

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

August 31, 2021

Kenneth Myers, RA  
+KMA  
220 Hermosa Dr. NE  
Albuquerque, NM 87108

**Re: Crestline Plastics**  
**2635 Baylor Dr. SE, 87106**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 9-10-20 (M16D044)  
Certification dated 8-9-21

Dear Mr. Myers,

PO Box 1293

Based upon the information provided in your pictures received 8-31-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

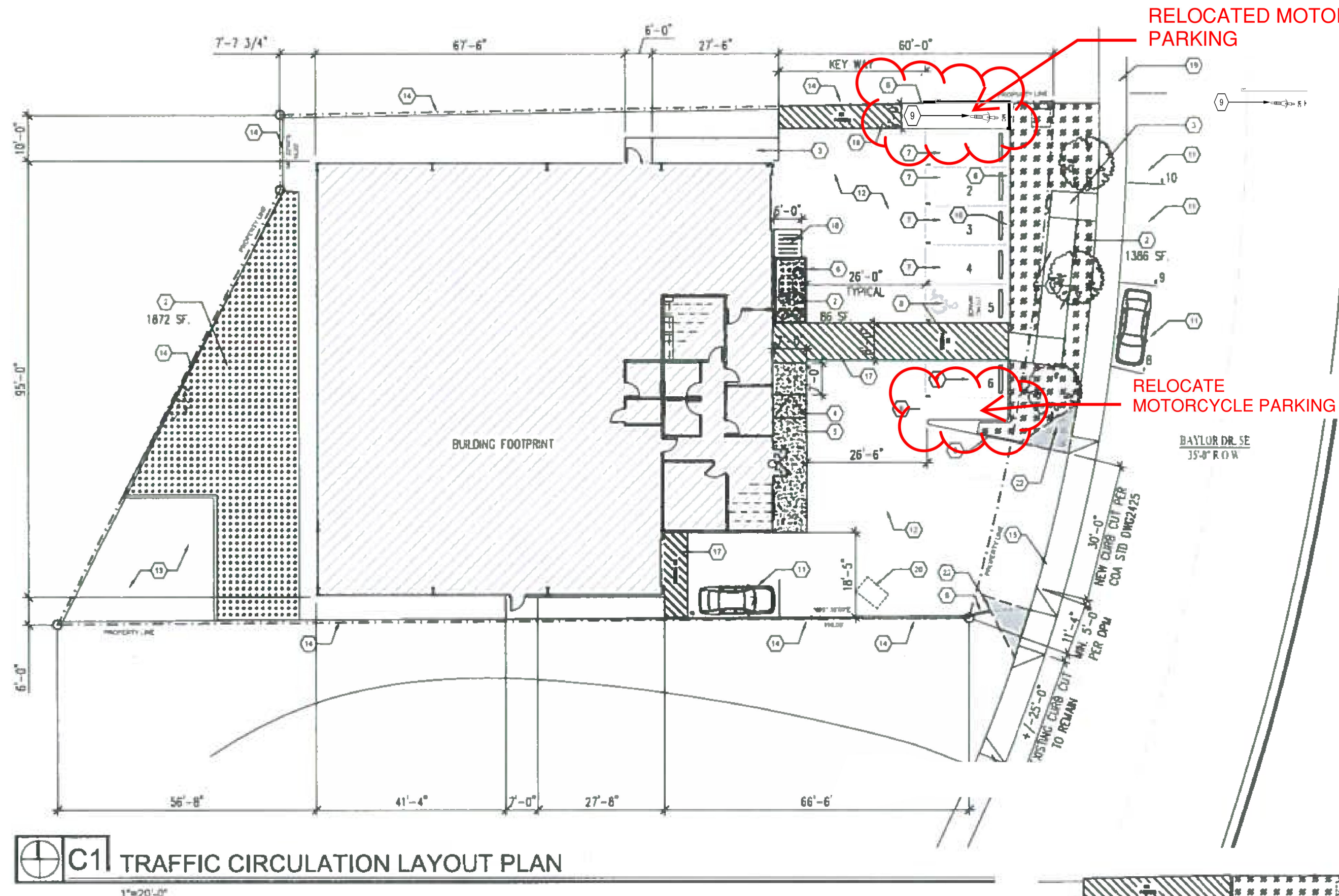
www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

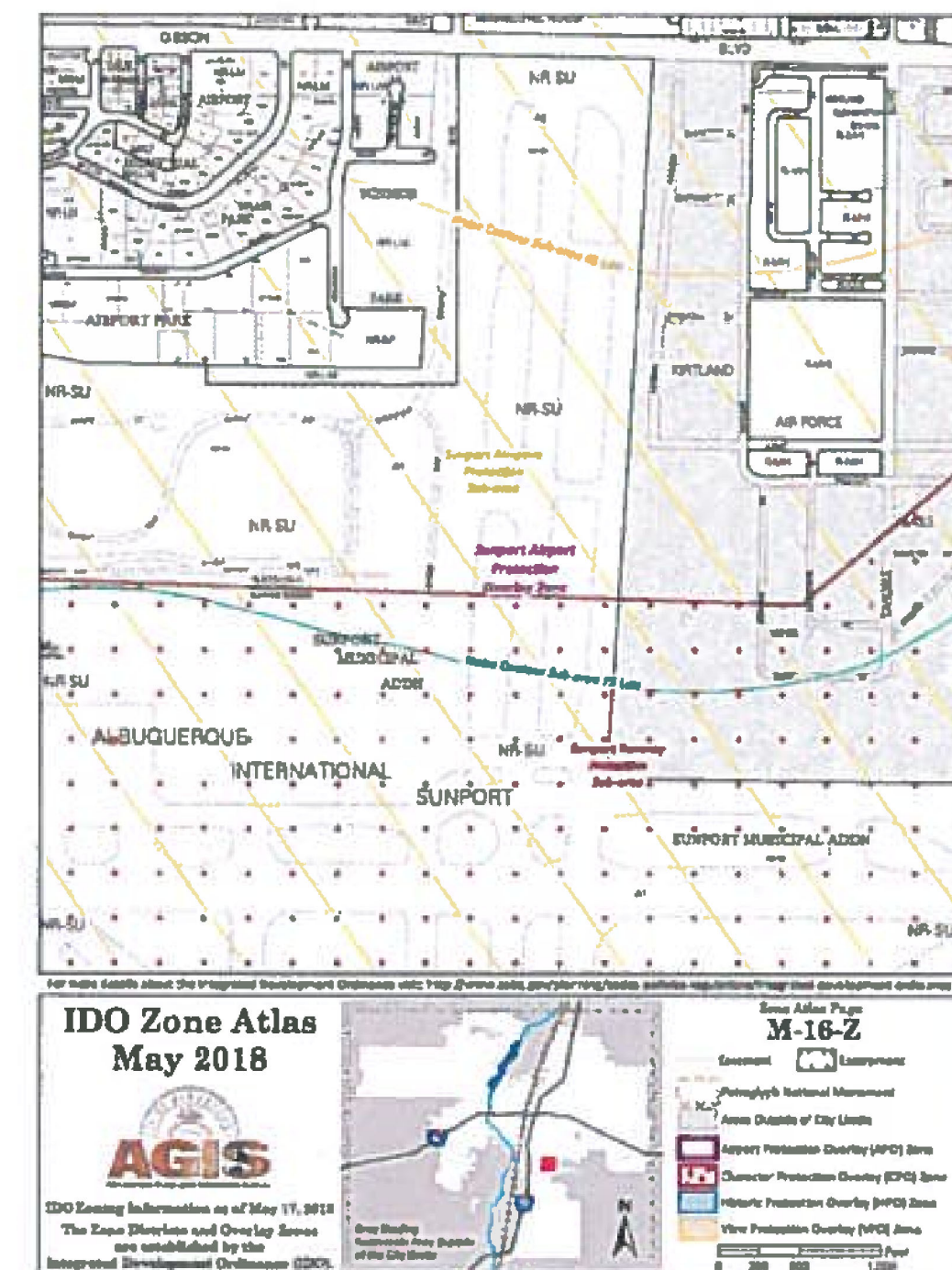




TRAFFIC CIRCULATION LAYOUT  
APPROVED  
SIGNED  
DATE

# KEYED NOTES

1. ACCESS EASEMENT
2. LANDSCAPE AREA= XXX SF.
3. CONCRETE PEDESTRIAN RAMP PER DETAIL C5/AS100- SEE DETAIL C4/AS100 FOR SLOPES AND LANDING LOCATIONS
4. CONCRETE RAMP PER DETAIL B4/AS100
5. CONCRETE SIDE WALK PER DETAIL B5/AS100
6. CONCRETE NOW CURB PER DETAIL B3/AS100
7. TYPICAL PARKING SPACE PER DETAIL A3/AS100
8. HANDICAP VAN PARKING SPACE, ACCESS ISLE, AND SIGN PER DETAIL A4/AS100
9. MOTOR CYCLE PARKING SPACE AND SIGN PER DETAIL B1/AS100 AND A1/AS100 FOR SIGN DETAIL
10. CARPOOL PARKING SIGN PER DETAIL A1/AS100
11. ON-STREET/ PARALLEL PARKING SPACE PER DETAIL B2/AS100
12. PARKING AREA- 6" CONCRETE PARKING LOT WITH BROOM FINISH
13. RETENTION AREA PER CIVIL
14. RETAINING WALL PER CIVIL
15. NEW DRIVE PAD PER COA STANDARD DRAWING #2425
16. BIKE RACK PER DETAIL A5/AS100- PROVIDE MIN. 12" CLEAR ZONE AROUND BIKE PARKING STALL
17. STRIPPING PER DETAIL A4/AS100
18. MIN. 5'-0" KEYWAY AREA- PROVIDE STRIPPING AND NO PARKING SIGNAGE AS DESCRIBED IN DETAIL A4/AS100
19. EXISTING 6'-0" SIDE WALK TO REMAIN
20. 4 YARD ROLLING DUMPSTER- APPROXIMATE LOCATION ON TRASH DAY- ALL OTHER TIMES DUMPSTER WILL BE STORED ON INTERIOR OF BUILDING OUT OF PUBLIC VIEW
21. CENTER LINE INDICATES PEDESTRIAN PATH FROM PUBLIC SIDEWALK TO ENTRY DOOR. SEE DETAILS C4/AS100 FOR RAMP AND LANDING DETAILS AND A4/AS100 FOR STRIPPING DETAILS.
22. SITE TRIANGLE: LANDSCAPE, SIGNAGE, WALLS, FENCES, TREES AND SHUBBERY, BETWEEN 3' AND 8' TALL AS MEASURED FROM THE GUTTER PAN ARE NOT ALLOWED IN THE CLEAR SITE TRIANGLE



## SITE / ZONING INFORMATION

ADDRESS:  
2635 BAYLOR DR. NE.  
ALBUQUERQUE, NM, 87106

LOT SIZE: 47 ACRES  
UPC: 101605514547120310  
LEGAL DESCRIPTION: LOT 102 BLOCK 1 AIRPORT INDUSTRIAL PARK  
USE REGULATIONS 14-16-4: NR-LM  
USE PER TABLE 4-2-1: LIGHT MANUFACTURING PERMISSIVE  
CONFORMS TO USE SPECIFIC STANDARDS 4-3(E)(2)  
OVERLAY ZONES 14-16-3: APO (3-3)  
COMP PLAN CORRIDOR: GIBSON COMMUTER CORRIDOR  
SETBACK REQUIREMENTS PER TABLE 5-1-3  
FRONT: NA  
REAR: 0 FT.  
SIDE: 0 FT.  
BUILDING HEIGHT: 65 FT. PROVIDED 28'-0"

## PARKING REQUIREMENTS

PARKING PER 14-16-5 TABLE 5-5(C)(2) OFF-STREET PARKING  
LIGHT INDUSTRIAL = 1 SPACE PER 1,000 SF. GFA= 10 SPACES REQUIRED 75 SPACES PROVIDED  
ON STREET PARKING CREDIT 5-5(C)(5)(F) 3 SPACES REQUIRED 3 SPACES PROVIDED  
CAR POOL SPACE 5-5(C)(5)(e) 1 PROVIDED REDUCTION OF 4 REQUIRED SPACES

TOTAL PARKING REQUIRED= 6 SPACES  
TOTAL PARKING PROVIDED= 10 SPACES

## LANDSCAPING REQUIREMENTS

14-16-5, 5-6 LANDSCAPING, BUFFERING AND SCREENING  
15% OF NET LOT AREA=11,228 2X15=1,684 23 SF. REQUIRED  
3,439 SF. PROVIDED

1. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETE
2. ALL MAINTENANCE FOR THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY THE OWNER, MAINTENANCE OF THE STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY LIVING AND ATTRACTIVE CONDITION.
3. ALL ON-SITE PLANT MATERIAL NOW AND EXISTING SHALL BE IRRIGATED BY COMPLETE AND AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCHED SURFACE AT A RATE OF (6) 2.0 GPH EMITTERS PER TREE AND (2) GPH EMITTERS PER SHRUB
4. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER CONSERVATIVE ENVIRONMENTALLY FRIENDLY SOUND LANDSCAPE

## GENERAL NOTES- TC1

1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 6% PER COA DPM
2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
3. NEW DRIVE PAD PER COA STANDARD DRAWING #2425
4. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER
5. ALL NEW CURB AND GUTTER PER COA STANDARD DRAWINGS #2415A-TYPICAL
6. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
7. BIKE RACK REQUIREMENTS ARE AS FOLLOWS:  
A. RACK SHALL DIMENSIONS PER DETAIL A4/AS100  
B. THE BIKE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES  
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BIKE IN AN UPRIGHT POSITION  
D. THE RACK ALLOWS VARYING BIKE FRAME SIZES AND STYLES TO BE ATTACHED.  
E. THE USER IS NOT REQUIRED TO LIFT THE BIKE ONTO THE BIKE RACK  
F. EACH BIKE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BIKE.

C1 TRAFFIC CIRCULATION LAYOUT PLAN

C4 PEDESTRIAN PATH DIAGRAM

C5 PEDESTRIAN PATH DETAIL

B1 MOTORCYCLE PARKING DETAIL

B2 PARALLEL PARKING DETAIL

B3 CURB DETAIL

B4 RAMP DETAIL

B5 ON SITE SIDEWALK DETAIL

A1 POST SIGN DETAIL

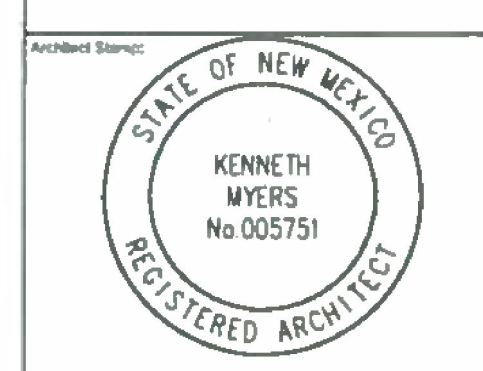
A2 INTERNATIONAL ACCESSIBILITY SYMBOL

A3 STANDARD PARKING STALL DETAIL

A4 HANDICAP PARKING STALL DETAIL

A5 BIKE RACK DETAIL

REVISION: 2020-0923-  
SEE NARRATIVE ATTACHED.



08/28/2020

**+KMA**  
KENNETH MYERS, ARCHITECT  
220 Hermosa Dr. NE  
Albuquerque, NM 87108  
T.518-368-9914  
KENNY@KENNETHMYERS.COM

Project: **CRESTLINE PLASTICS**  
Drawn By: **KMA** Checked By: **KMA**  
Permit: **PERMIT SUBMITTAL**  
Date: **08/19/2020**

Drawing Title:  
**TRAFFIC CIRCULATION LAYOUT**  
AS BUILT REVISIONS PER INSIGHT CONSTRUCTION 08/09/2021

Project Number: **19014**

Sheet Number:  
**AS100**



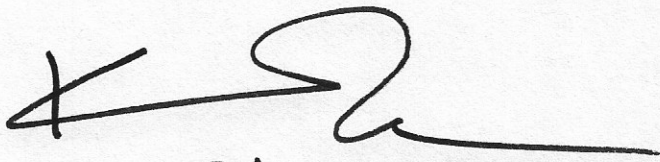
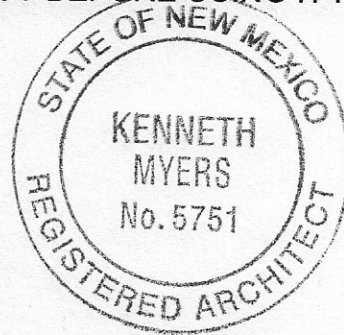


kenneth myers architect  
220 Hermosa Dr. Ne  
Albuquerque, NM 87108  
518\_364-9914

### TRAFFIC CERTIFICATION

I, KENNETH MYERS, OF THE FIRM Kenneth Myers, Architects, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, AND BELIEF THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/19/2020, August Nineteenth, 2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Joe Silva OF THE FIRM Insight Construction. I FURTHER CERTIFY THAT I, Kenneth Myers, HAVE VISITED THE PROJECT SITE ON 08/09/2021, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE RECORD INFORMATION IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
8/09/2021

SIGNATURE OF ENGINEER OR ARCHITECT

ENGINEERS OR ARCHITECTS STAMP



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Crestline Plastics **Building Permit #:** BP- 2020-39296 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** 2635 Baylor Dr. SE, Albuquerque, NM 87106

**Applicant:** Kenneth Myers **Contact:** \_\_\_\_\_  
**Address:** 220 Hermosa DR. NE, Albuquerque, NM 87108  
**Phone#:** 518.364.9914 **Fax#:** \_\_\_\_\_ **E-mail:** kenny@kennethmyers.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE


Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 08/09/2021 **By:** KENNETH MYERS 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_