

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 19, 2020

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Baylor Drive Property
2635 Baylor Dr. SE
Grading and Drainage Plan
Engineer's Stamp Date: 10/16/20
Hydrology File: M16D044**

Dear Mr. Bohannon:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based upon the information provided in your resubmittal received 09/10/2020, the Grading & Drainage Plan is approved for Building Permit and for action by the DRB on Site Plan for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Also as a reminder, please provide Drainage Covenant for the retention pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

CITY OF ALBUQUERQUE

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If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Baylor Drive Property **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: 1D2 Airport Industrial Park Replat of Lots 1D & 12 & 13 Blk 1 Airport Industrial P
City Address: 2635 Baylor Drive SE Albuquerque NM 87106

Applicant: KMA Kenneth Myers Architects **Contact:** Kenneth Myers
Address: 220 Hermosa DR. NE Albuquerque NM 87108
Phone#: 518-364-9914 **Fax#:** _____ **E-mail:** kenny@kennethmyers.com

Other Contact: Tierra West, LLC **Contact:** Assad Rizvi
Address: 5571 Midway Park PI NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** arizvi@tierrawestllc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9/9/20 **By:** Assad Rizvi

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



TIERRA WEST, LLC

September 9, 2020

Renee C Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department
PO BOX 1293
Albuquerque, NM 87103

**RE: BAYLOR DRIVE PROPERTY
2635 BAYLOR DR. SE
GRADING AND DRAINAGE PLAN
ENGINEER'S STAMP DATE: 08/07/19
HYDROLOGY FILE: M16D044**

Dear Renee,

Below is our response to comments base on the referenced job above:

1. Provide the existing and / or proposed grades on both sides of the proposed retaining wall.
Response: Additional spots have been added adjacent to the proposed retaining wall.
2. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch. 22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
Response: Sections have been added to GR-2.
3. If the proposed retaining wall will create such an encroachment, written agreement from both landowners must be provided for such work. Written permission must include: signature of the property owner or owners representative, statement that undersigned is the owner or authorized representative, permission to construct the encroachment with a brief description of the encroachment.
Response: The property owner is in discussions with the adjacent property owner to East to obtain a construction easement for the proposed retaining wall at the NW corner of the site.
4. Please provide a cross section of the proposed retention pond showing dimensions, the bottom elevation, the top of wall, and the water surface elevation of the 100 year 10 day volume.
Response: A pond section has been added to GR-2.
5. Please provide a detail of the proposed 2 ft concrete channel entering the walled retention pond.
Response: A detail of the concrete channel entering the walled retention pond has been added to GR-2.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
tierrawestllc.com

6. Please fix several overlapping text and missed placed text.

Response: Overlapping text has been fixed.

7. Standard review fee of \$150 will be required at the time of resubmittal.

Response: Understood.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



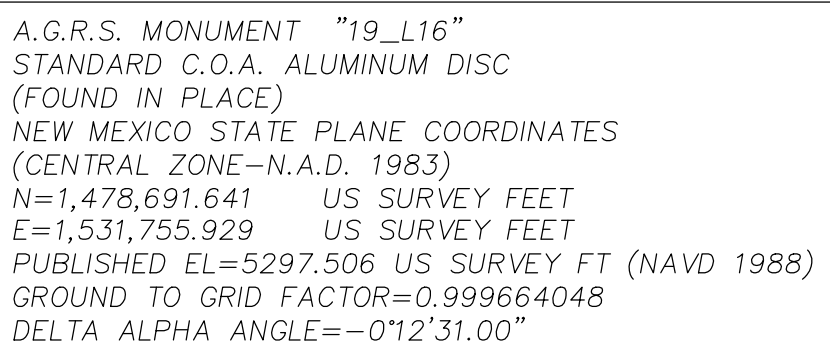
9/10/2020

Ronald Bohannon, P.E.

JN: 2019078

RRB/ar/ye

CC: Kenneth Myers



- EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. RETAINING WALL DETAIL WILL BE PROVIDED WITH BID SET. DESIGN IS PENDING UPON COORDINATION WITH STRUCTURAL ENGINEER.

NOTICE TO CONTRACTORS

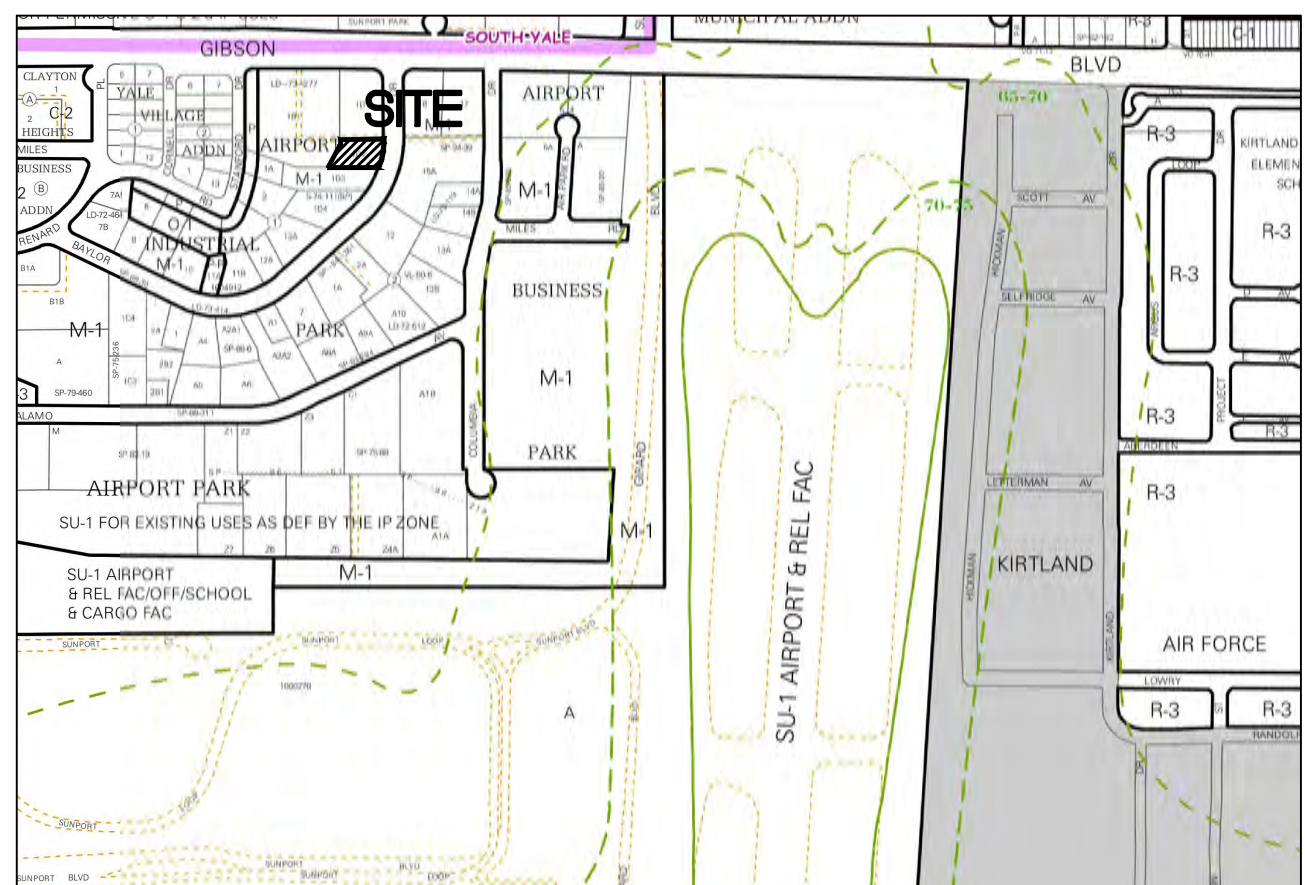
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. PRIOR TO WORK WITHIN THE COA RIGHT-OF-WAY, A WORK ORDER PERMIT WILL BE REQUIRED.

EXISTING DRAINAGE:

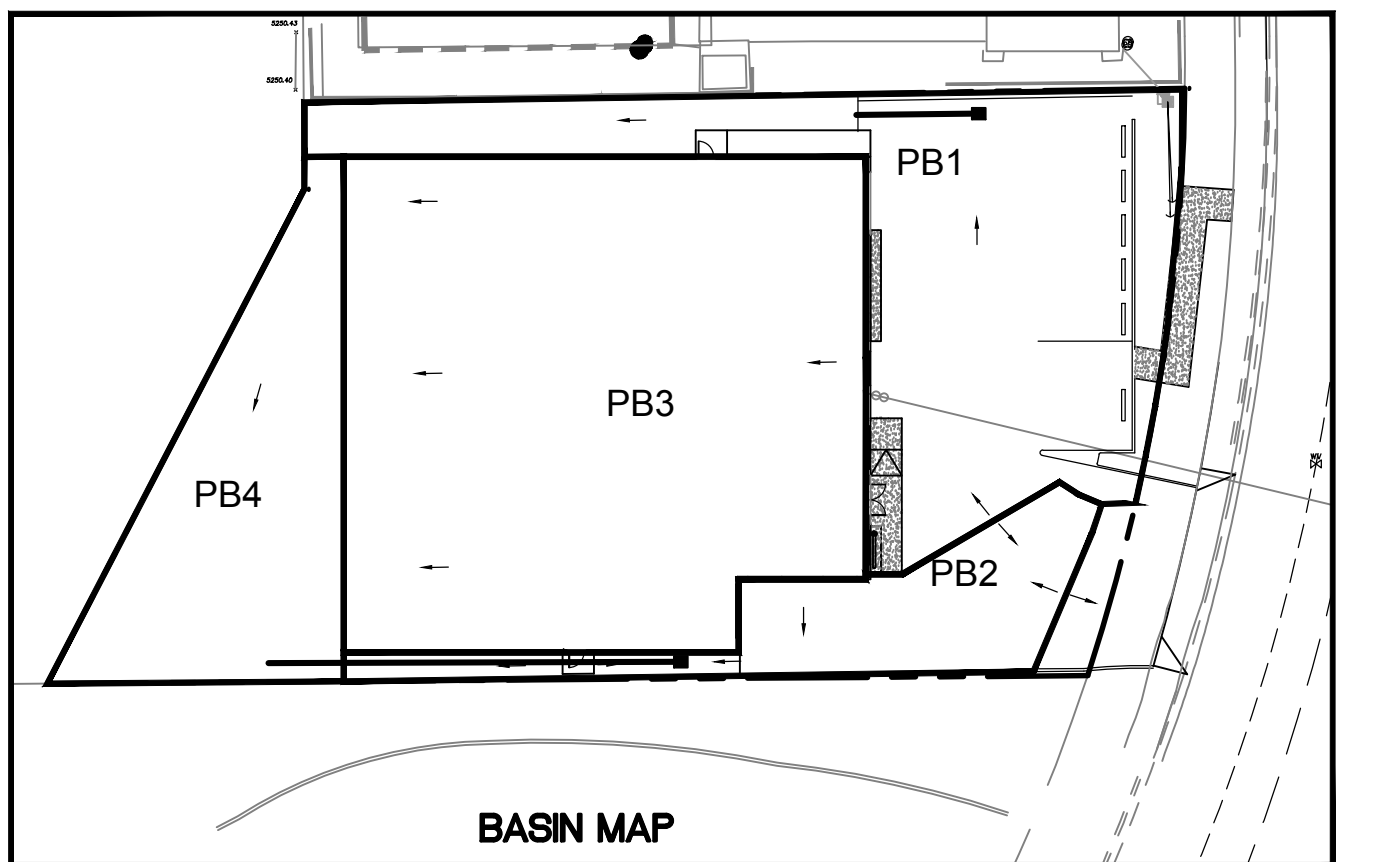
THE SITE IS CURRENTLY VACANT AND DRAINS FROM NORTHEAST TO SOUTHWEST.THERE IS AN EXISTING HYDROLOGY FILE LISTED UNDER M16D044 FOR THIS SITE. IT IS BOUNDED BY A RETAINING WALL TO THE NORTH AND A SIDEWALK IN THE PUBLIC RIGHT-OF-WAY TO THE SOUTH. THE CURRENT EASEMENT ACROSS THE NUGGETS LANE LOT FOR THE PUBLIC ROW ON THE EAST SIDE OF THE PROPERTY, FLOWS FROM UPLAND BASINS ARE CONVEYED BY BAYLOR RD. THERE IS A SMALL BASIN ALONG THE WESTERN PROPERTY LINE THAT DRAINS INTO THE NEIGHBORING PROPERTY TO THE WEST. THE REST OF THE PROPERTY DRAINS TO THE SOUTH. THE DRAINAGE DITCHES DRAIN DIRECTLY TO THE SOUTH. FROM THERE DISCHARGES INTO A VACANT LOT THAT DRAINS INTO STANFORD DR. THE ROADWAYS BY WHICH THIS DRAINAGE IS CONVEYED ARE AT CAPACITY.

PROPOSED DRAINAGE:

THIS SITE IS DIVIDED UP IN TO FOUR PROPOSED DRAINAGE BASINS, ONE OF WHICH INCLUDES A RETENTION POND SIZED FOR THE 10-DAY STORM PER CITY OF ALBUQUERQUE DPM REQUIREMENTS. THE INTENT OF THE PROPOSED DRAINAGE SCHEMATIC IS TO CONVEY FLOWS FROM THE PARKING LOT ON THE EASTERN SIDE OF THE PROPERTY TO THE RETENTION POND TO THE WEST. THE FLOWS WILL BE CONVEYED THROUGH STORM DRAINS AND CONCRETE SWALES ON THE NORTH AND SOUTH SIDES OF BUILDING. DRAINAGE FROM THE BUILDING ITSELF WILL DRAIN TO THE WEST INTO THE RETENTION POND BASIN. DRAINAGE FROM THE FIRST FLUSH VOLUME OF THE SITE WAS

VICINITY MAPFIRM MAP

35001C0361G



BASIN MAP

DPM Weighted E Method

Precipitation Zone 2

Area Vicinity
Lot 1-D-2, Block 1 Airport Industrial Park
TW LLC Date 2/20

Existing Conditions

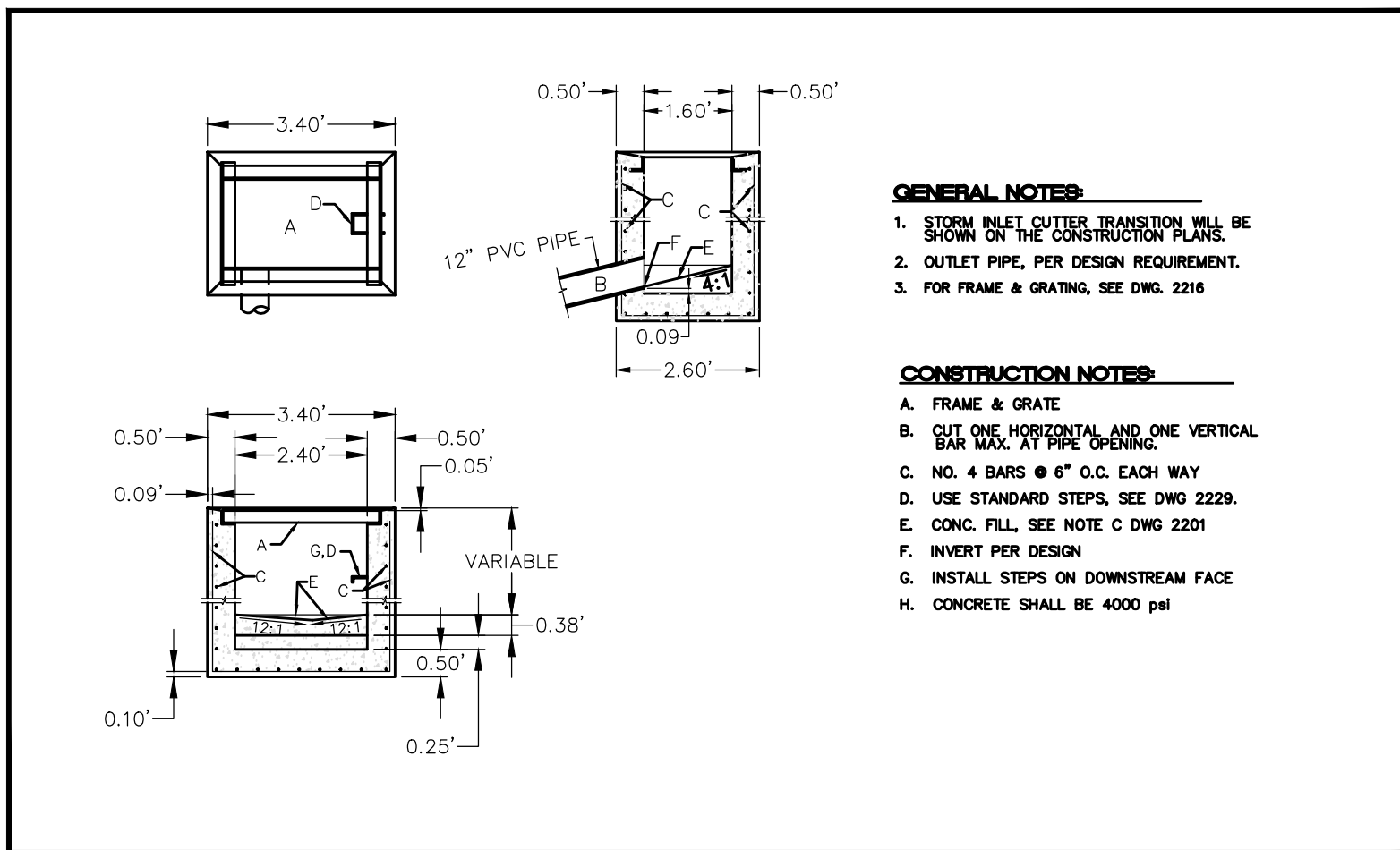
Basin Descriptions										100-Year, 6-Hr			10-Year, 6-Hr				
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
F81	5,935.00	0.136	0.00021	0%	0.000	0%	0.000	100%	0.136	0%	0.000	1.130	0.013	0.43	0.529	0.006	0.63
F82	15,954.00	0.366	0.00057	0%	0.000	0%	0.000	100%	0.366	0%	0.000	1.130	0.034	1.15	0.529	0.016	2.63
F83	1,678.00	0.037	0.00006	0%	0.000	0%	0.000	0.037	0%	0.000	1.130	0.004	0.12	0.529	0.007	0.06	
Total	23,517.00	0.540	0.00084	0.000	0.000	0.000	0.000	0.000	0.540	0.000	0.000	0.047	1.70		0.022	0.92	

Proposed Conditions														
Basin Descriptions								100-Year, 6-Hr			10-Year, 6-Hr			
Basin ID	Area (sq ft)	Area (acres)	Area (sq miles)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	
PB1	5,964.00	0.137	0.00031	0%	0%	36%	64%	0.089	1.764	0.03	0.045	0.016	0.25	
PB2	1,825.00	0.042	0.00007	0%	0.000	0%	0.003	94%	0.940	0.007	0.20	1.291	0.005	0.11
PB3	9,159.00	0.210	0.00033	0%	0.000	0%	0.000	100%	0.210	0.193	0.98	0.344	0.023	0.66
PB4	30,681.50	0.071	0.00011	0%	0.000	0%	84%	0.059	16%	0.011	1.293	0.008	0.24	0.654
Total	20,061.30	0.461	0.00072	0.000	0.000	0.113	0.349	0.072	1.99	0.044	1.24	0.044	1.19	

$$V_{1\text{ day}} = V_{360} + A_D \times (P_{1\text{ day}} - P_{360}) / 12 \frac{\text{in}}{\text{ft}} = 0.072 \text{ ac} \cdot \text{ft} + 0.349 \text{ ac} \cdot (3.95 - 2.35) / 12 = 0.119 \text{ ac} \cdot \text{ft} = 5,184 \text{ cu. ft.}$$

Basin	Impervious Area (cf)	Required (cf)
PB1	3816.960	108.8
PB2	1744.643	49.9
PB3	9159.800	259.9
PB4	499.203	14.3
Total		433.9

Pond Volume Calculations			
Elevation (ft)	Area (sq ft)	Volume (c ³)	Cumulative Volume (c ³)
50'	922	0	0
51'	922	822	822
52	922	892	1644
53	922	822	2466
54	922	822	3288
55	922	822	4110
56	922	822	4932
57	922	822	5754
58	922	822	6576



SINGLE D INLET
DETAIL C

NTS

GENERAL NOTES:

1. STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
2. OUTLET PIPE, PER DESIGN REQUIREMENT.
3. FOR FRAME & GRATING, SEE DWG. 2216

CONSTRUCTION NOTES:

- A. FRAME & GRATE
- B. CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
- C. NO. 4 BARS @ 6" O.C. EACH WAY
- D. USE STANDARD STEPS, SEE DWG 2229.
- E. CONC. FILL, SEE NOTE C DWG 2201
- F. INVERT PER DESIGN
- G. INSTALL STEPS ON DOWNSTREAM FACE
- H. CONCRETE SHALL BE 4000 psi

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S
SEAL

10/16/2020

RONALD R. BOHANNAN
P.E. #7868

2646 BAYLOR DR
ALBUQUERQUE, NM

GRADING AND DRAINAGE PLAN



TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

(303) 838-3100
www.tierrawestllc.com

DRAWN BY
pm

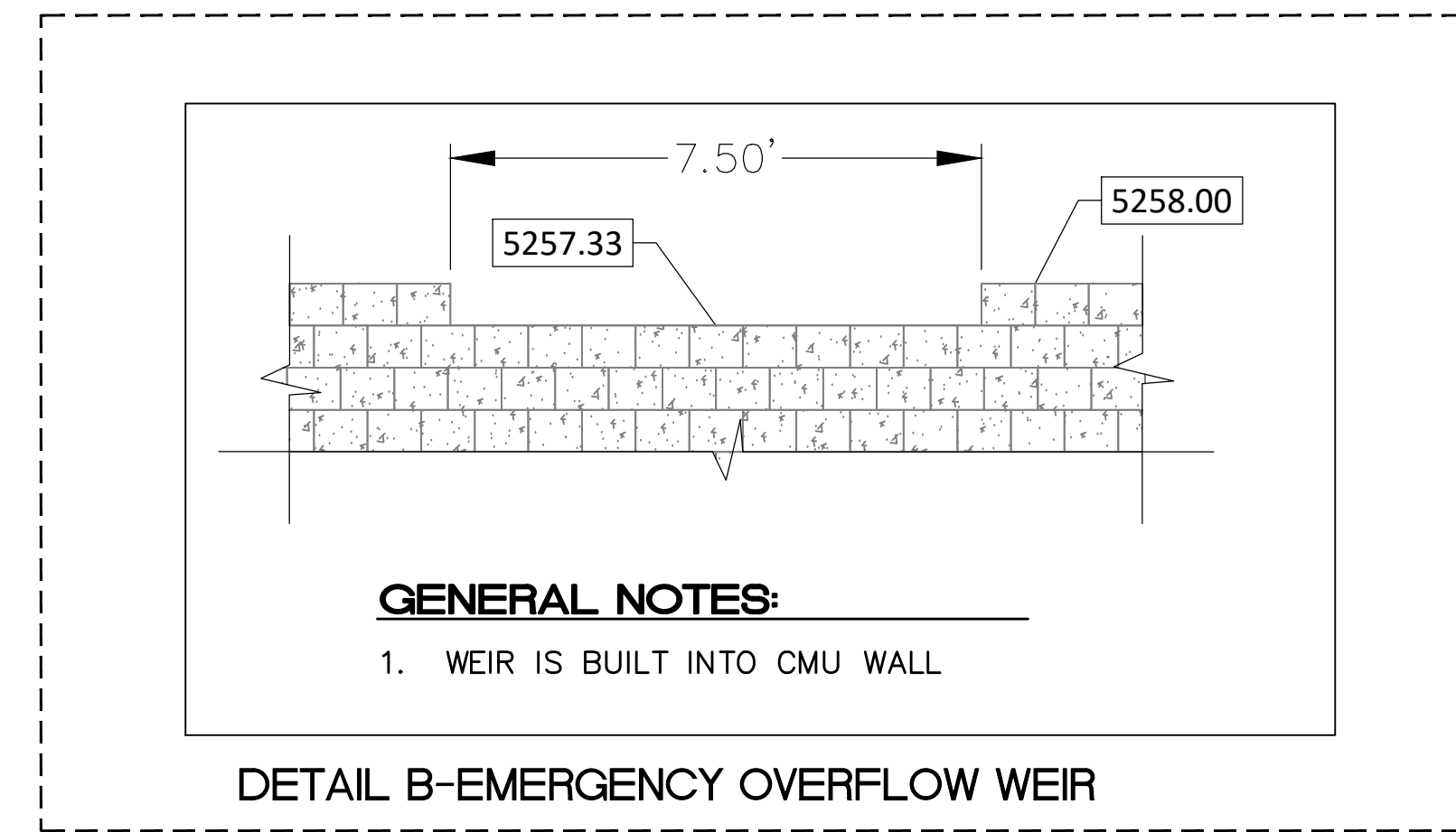
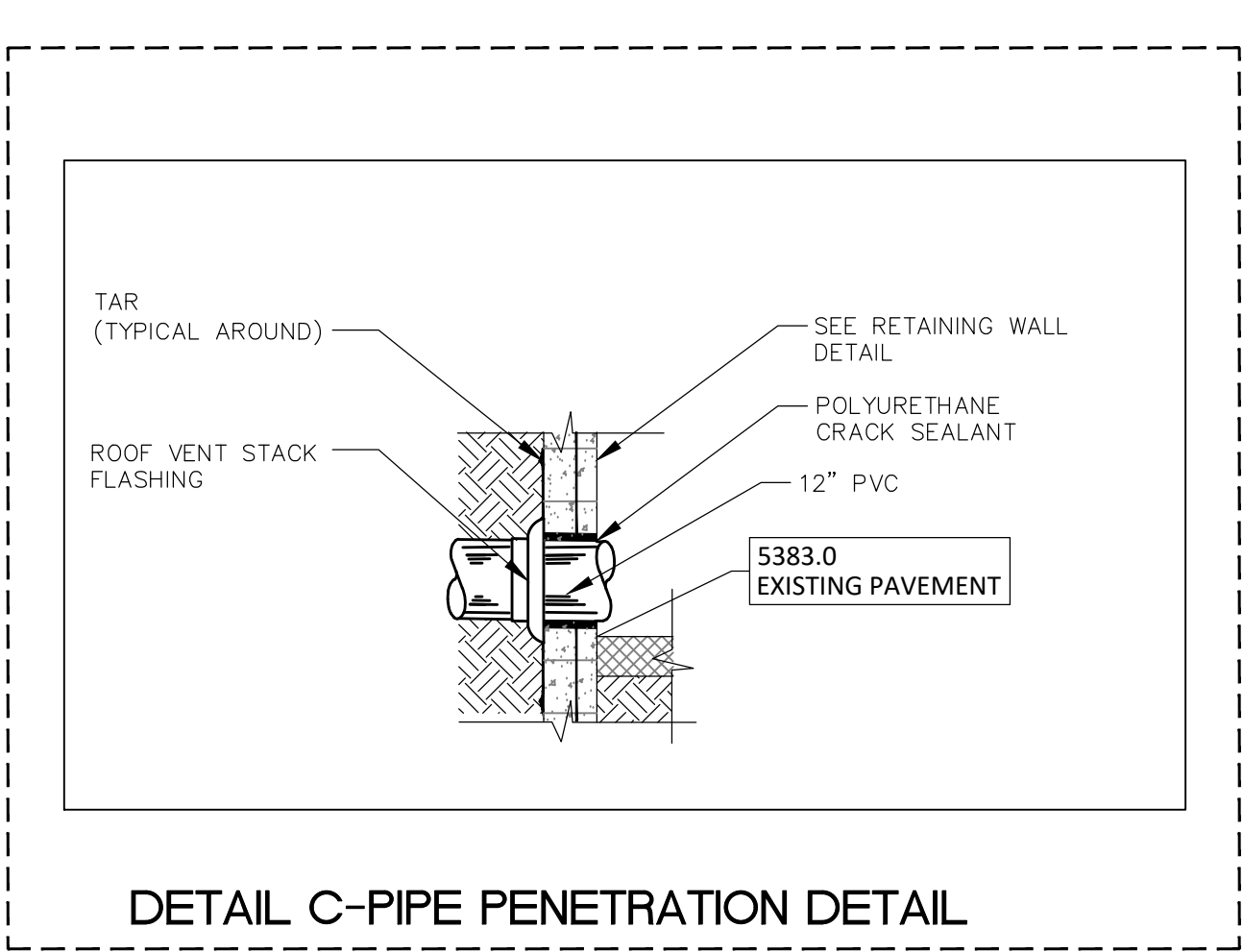
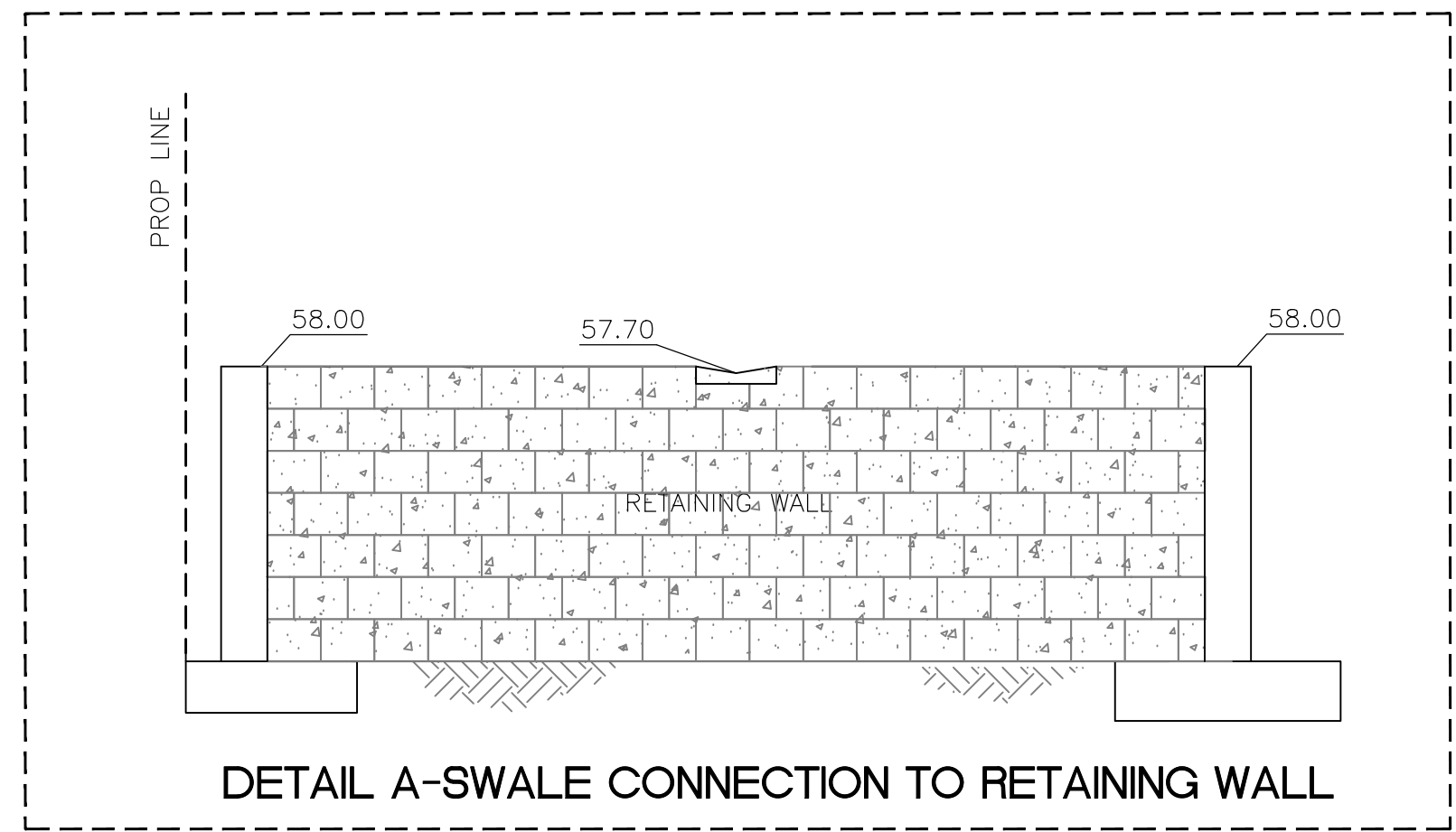
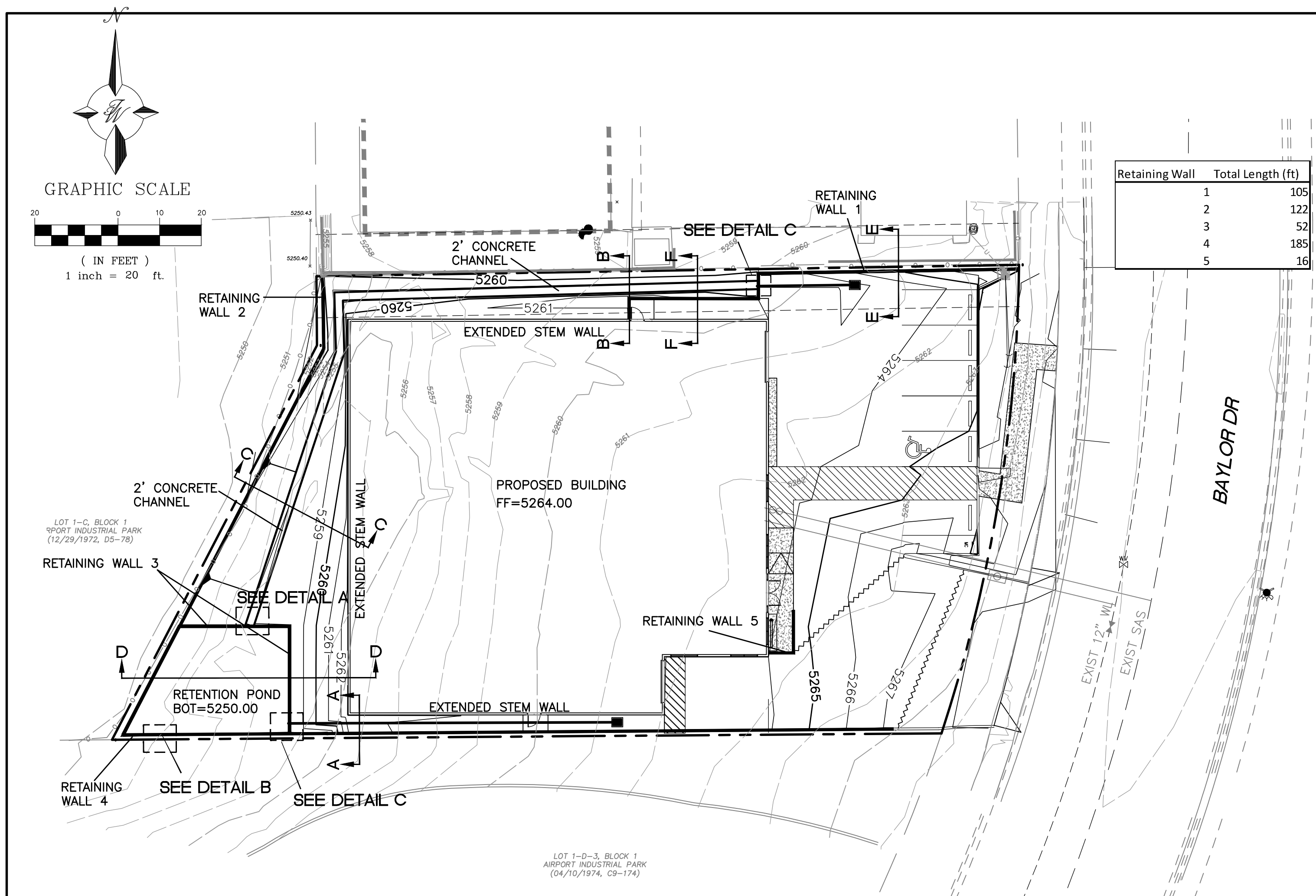
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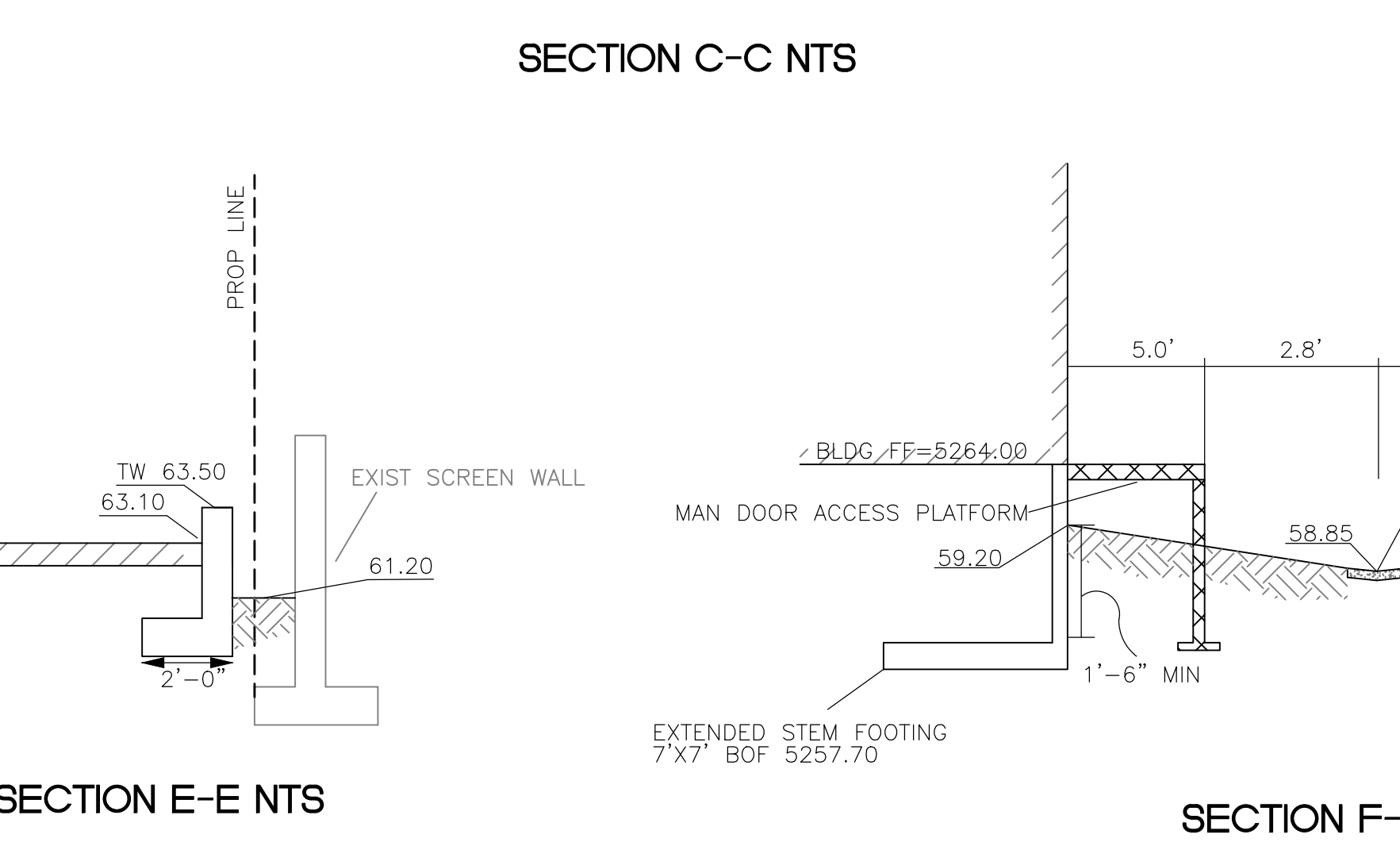
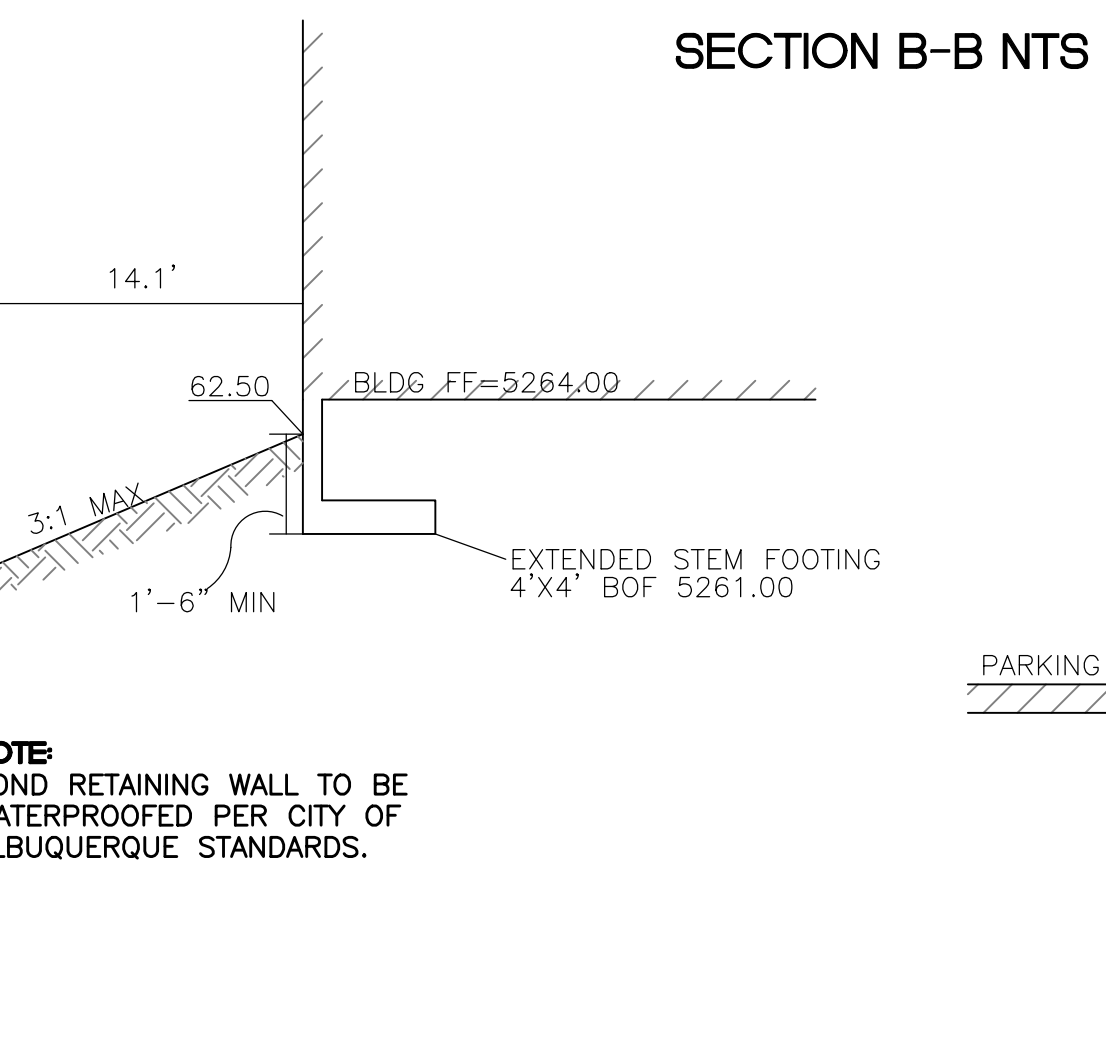
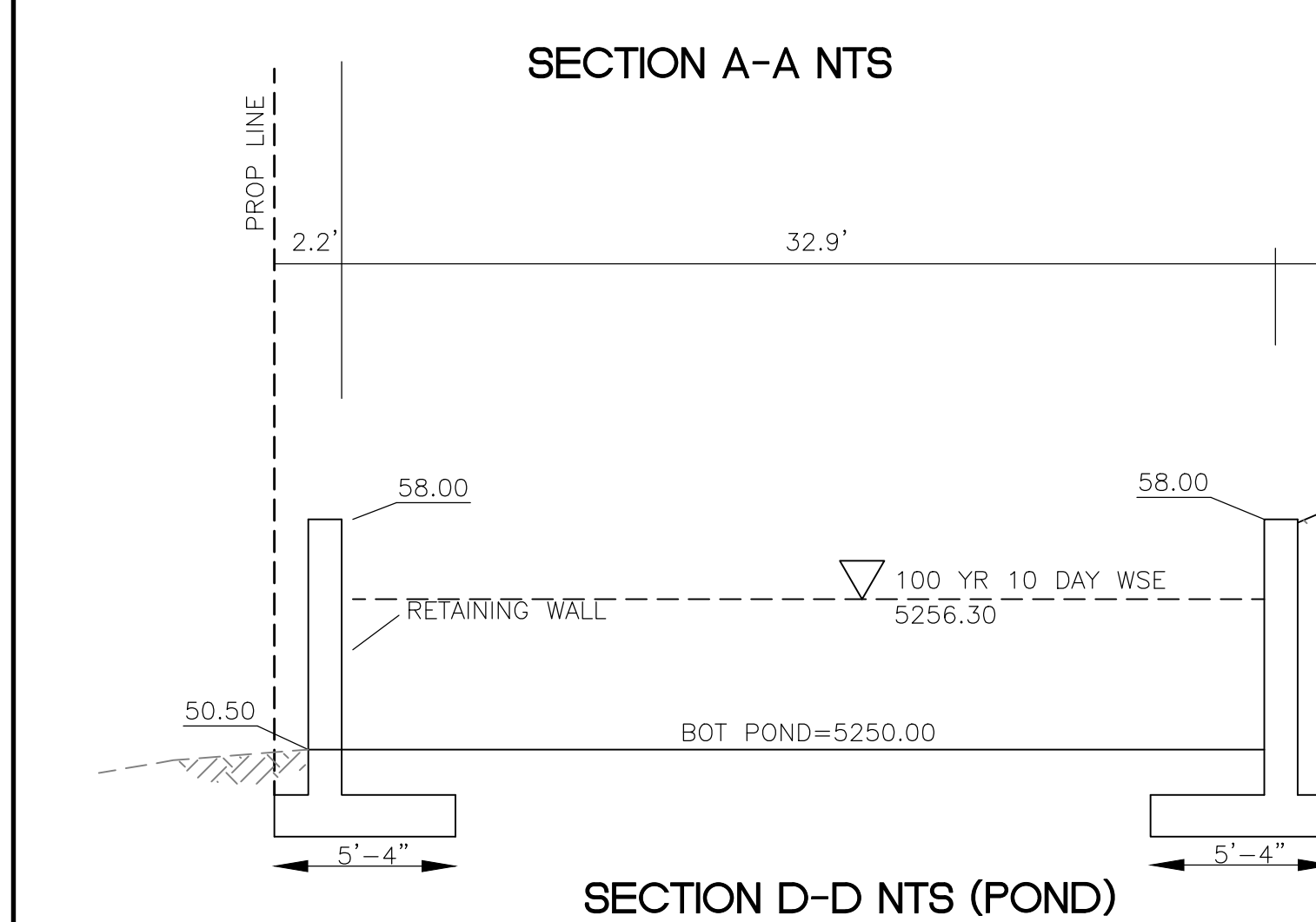
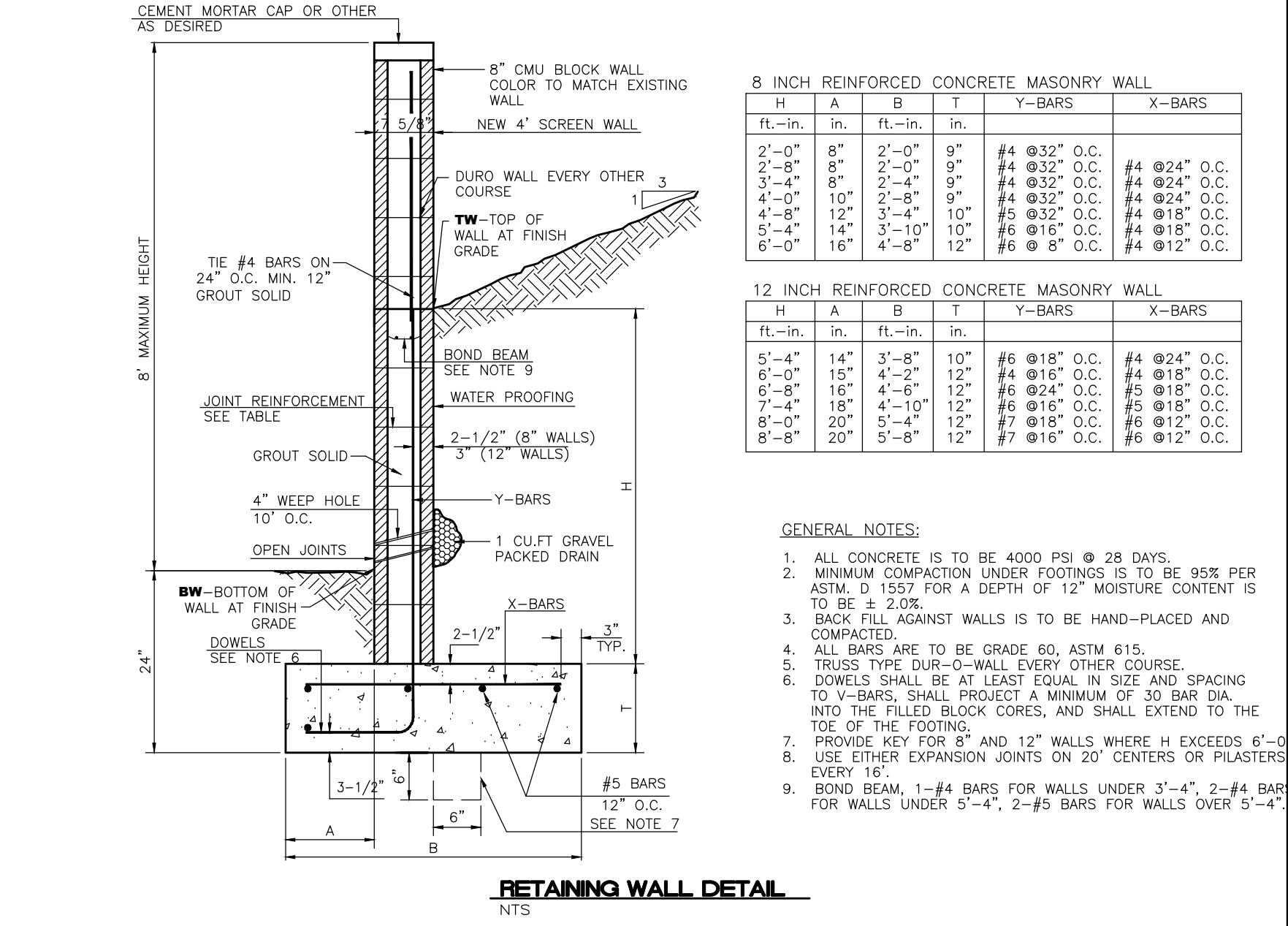
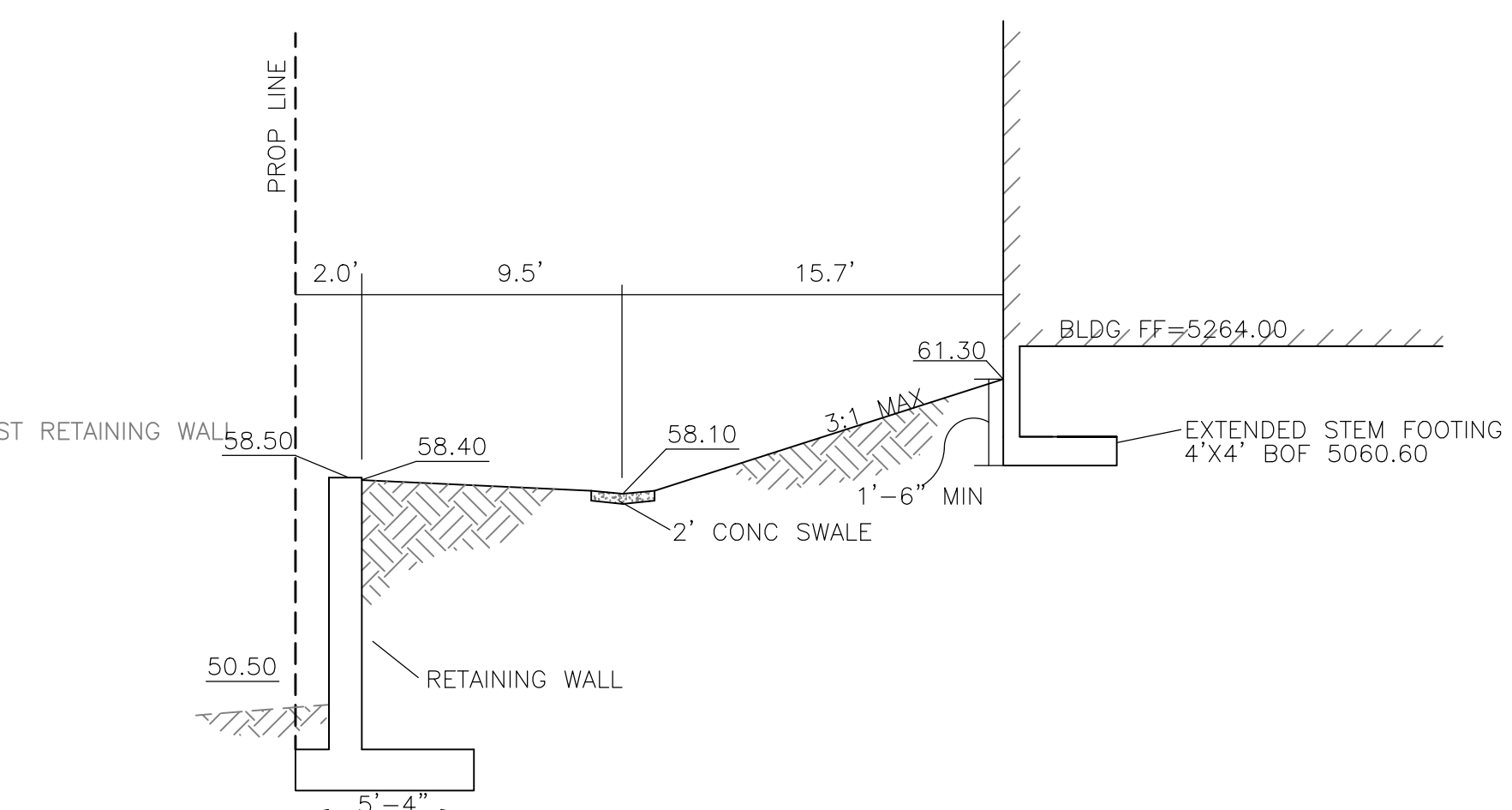
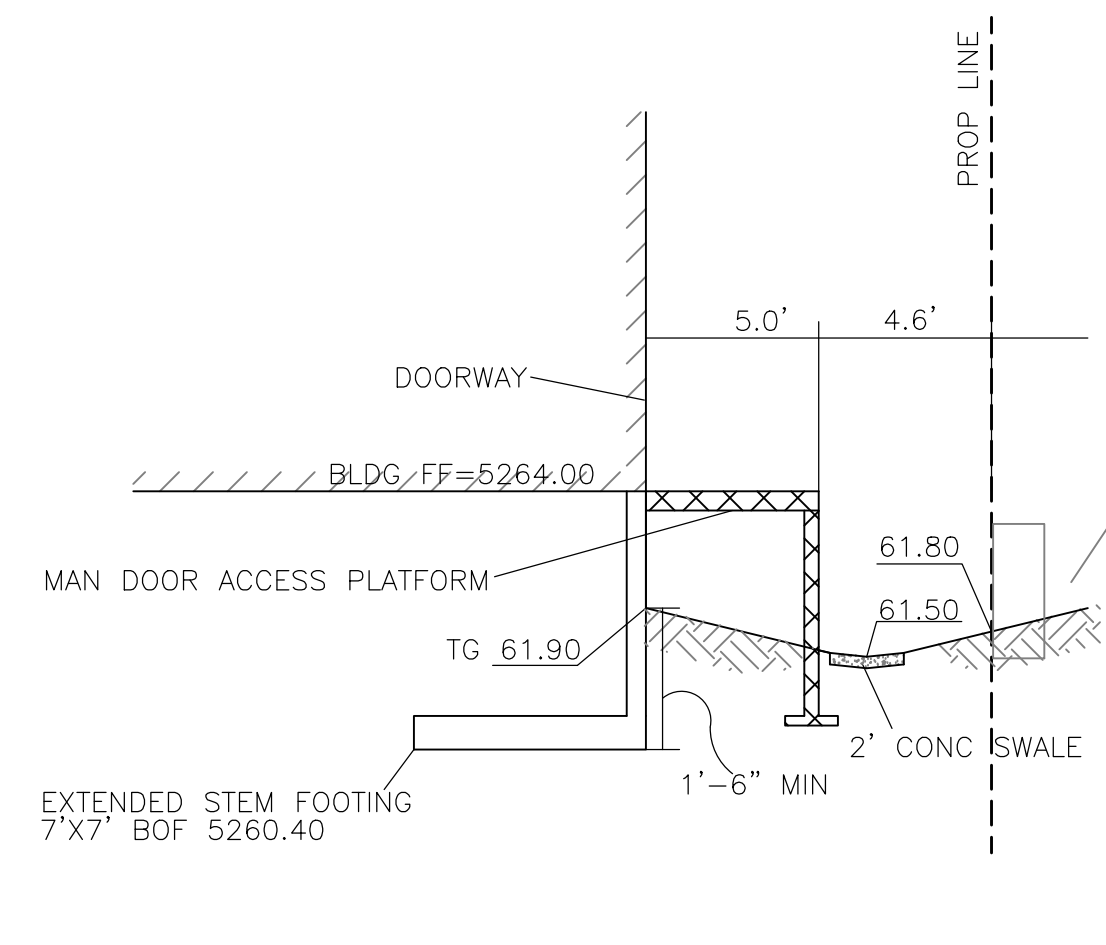
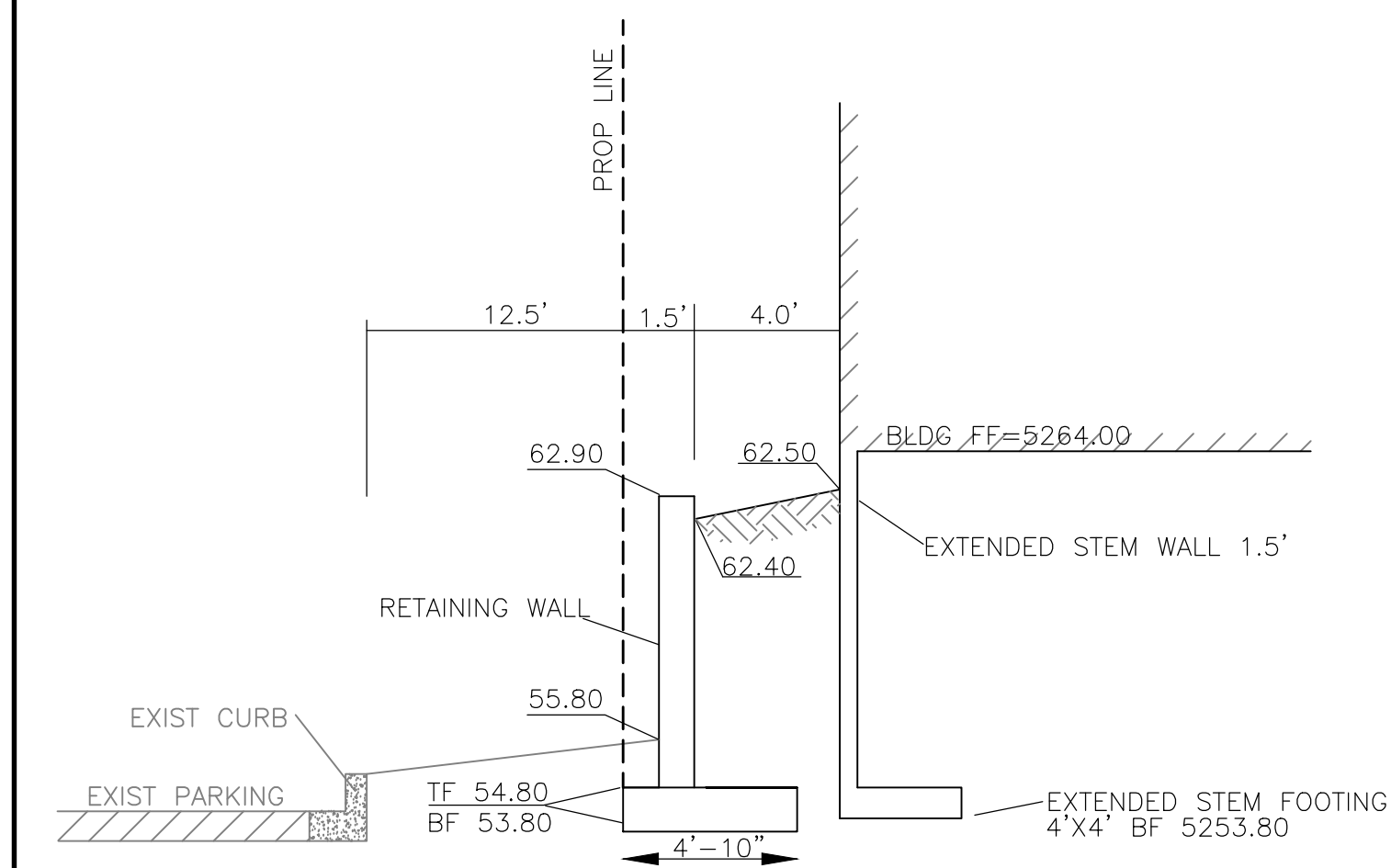
SHEET #

GR-1

JOB #
2019078



- NOTES**
- EXTENDED STEM FOOTING DETAILS WILL BE PROVIDED BY STRUCTURAL ENGINEER
 - PERIMETER RETAINING WALLS ARE TO BE CONSTRUCTED PER RETAINING WALL DETAIL THIS SHEET



<p>RONALD R. BOHANNAN P.E. #7868</p>	<p>2646 BAYLOR DR ALBUQUERQUE, NM</p> <p>CROSS SECTIONS</p>	<p>DRAWN BY pm</p> <p>DATE 10-16-2020</p> <p>DRAWING 2019006-GR</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK, PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # GR-2</p> <p>JOB # 2019078</p>
	<p>10/16/2020</p>	
	<p>10/16/2020</p>	