



September 28, 2020

Kenneth Myers, RA
KMA
220 Hermosa Drive NE
Albuquerque, NM 87108

Re: Crestline Plastics
2635 Baylor Drive SE
Traffic Circulation Layout
Architect's Stamp 09-25-2020 (M16-D044)

Dear Mr. Myers,

The TCL submittal received 09-28-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

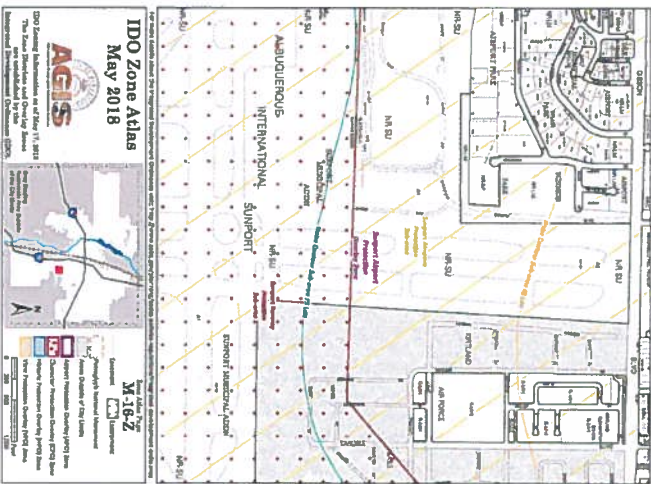
Sincerely,

www.cabq.gov


Nito Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

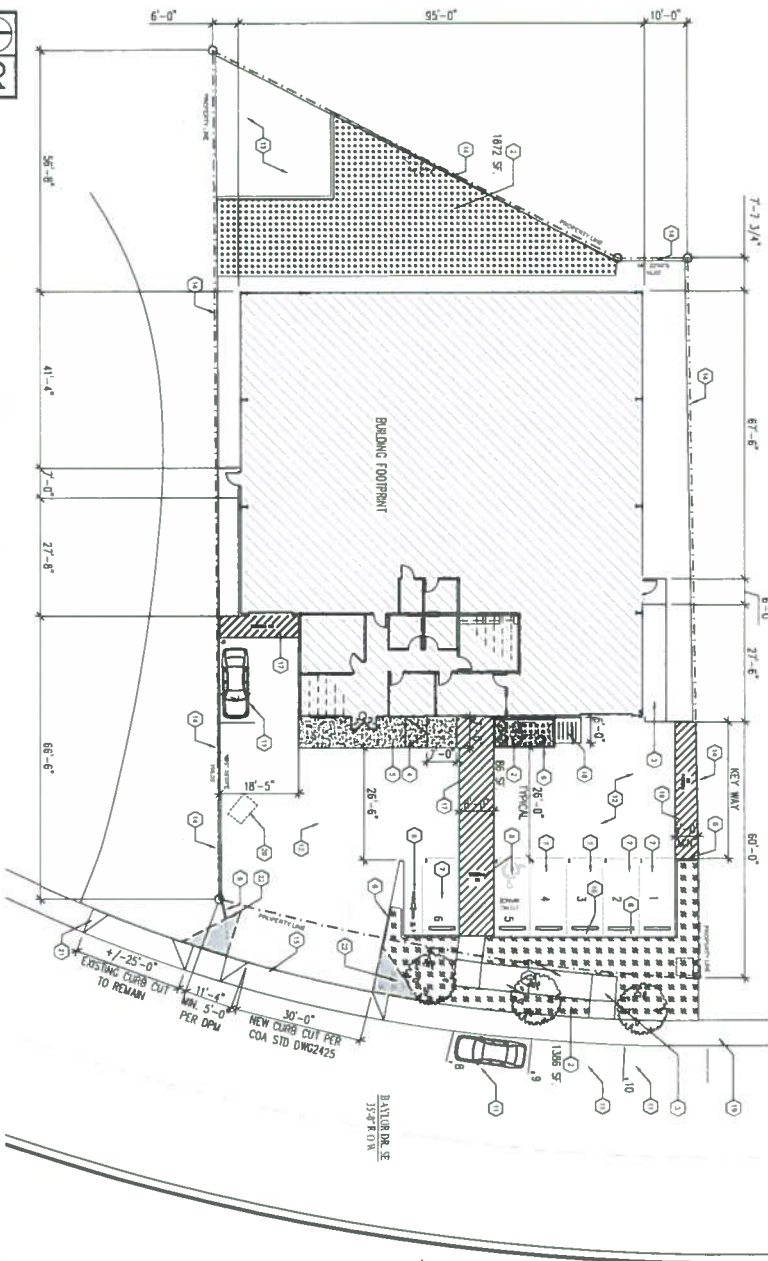
C: CO Clerk, File

CRESTLINE PLASTICS
2635 BAYLOR DR. SE
ALBUQUERQUE, NM 87106



KEYED NOTES

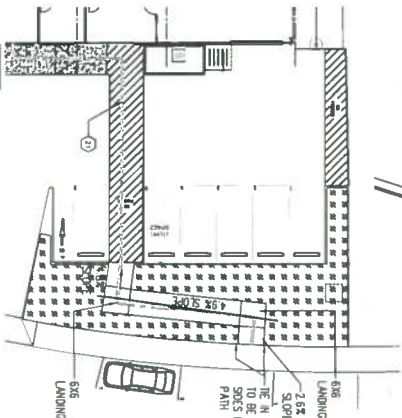
1. ACCESS EASEMENT
2. LANDSCAPE AREA=  XXX SF
3. CONCRETE PEDIESTRIAN RAMP PER DETAIL, CA/AS/100 - SEE DETAIL CA/AS/100 FOR SLOPES AND LANDING LOCATIONS
4. CONCRETE SIDE WALK PER DETAIL, BA/AS/100
5. CONCRETE SIDE WALK PER DETAIL, BS/AS/100
6. CONCRETE MOW CURB PER DETAIL, BA/AS/100
7. TYPICAL PARKING SPACE PER DETAIL, AS/AS/100
8. HANDICAP VAN PARKING SPACE, ACCESS ISLE, AND SIGN PER DETAIL AA/AS/100
9. DETAIL OF PARKING SPACE AND SIGN PER DETAIL BS/AS/100 AND SIGN PER DETAIL AS/AS/100
10. CARPOOL PARKING SIGN PER DETAIL, AI/AS/100
11. ON-STREET/ PARALLEL PARKING SPACE PER DETAIL, BA/AS/100
12. PARKING AREA - 6" CONCRETE PARKING LOT WITH BROOK FINISH
13. RETENTION AREA PER CIVIL
14. NEW DRIVE PAVED PER CIVIL STANDARD DRAWING #2425
15. NEW DRIVE PAVED PER CIVIL STANDARD DRAWING #2425
16. BUREAU BACK PAVED PER CIVIL STANDARD DRAWING #2425
17. CLEAR ZONE AROUND BUREAU PARKING STALL
18. STRIPPING PER DETAIL, AA/AS/100
19. MIN. 5' KENYAMA AREA - PROVIDE STRIPING AND NO PARKING SIGNAGE AS DESCRIBED IN DETAIL AA/AS/100
20. PARKING SIGNAGE AS DESCRIBED IN DETAIL AA/AS/100
21. EXISTING 6'-10" SIDE WALK TO REARLAND
22. TRASH DUMP - ALL OTHER THINGS DESTROYED. LOCATION ON STAIR DAVE - ALL OTHER THINGS DESTROYED. WILL BE STORED ON RETRIEVE OF BUILDING OUT OF PUBLIC VIEW
23. CENTER LINE INDICATES PEDIESTRIAN PATH FROM PUBLIC SIDEWALK TO ENTRY DRIVE. SEE DETAILS CA/AS/100 FOR RAMP AND LANDING DETAILS AND AA/AS/100 FOR SIDEWALK
24. TREE TRIANGLE, LANDSCAPE, SIGNAGE, WALLS, FENCES, TREES AND SHUBBERY, BETWEEN 3" AND 6" TALL, AS MEASURED FROM THE CUTTER PAN ARE NOT ALLOWED IN THE CLEAR SITE TRIANGLE



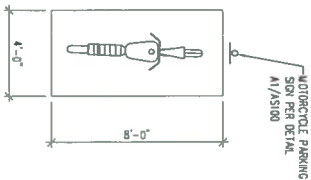
TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

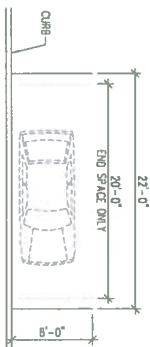
Date _____



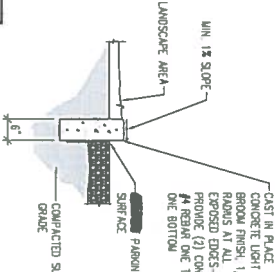
C1 TRAFFIC CIRCULATION LAYOUT PLAN



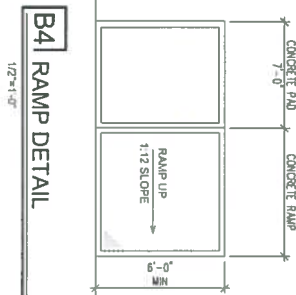
MOTORCYCLE
B1 PARKING DETAIL



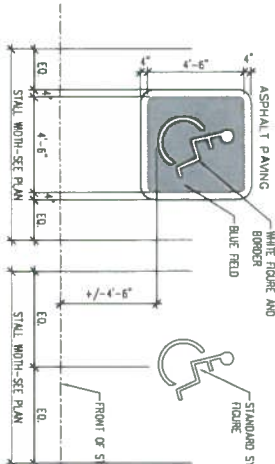
B21 PARALLEL PARKING DETAIL



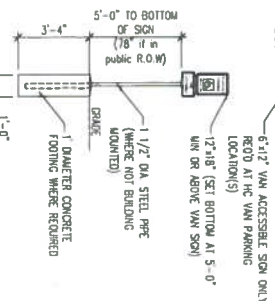
B3 | CURB DETAIL



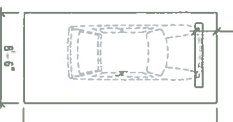
B4 | RAMP DETAIL



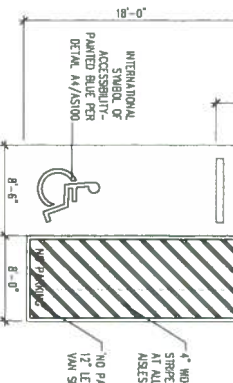
A1 | POST SIGN DETAIL



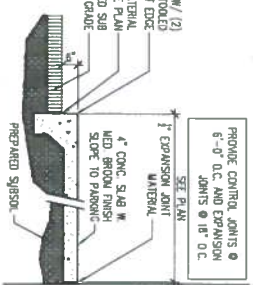
A2 | INTERNATIONAL ACCESSIBILITY SYMBOL



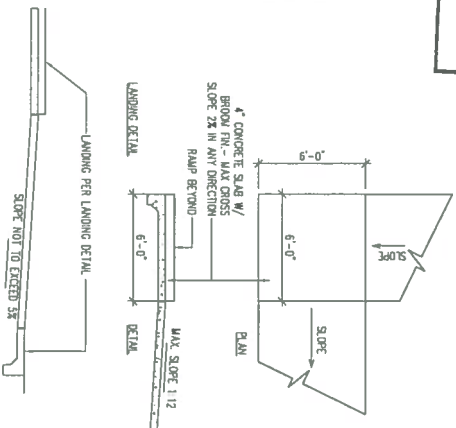
A3 | STANDARD PARKING STALL DETAIL



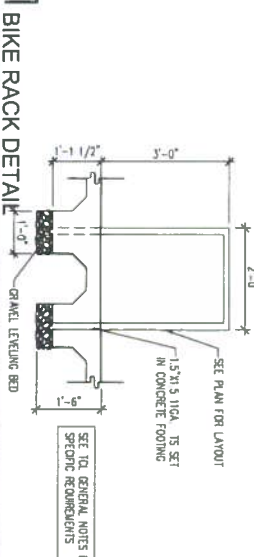
A4 | HANDICAP PARKING STALL DETAIL



B5 | ON SITE SIDEWALK DETAIL



C5 | PEDESTRIAN PATH DETAIL



A5 | BIKE RACK DETAIL

SITE / ZONING INFORMATION

ADDRESS:
2635 BAYLOR DR. NE
ALBUQUERQUE NM, 87106

LEGAL DESCRIPTION: LOT 102 BLOCK 1 AIRPORT INDUSTRIAL PARK
 UGALD 106105154/4 LOT 102
 USE REGULATIONS 14-16-4 NR-LM
 USE PER TABLE 4-2-1; LIGHT MANUFACTURING PERMISSIVE
 CONFORMS TO USE SPECIFIC STANDARDS 4-3(C)(2)
 OVERLAY ZONES 14-6-3; APO (3) AND
 COMP PLAN CORRIDOR: GIBSON COMPUTER CORRIDOR
 ETLBACK REQUIREMENTS PER TABLE 5-1-3

PARKING REQUIREMENTS

PARKING PER 14-16 = 5 TABLE 5-5(C)(2) OFF-STREET PARKING
LIGHT INDUSTRIAL = 1 SPACE PER 1,000 SF. -C.F.A. = 10 SPACES REQUIRED 75PACES
ON STREET PARKING CREDIT 5-5(C)(5)(F) 3 SPACES REQUIRED 3 SPACES PROVIDED
CAR POOL SPACE 5-5(C)(5)(e) 1 PROVIDED REDUCTION OF 4 REQUIRED SPACES

TOTAL PARKING REQUIRED = 6 SPACES
TOTAL PARKING PROVIDED = 10 SPACES

LANDSCAPING REQUIREMENTS

14-16-5, 5-6 LANDSCAPING, BUFFERING AND SCREENING
15% OF NET LOT AREA=11,228.2X15=1,684.23 SF. REQUIRED
SEE PLAN FOR AREA

1. PROVIDE PLINTH DRAINAGE, WALKY FLOW, ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETE.
 2. ALL MAINTENANCE FOR THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
 3. ALL PLANTING AND ATTRACTIVE CONDITION TREES AND SHRUBS SHALL PLANT THEM IN HEALTHY, PLANTING MATERIAL, NOW AND EXISTING SHALL BE REMOVED BY COMPLETE AND AUTOMATIC DUMP TRAILER, WITH SUBTERRANEAN LATERALS EMITTERS SHALL BE PLACED AT EVEN SPACING AT DUMP LINE OF TREES AND SHRUBS AT THE MULCHED SURFACE AT A RATE OF 2.0 GPH EMITTERS PER LINE AND 2.0 GPH EMITTERS PER SHRUB.
 4. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO MEET ALL MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER CONSERVATIVE, ENVIRONMENTALLY FRIENDLY, SOUND LANDSCAPE.
- ## GENERAL NOTES-TCL

GENERAL NOTES- TCL



REVISION: 2020-0923-
SEE NARRATIVE ATTACHED.

TRAFFIC
CIRCULATION
LAYOUT

19014

AS100