parking aisles.
9. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
10. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
11. The parking stalls must be separated from traffic flow by a curbed or striped end aisle a minimum of 4 feet in width.
12. A public sidewalk (minimum width of 6 feet) must be provided along Miles Road at the property line.
13. Please include two copies of the traffic circulation layout at the next submittal.
14. As the proposed traffic circulation includes one directional traffic, appropriate striping and signing must be provided ("Do Not Enter" signs, striping, etc.).

CITY OF ALBUQUERQUE



15. Call out the width of all sidewalk, both existing and proposed. Note where sidewalk width narrows and provide the width in this area.
16. Provide geometric details for the wheelchair ramps. Include slope.
17. Build notes are needed for the proposed drivepads. Provide details or refer to the appropriate City Standards.
18. Please refer to all applicable city standards by City Standard number.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

P.O. Box 1293

C: Ken Sandoval, 907 Forrester NW, Albuquerque, NM 87102
File

Albuquerque

New Mexico 87103

www.cabq.gov



October 3, 2006

Robert McElheney, R.A.
9232 Hilton Ave. NE
Albuquerque, NM 87111

Re: Isleta Church of Christ Addition, 2424 Miles Road SE, Traffic Circulation Layout

Architect's Stamp dated 9-21-05 (M16-D40)

Dear Mr. McElheney,

Based upon the information provided in your submittal received 9-29-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please clarify the existing versus proposed conditions.
2. Show the pedestrian path.
3. Provide a clear vicinity map showing the location of the development in relation to well-known landmarks, municipal boundaries, and zone atlas map index number.
4. List radii for all curves shown.
5. For passenger vehicles, the minimum end island radius is 15 feet.
6. Provide a north arrow.
7. What is the distance between driveways? Please provide this information.
8. Clarify the scale of the plan; is the scale 1" = 10'? Please check this; the plan does not appear to be drawn to scale.
9. Please list the width and length for all parking spaces, keeping in mind that the minimum dimensions of a standard parking space are 8.5 feet in width and 20 feet in length.
10. The Transportation Department does not accept "red lines," aka "counter corrections" on their plans.
11. Please show the location of the nearest driveway on the adjacent lots.
12. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
13. The parking stalls must be separated from traffic flow by a curbed or striped end aisle a minimum of 4 feet in width.
14. A sidewalk (minimum width of 6 feet) must be provided along the property line.
15. Clarify where curbing is located and show all proposed striping (crosswalk, van access aisle, handicapped spaces, etc.).

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



16. Call out the width of all sidewalk, both existing and proposed. Note where sidewalk width narrows and provide the width in this area.
17. Per the *Development Process Manual*, driveways with two-way access must be a minimum of 25 feet in width.
18. Show the ADA accessible path, including the location of all wheelchair ramps. Provide details.
19. Where is the entrance to the building?
20. Build notes are needed for the proposed driveways. Provide details or refer to the appropriate City Standards.
21. Wheelchair ramps must be provided at the driveways. In addition, to accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%.
22. Please refer to all applicable city standards.

A copy of the Traffic Circulation Layout checklist is attached for your references.
If you have any questions, you can contact me at 924-3981.

P.O. Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Ken Sandoval, ⁹⁰⁷~~307~~ Forrester NW, Albuquerque, NM 87102
File

www.cabq.gov

CITY OF ALBUQUERQUE



August 23, 2007

Jud Lee, P.E.
U.S. Army Corp of Engineers
4101 Jefferson Plaza NE
Albuquerque, NM 87109

**Re: Isleta Church of Christ Addition, 2424 Miles Road SE,
Grading and Drainage Plan
Engineer's Stamp dated 9-13-05 (M16-D40)**

Dear Mr. Lee,

Please note that this is the same plan that was submitted 9-29-06. Comments were issued on 10-3-06, and they have not changed significantly. Drafting changes and additional information must be provided before this plan can receive approval. Therefore, based upon the information provided in your submittal received 8-20-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The plans that provide relevant drainage information are not drawn to scale; these plans must be drawn at an appropriate Engineering scale and provided on a 24"x36" plan. Information regarding traffic circulation (parking dimensions, etc.) may be removed.
2. At your next submittal, your engineer's stamp must be redated to reflect your most recent design.
3. Show a North Arrow on the plan.
4. Clarify existing conditions versus proposed conditions.
5. Define all existing and proposed easements, drainage infrastructure, etc.
6. Provide elevation data for the following structures: building, walls, curbing, beginning and end of curves, drainage infrastructure, etc.
7. Show all existing and proposed structures extending a minimum of 25 feet past the property line.
8. Where is the refuse enclosure? Is it proposed or existing?
9. Provide notes defining the property line, asphalt paving, sidewalks, planting areas, ponding areas, project limits, and all other areas whose definition would increase clarity.
10. Reference a Benchmark on the plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



11. Provide a clear vicinity map on the plan showing the location of the development in relation to well-known landmarks, municipal boundaries, and zone atlas map index number.
12. Provide a copy of the Flood Insurance Rate Map (FIRM) on the plan.
13. List the Legal Description of the site on the plan.
14. Address offsite flow along the entire perimeter.
15. Provide a plan for existing conditions and a plan for proposed conditions or show the proposed improvements superimposed onto the existing conditions.
16. Both proposed and existing grades must be adequately depicted by contours and/or spot elevations.
17. Provide the finish building floor elevation(s) or pad elevation(s).
18. Your calculations assume the pervious areas are Type A, defined in the *Development Process Manual* as "Soil uncompacted by human activity with 0 to 10% slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, ground cover and infiltration capacity." Is this truly the case? Typically, on a site that is currently developed, the pervious areas would be Type C, defined as "Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10%. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20% or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability."
19. Provide an executive summary, as defined in the *Development Process Manual*, Chapter 23, Section 7.I.
20. You refer to a pond in your calculations. Where is this pond? Why are you installing a pond? What is the water surface elevation? Please provide more information.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A copy of the Grading Plan checklist is attached for your reference. If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



October 3, 2006

Jud Lee, P.E.
U.S. Army Corp of Engineers
4101 Jefferson Plaza NE
Albuquerque, NM 87109

Re: Isleta Church of Christ Addition, 2424 Miles Road SE, Grading and Drainage Plan

Engineer's Stamp dated 9-13-05 (M16-D40)

Dear Mr. Lee,

Based upon the information provided in your submittal received 9-29-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Show a North Arrow on the plan.
2. Clarify existing conditions versus proposed conditions.
3. Define all existing and proposed easements, drainage infrastructure, etc.
4. Provide elevation data for the following structures: building, walls, curbing, beginning and end of curves, drainage infrastructure, etc.
5. Show all existing and proposed structures extending a minimum of 25 feet past the property line.
6. Where is the refuse enclosure? Is it proposed or existing?
7. The plans that provide relevant drainage information are not drawn to scale; these plans must be drawn at an appropriate Engineering scale and provided on a 24"x36" plan.
8. Provide notes defining the property line, asphalt paving, sidewalks, planting areas, ponding areas, project limits, and all other areas whose definition would increase clarity.
9. Reference a Benchmark on the plan.
10. Provide a clear vicinity map on the plan showing the location of the development in relation to well-known landmarks, municipal boundaries, and zone atlas map index number.
11. Provide a copy of the Flood Insurance Rate Map (FIRM) on the plan.
12. List the Legal Description of the site on the plan.
13. Address offsite flow along the entire perimeter.
14. Provide a plan for existing conditions and a plan for proposed conditions or show the proposed improvements superimposed onto the existing conditions.

CITY OF ALBUQUERQUE



15. Both proposed and existing grades must be adequately depicted by contours and/or spot elevations.
16. Provide the finish building floor elevation(s) or pad elevation(s).
17. Your calculations assume the pervious areas are Type A, defined in the *Development Process Manual* as "Soil uncompacted by human activity with 0 to 10% slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, ground cover and infiltration capacity." Is this truly the case? Typically, on a site that is currently developed, the pervious areas would be Type C, defined as "Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10%. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20% or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability."
18. Provide an executive summary, as defined in the *Development Process Manual*, Chapter 23, Section 7.I.
19. You refer to a pond in your calculations. Where is this pond? Why are you installing a pond? What is the water surface elevation? Please provide more information.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A copy of the Grading Plan checklist is attached for your reference. If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File