

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

August 30, 2021

Assad Rizvi
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Crestline Plastics
2648 Baylor Dr.
Request for Certificate of Occupancy - Permanent
Hydrology Final Inspection –Approved
Grading and Drainage Plan Stamp Date: 10/16/20
Certification Dated: 8/18/21
Drainage File: M16D044**

PO Box 1293

Dear Mr. Rizvi:

Albuquerque

Based on the submittal received on 8/19/21 and field inspection 8/27/21, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Baylor Drive Property **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: 1D2 Airport Industrial Park Replat of Lots 1D & 12 & 13 Blk 1 Airport Industrial P
City Address: 2635 Baylor Drive SE Albuquerque NM 87106

Applicant: AIA Architects **Contact:** Scott Anderson
Address: 7604 Rio Penasco NW- Suite 204 Albuquerque, NM 87120
Phone#: 505-401-7575 **Fax#:** _____ **E-mail:** andersonscottc@comcast.com

Other Contact: Tierra West, LLC **Contact:** Assad Rizvi
Address: 5571 Midway Park PI NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** arizvi@tierrawestllc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

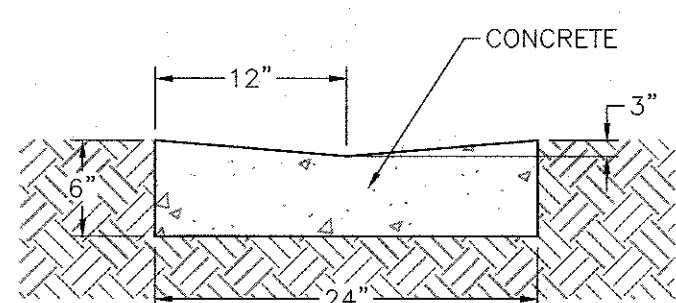
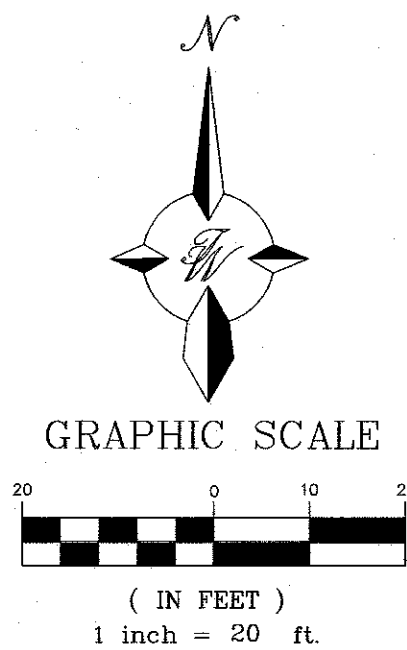
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY Permanent
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/18/2019 **By:** Assad Rizvi

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



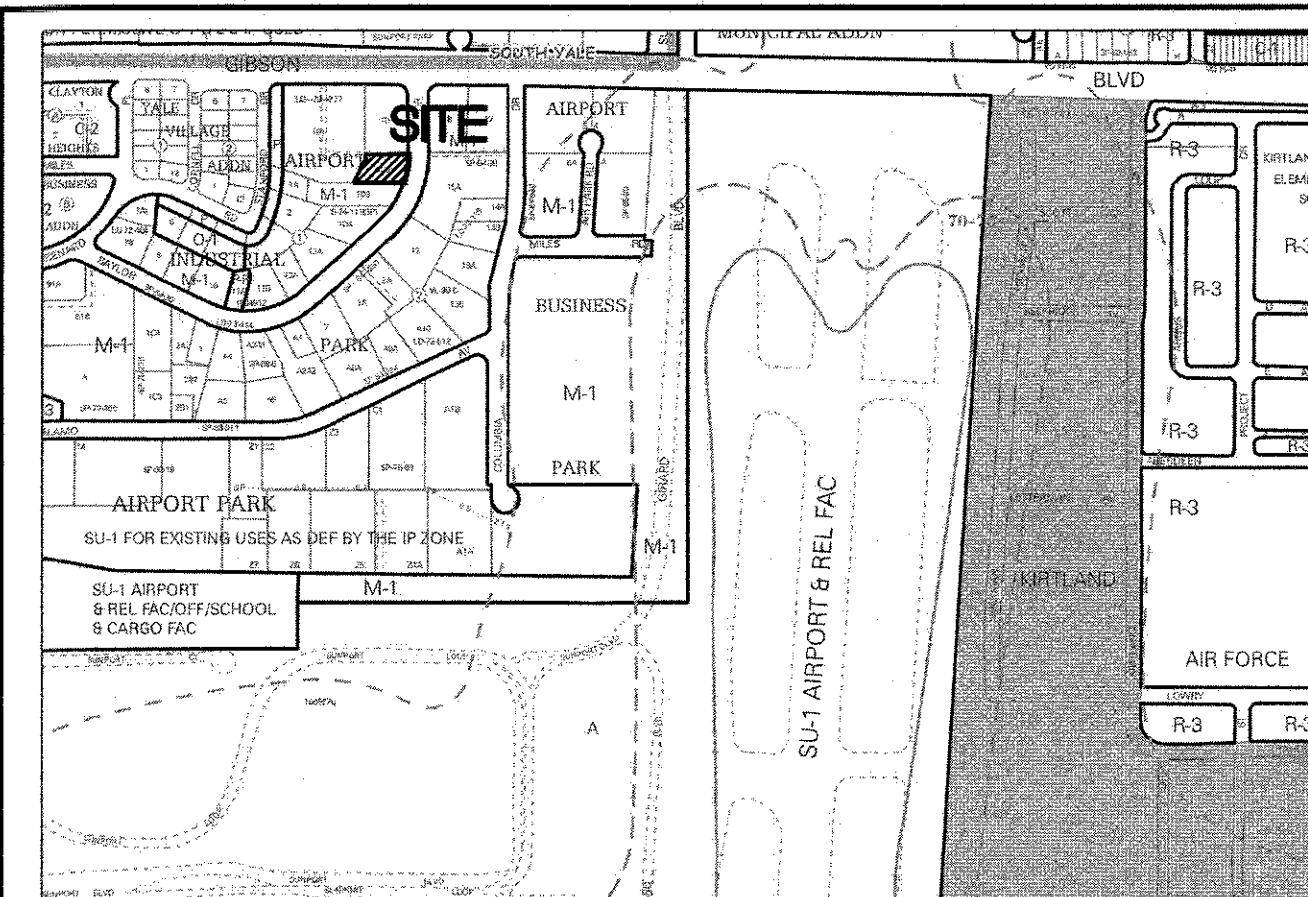
CONCRETE SWALE DETAIL

NOTES: 4000 PSI CONCRETE ON 6" OF COMPACTED SUBGRADE

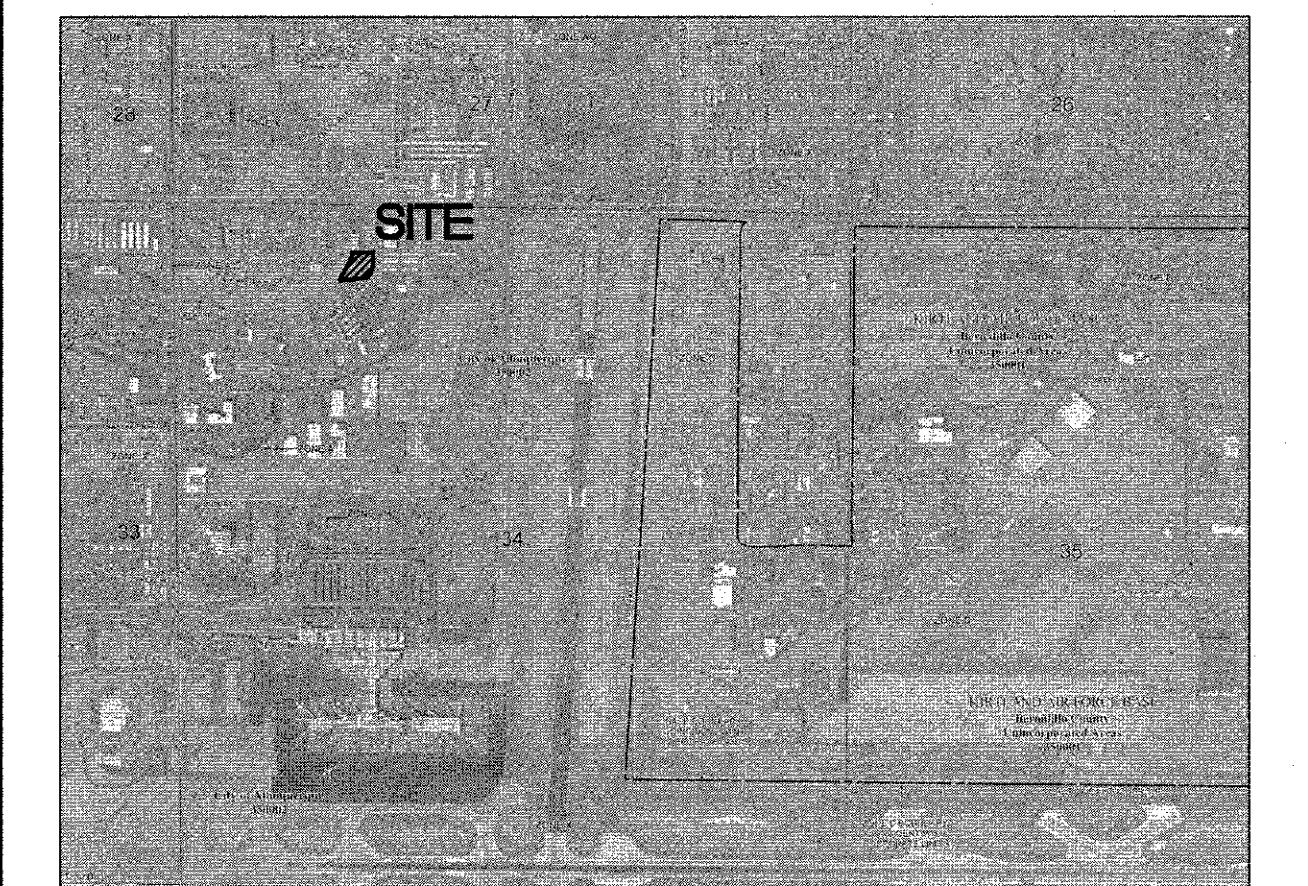
A.G.R.S. MONUMENT "19_L16"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,475,691.641 US SURVEY FEET
E=1,531,755.929 US SURVEY FEET
PUBLISHED EL=5297.506 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999664048
DELTA ALPHA ANGLE=-0°2'31.00"

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION (FLOWLINE)
- FLOW DIRECTION
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- GRADE BREAK



VICINITY MAP



FIRM MAP

35001C0361G

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- PRIOR TO WORK WITHIN THE COA RIGHT-OF-WAY, A WORK ORDER PERMIT WILL BE REQUIRED

EROSION CONTROL NOTES:

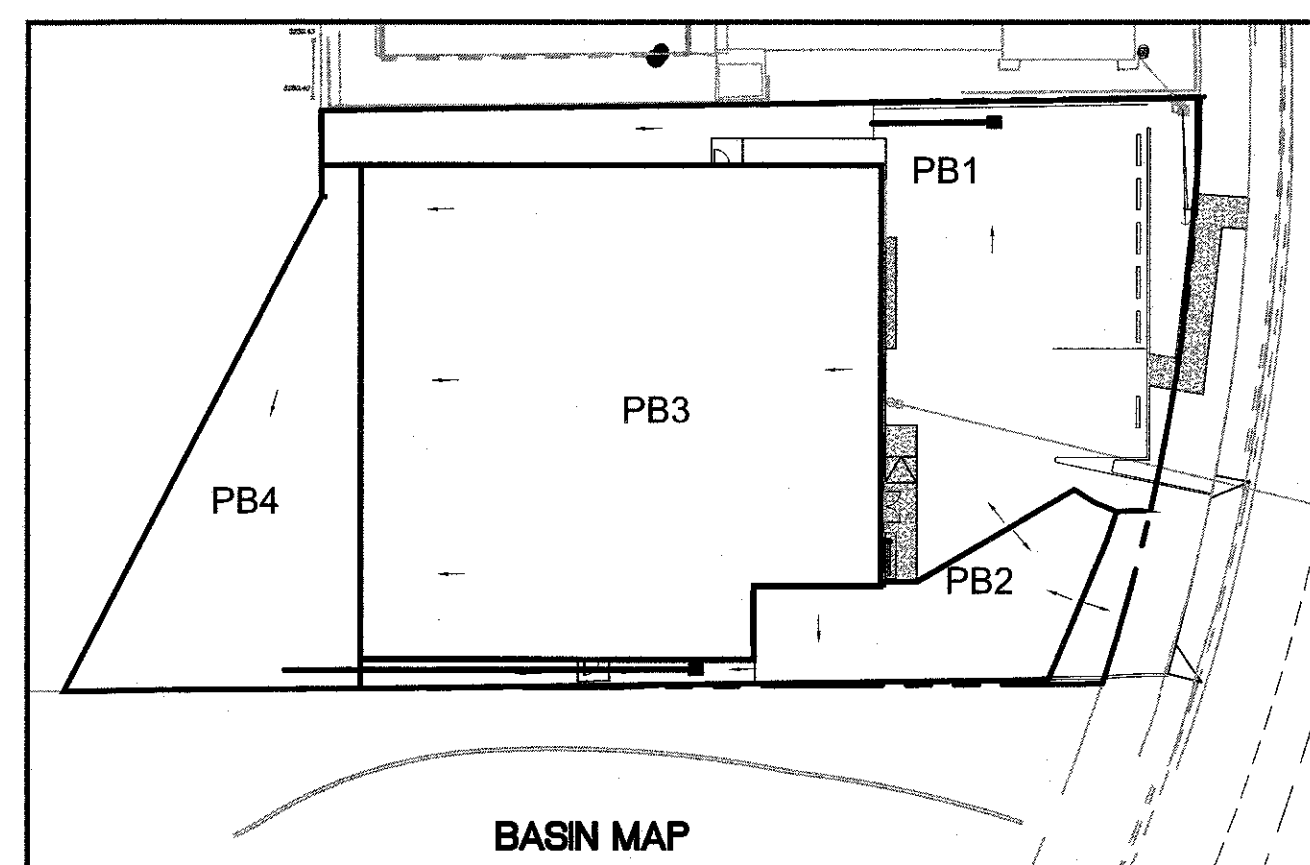
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- RETAINING WALL DETAIL WILL BE PROVIDED WITH BID SET. DESIGN IS PENDING UPON COORDINATION WITH STRUCTURAL ENGINEER.

EXISTING DRAINAGE:

THE SITE IS CURRENTLY VACANT AND DRAINS FROM NORTHEAST TO SOUTHWEST. THERE IS AN EXISTING HYDROLOGY FILE LISTED UNDER M16D044 FOR THIS SITE. IT IS BOUNDED BY A RETAINING WALL TO THE NORTH AND A SIDEWALK IN THE PUBLIC RIGHT OF WAY TO THE EAST. THE SITE CURRENTLY ACCEPTS LIMITED OFFSITE NUISANCE FLOWS FROM THE PUBLIC ROW ON THE EAST SIDE OF THE PROPERTY. FLOWS FROM UPLAND BASINS ARE CONVEYED BY BAYLOR RD. THERE IS A SMALL BASIN ALONG THE WESTERN PROPERTY LINE THAT DRAINS INTO THE NEIGHBORING PROPERTY TO THE WEST. THE REST OF THE SITE SHEET FLOWS THROUGH THE SOUTHWEST CORNER OF THE PROPERTY DIRECTLY TO THE SOUTH. FROM THERE IT DISCHARGES INTO A VACANT LOT THAT DRAINS INTO STANFORD DR. THE ROADWAYS BY WHICH THIS DRAINAGE IS CONVEYED ARE AT CAPACITY.

PROPOSED DRAINAGE:

THIS SITE IS DIVIDED UP IN TO FOUR PROPOSED DRAINAGE BASINS, ONE OF WHICH INCLUDES A RETENTION POND SIZED FOR THE 10-DAY STORM PER CITY OF ALBUQUERQUE DPM REQUIREMENTS. THE INTENT OF THE PROPOSED DRAINAGE SCHEMATIC IS TO CONVEY FLOWS FROM THE PARKING LOT ON THE EASTERN SIDE OF THE PROPERTY TO THE RETENTION POND TO THE WEST. THE FLOWS WILL BE CONVEYED THROUGH STORM DRAINS AND CONCRETE SWALES ON THE NORTH AND SOUTH SIDES OF BUILDING. DRAINAGE FROM THE BUILDING ITSELF WILL DRAIN TO THE WEST INTO THE RETENTION POND BASIN. DRAINAGE FROM THE FIRST FLUSH VOLUME OF THE SITE WAS



BASIN MAP

DPM Weighted E Method

Precipitation Zone 2

Area Vicinity

Lot 1-D-2, Block 1 Airport Industrial Park

TWLC Date 2/20/2020

Existing Conditions

Basin Descriptions								100-Year, 6-Hr			10-Year, 6-Hr		
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E Volume (ac-ft)	Flow cfs	
EB1	5,935.00	0.136	0.00021	0% 0.000	0% 0.000	100% 0.136	0% 0.000	1.130	0.013	0.43	0.520	0.006 0.23	
EB2	15,954.00	0.366	0.00057	0% 0.000	100% 0.366	0% 0.000	100% 0.366	1.130	0.034	1.15	0.520	0.016 0.63	
EB3	1,628.00	0.037	0.00006	0% 0.000	0% 0.000	100% 0.037	0% 0.000	1.130	0.004	0.12	0.520	0.002 0.06	
Total	23,517.00	0.540	0.00084	0.000	0.000	100% 0.000	0.000	0.000	0.047	1.70	0.022	0.92	

Proposed Conditions

Basin Descriptions												100-Year, 6-Hr				10-Year, 6-Hr			
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume	Flow	Weighted E	Volume	Flow		
				%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	cfs		(ac-ft)	cfs			
PB1	5,964.00	0.137	0.00021	0%	0.000	0%	0.000	36%	0.049	64%	0.088	1.764	0.020	0.57	1.045	0.012	0.36		
PB2	1,856.00	0.043	0.00007	0%	0.000	0%	0.000	6%	0.003	94%	0.040	2.061	0.007	0.20	1.291	0.005	0.13		
PB3	9,159.80	0.210	0.00033	0%	0.000	0%	0.000	0%	0.000	100%	0.210	2.120	0.037	0.99	1.340	0.023	0.66		
PB4	3,081.50	0.071	0.00011	0%	0.000	84%	0.059	16%	0.011	1.293	0.008	0.24	0.654	0.004	0.14				
Total	20,061.30	0.461	0.00072	0.000	0.000	0.000	0.111	0.349	0.072	1.99	0.044	1.29			0.044	1.29			

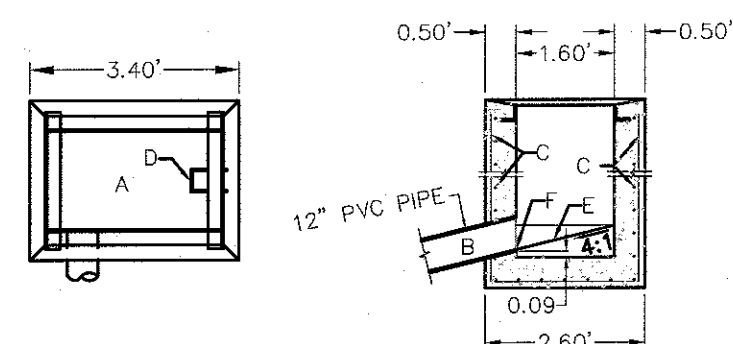
$$V_{inlet} = V_{inlet} + A_p \cdot (P_{inlet} - P_{pond}) / 12 \cdot 12 = 0.072ac-ft + 0.349ac \cdot (3.95 - 2.35) / 12 = 0.119 ac-ft = 5.184 cu. ft.$$

First Flush Calculations (0.34' over impervious areas)

Basin	Area (sf)	Area (acres)	Volume (sf)
PB1	3036.960	0.070	108.1
PB2	1744.640	0.040	49.4
PB3	9159.800	0.210	259.3
PB4	499.200	0.011	14.1
Total	14446.600	0.331	431.9

Pond Volume Calculations

Elevation (ft)	Area (sf)	Volume (sf)	Cumulative Volume (sf)
50	822	822	822
51	822	1644	1644
52	822	2466	2466
53	822	3288	3288
54	822	4110	4110
55	822	4932	4932
56	822	5754	5754
57	822	6576	6576
58	822	7398	7398



SINGLE D INLET DETAIL C

NTS

GENERAL NOTES:

- STORM INLET GUTTER TRANSITION SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
- OUTLET PIPE, PER DESIGN REQUIREMENT.
- FOR FRAME & GRATING, SEE DWG. 2216

CONSTRUCTION NOTES:

- FRAME & GRATE
- CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE CROSSING
- NO. 4 BARS @ 6" O.C. EACH WAY
- USE STANDARD STEPS, SEE DWG. 2220.
- CONC. FILL, SEE NOTE C DWG. 2201
- INVERT PER DESIGN
- INSTALL STEPS ON DOWNSTREAM FACE
- CONCRETE SHALL BE 4000 psi

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

I, RONALD R. BOHANNAN, NMPE # 7868, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/16/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY S. MARTINEZ, NMPS #133982 OF THE FIRM, TM SURVEYING.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/18/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:

NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, NMPE # 7868

DATE



ENGINEER'S SEAL

2646 BAYLOR DR

ALBUQUERQUE, NM

GRADING AND DRAINAGE PLAN

10/16/2020

RONALD R. BOHANNAN

P.E. #7868

DRAWN BY

pm

DATE

10-16-2020

DRAWING

2019006-GR

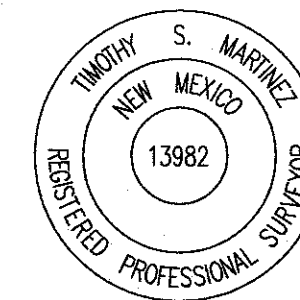
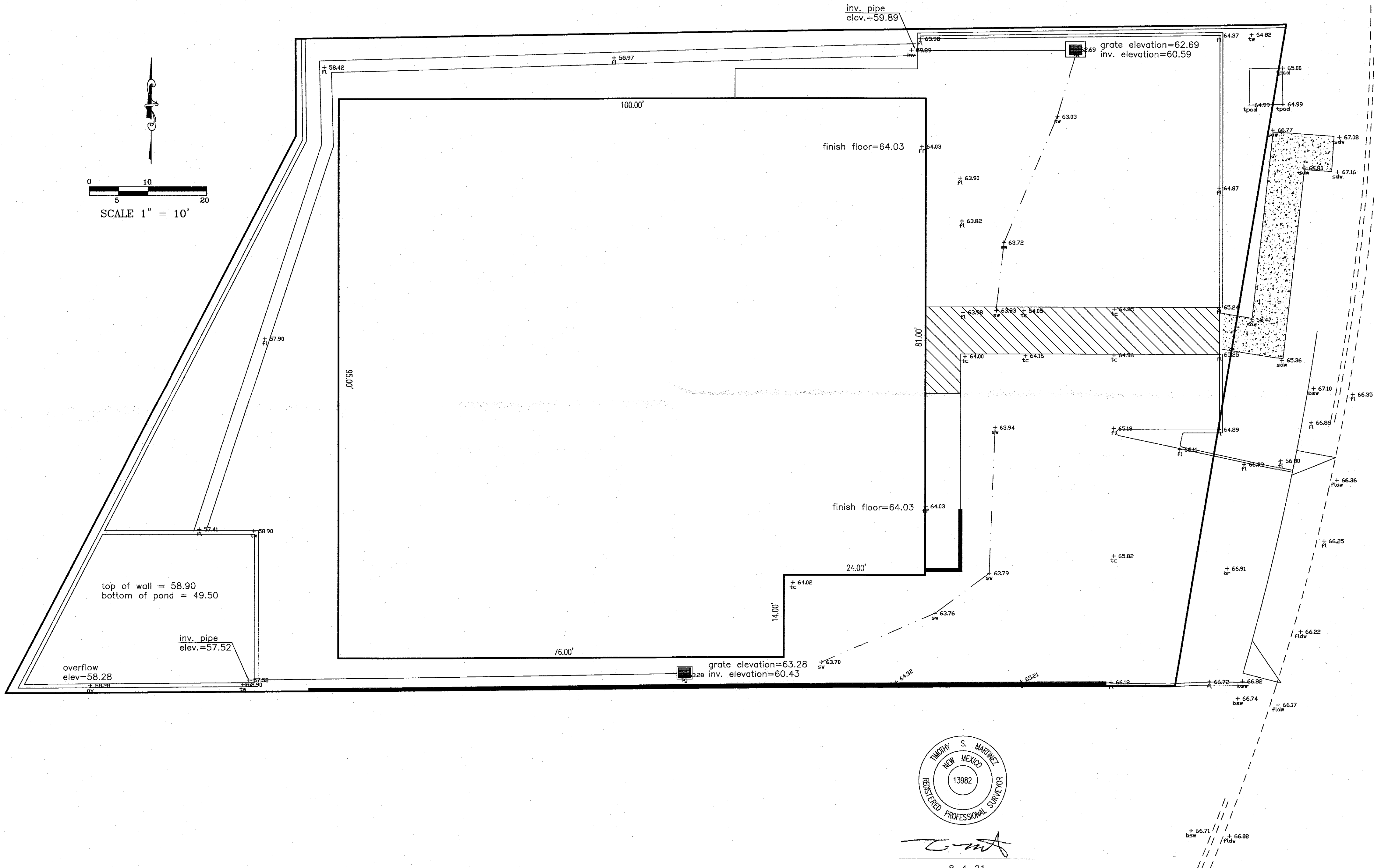
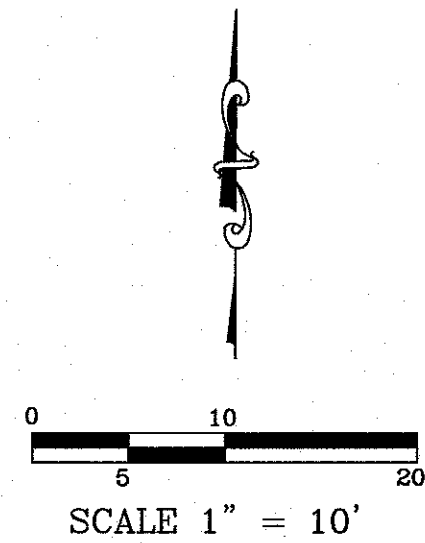
SHEET #

GR-1

JOB #

2019078

AS-BUILT ELEVATIONS
CRESTLINE PLASTICS
2635 BAYLOR DRIVE S.E.
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2021



[Signature]
8-4-21