

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



Mayor Timothy M. Keller

September 3, 2019

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Baylor Drive Property
2635 Baylor Dr. SE
Grading and Drainage Plan
Engineer's Stamp Date: 08/07/19
Hydrology File: M16D044**

Dear Mr. Bohannon:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 08/07/2019, the Grading & Drainage Plan is not approved for Building Permit and for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Provide the existing and/or proposed grades on both sides of the proposed retaining wall.
2. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
3. If the proposed retaining wall will create such an encroachment, written agreement from both landowners must be provided for such work. Written permission must include: signature of the property owner or owners representative, statement that undersigned is the owner or authorized representative, permission to construct the encroachment with a brief description of the encroachment.
4. Please provide a cross section of the proposed retention pond showing dimensions, the bottom elevation, the top of wall, and the water surface elevation of the 100 year 10 day volume.
5. Please provide a detail of the proposed 2 ft concrete channel entering the walled retention pond.
6. Please fix several overlapping text and missed placed text.

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7. Standard review fee of \$150 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Baylor Drive Property **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: 1D2 Airport Industrial Park Replat of Lots 1D & 12 & 13 Blk 1 Airport Industrial P
City Address: 2635 Baylor Drive SE Albuquerque NM 87106

Applicant: AIA Architects **Contact:** Scott Anderson
Address: 7604 Rio Penasco NW- Suite 204 Albuquerque, NM 87120
Phone#: 505-401-7575 **Fax#:** _____ **E-mail:** andersonscottc@comcast.com

Other Contact: Tierra West, LLC **Contact:** Assad Rizvi
Address: 5571 Midway Park PI NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** arizvi@tierrawestllc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

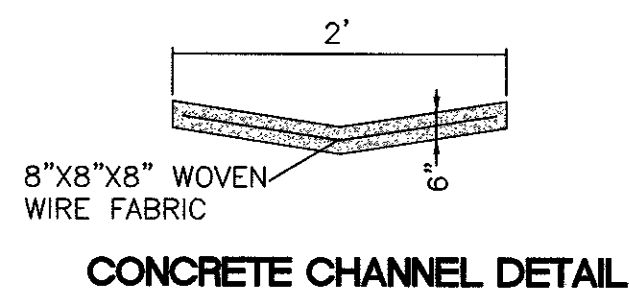
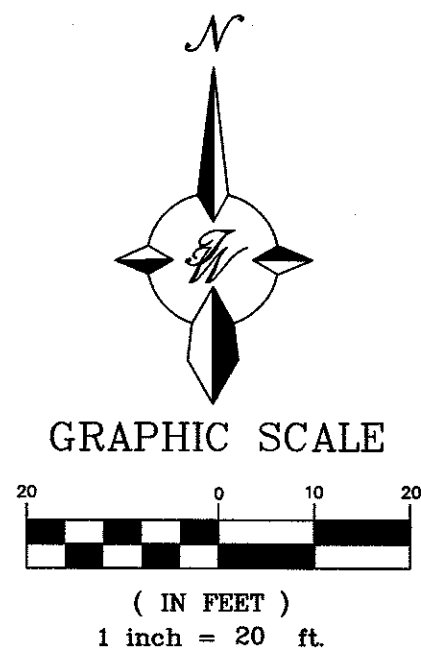
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/7/2019 **By:** Assad Rizvi

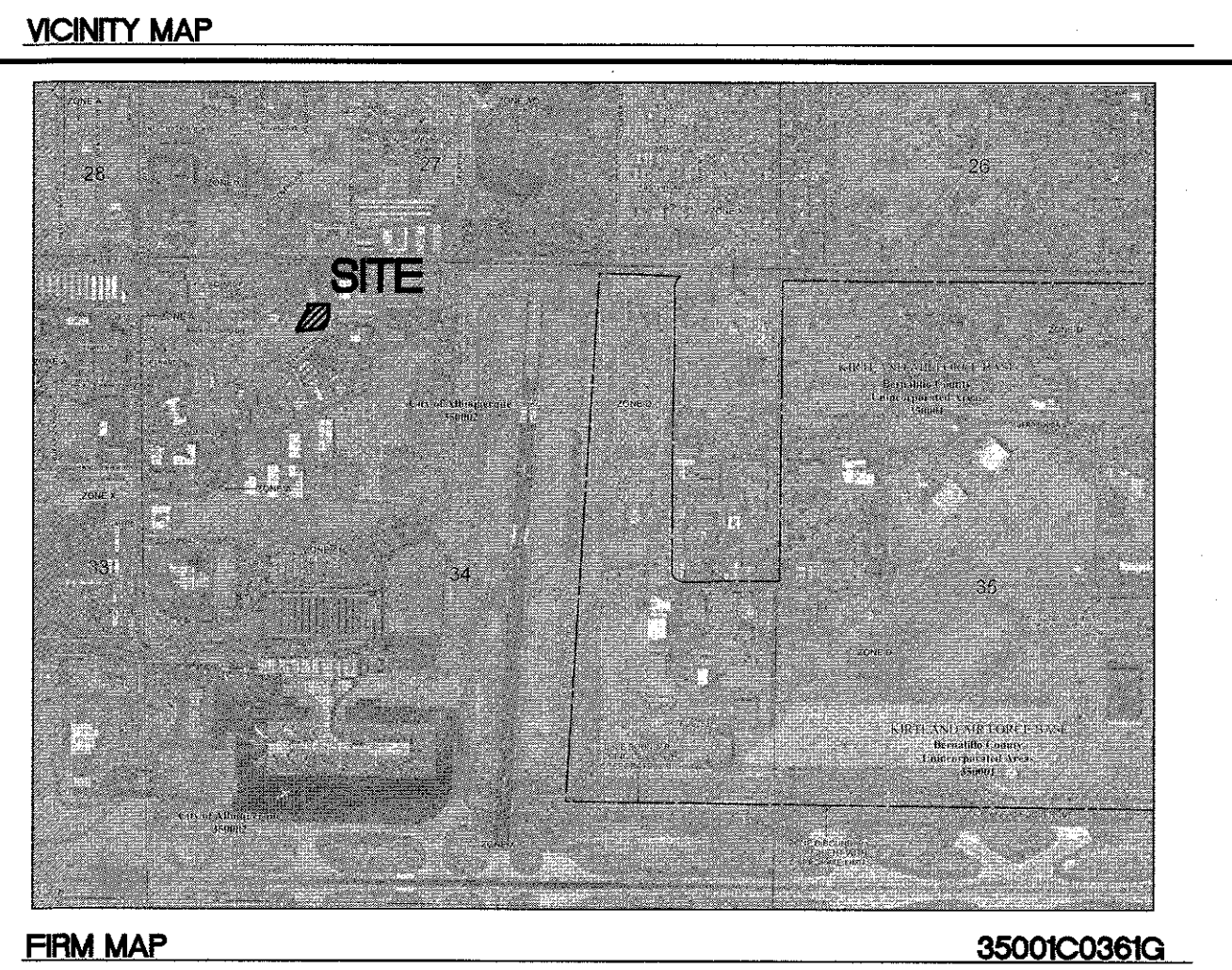
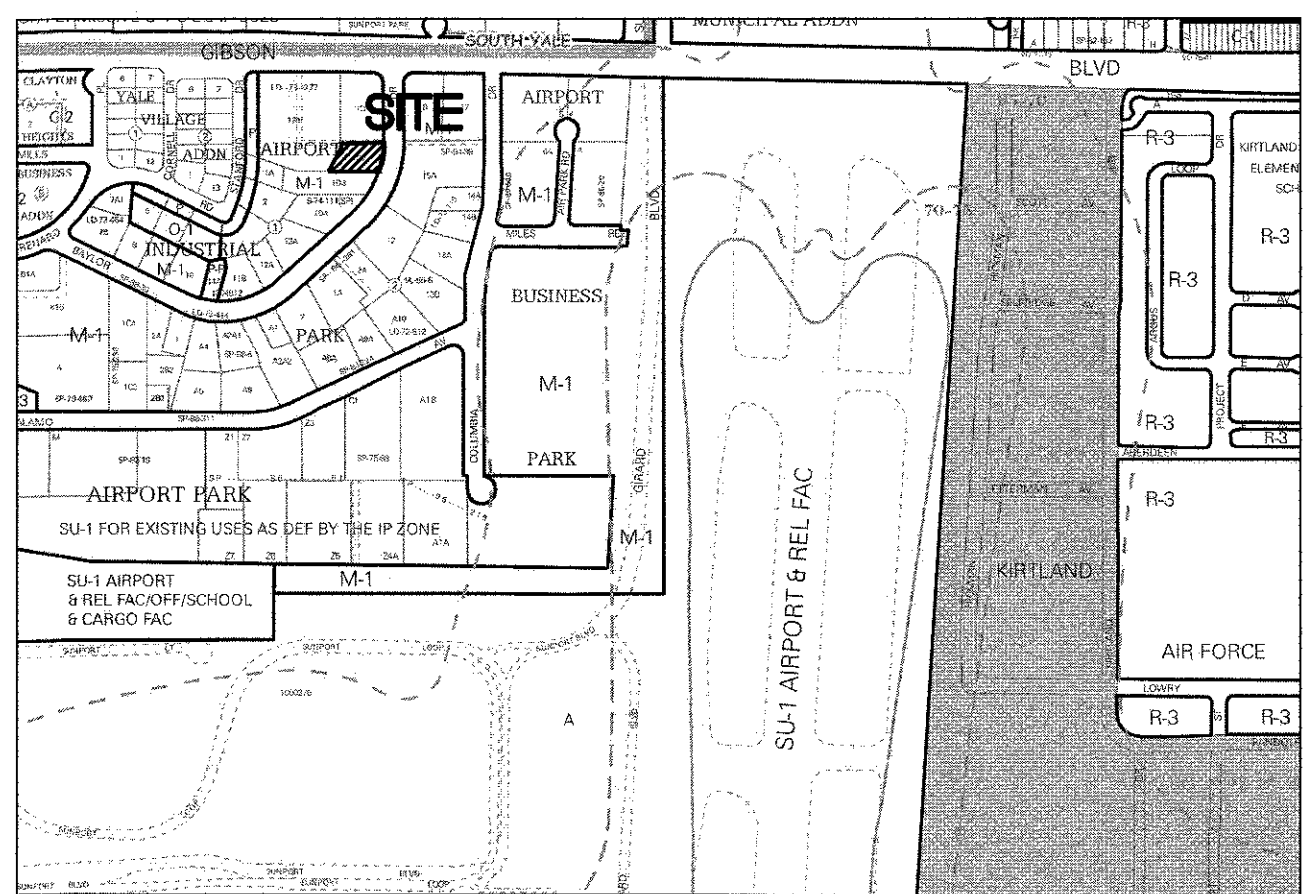
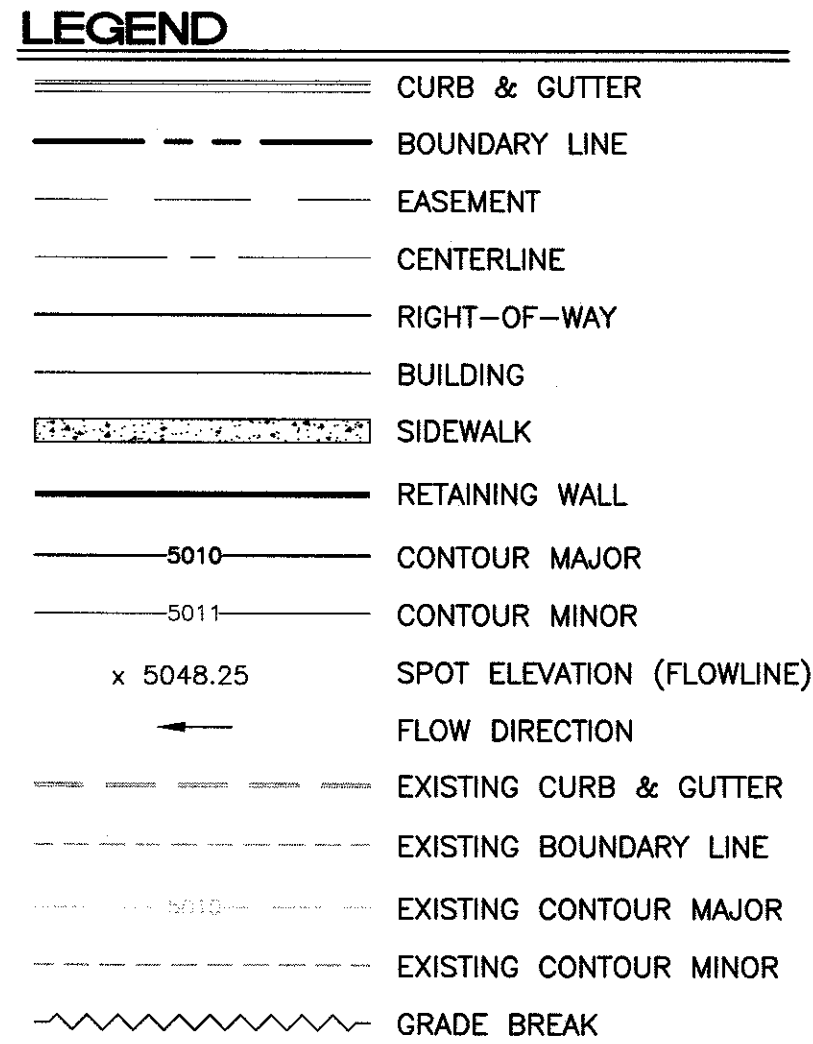
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



A.G.R.S. MONUMENT "19_L16"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,478,691.641 US SURVEY FEET
E=1,531,755.929 US SURVEY FEET
PUBLISHED EL=5297.506 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999664048
DELTA ALPHA ANGLE=-0°12'31.00"



NOTICE TO CONTRACTORS

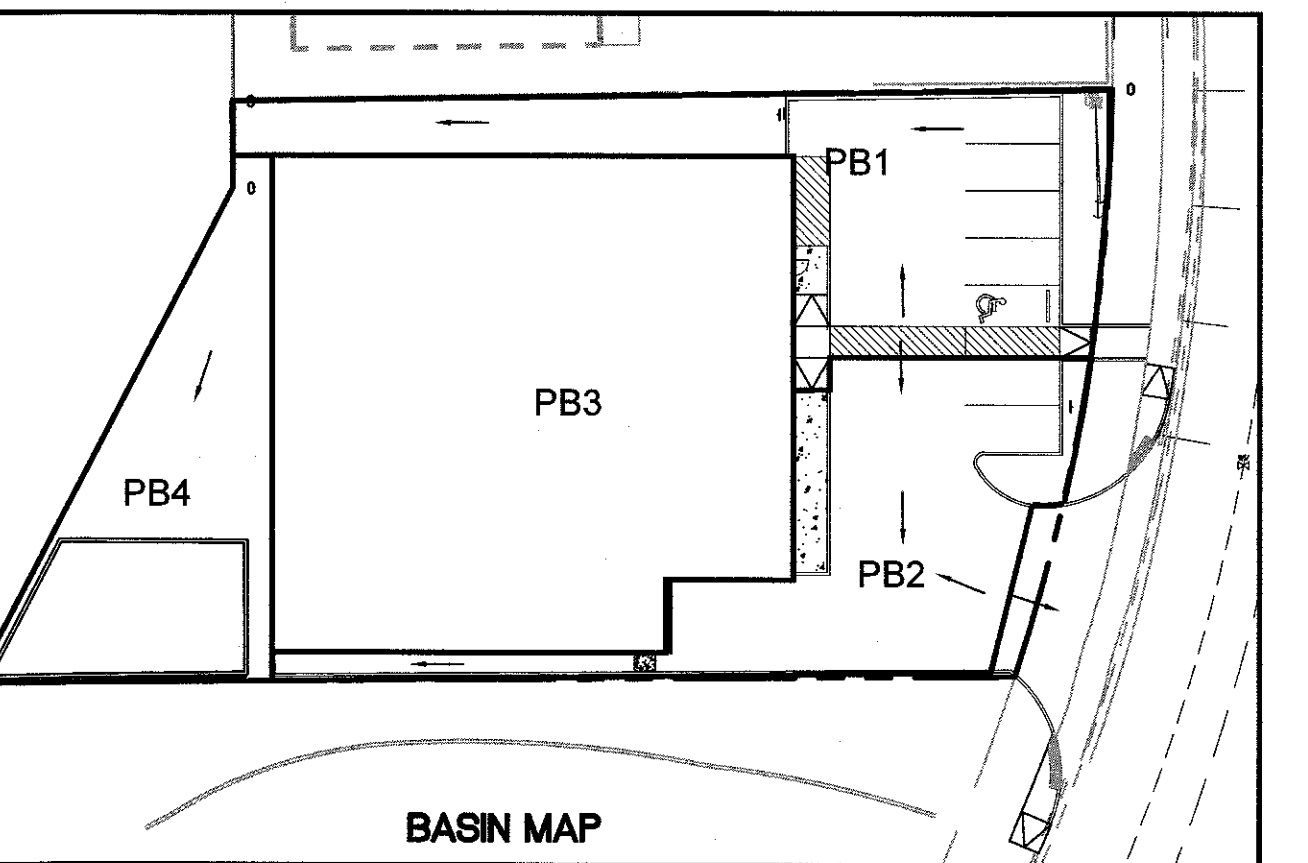
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. PRIOR TO WORK WITHIN THE COA RIGHT-OF-WAY, A WORK ORDER PERMIT WILL BE REQUIRED.

EXISTING DRAINAGE

THE SITE IS CURRENTLY VACANT AND DRAINS FROM NORTHEAST TO SOUTHWEST. IT IS BOUNDED BY A RETAINING WALL TO THE NORTH AND A SIDEWALK IN THE PUBLIC RIGHT OF WAY TO THE EAST. THE SITE CURRENTLY ACCEPTS LIMITED OFFSITE NUISANCE FLOWS FROM THE PUBLIC ROW. THERE IS A SMALL BASIN ALONG THE WESTERN PROPERTY LINE THAT DRAINS INTO THE NEIGHBORING PROPERTY TO THE WEST. THE REST OF THE SITE SHEET FLOWS THROUGH THE PROPERTY TO THE SOUTHWEST.

PROPOSED DRAINAGE

THIS SITE IS DIVIDED UP IN TO FOUR PROPOSED DRAINAGE BASINS, ONE OF WHICH IS A RETENTION POND SIZED FOR THE 10-DAY STORM PER DPM REQUIREMENTS. THE INTENT OF THE PROPOSED DRAINAGE SCHEMATIC IS TO CONVEY FLOWS FROM THE PARKING LOT ON THE EASTERN SIDE OF THE PROPERTY TO THE RETENTION POND TO THE WEST. THE FLOWS WILL BE CONVEYED THROUGH A CONCRETE SWALE SOUTH OF THE BUILDING AND A LANDSCAPED SWALE NORTH OF THE BUILDING.



Existing Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr				10-Year, 6-Hr			
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E	Volume	Flow		Weighted E	Volume	Flow	
EB1	5,935.00	0.136	0.00021	0%	0.000	0%	0.000	100%	0.136	0%	0.000	1.130	0.013	0.43	0.520
EB2	15,954.00	0.366	0.00057	0%	0.000	0%	0.000	100%	0.366	0%	0.000	1.130	0.034	1.15	0.520
EB3	1,628.00	0.037	0.00006	0%	0.000	0%	0.000	100%	0.037	0%	0.000	1.130	0.004	0.12	0.520
Total	23,517.00	0.540	0.00084	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.047	1.70	0.022	0.92

Proposed Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr				10-Year, 6-Hr			
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E	Volume	Flow		Weighted E	Volume	Flow	
PB1	4,257.50	0.098	0.00015	0%	0.000	0%	0.000	36%	0.035	64%	0.063	1.764	0.014	0.40	1.045
PB2	3,667.00	0.084	0.00013	0%	0.000	0%	0.000	6%	0.005	94%	0.079	2.061	0.014	0.39	1.291
PB3	9,159.80	0.210	0.00033	0%	0.000	0%	0.000	0%	0.000	100%	0.210	2.120	0.037	0.99	1.340
PB4	3,081.50	0.071	0.00011	0%	0.000	0%	0.000	84%	0.059	16%	0.011	1.293	0.008	0.24	0.654
Total	20,165.80	0.463	0.00072	0.000	0.000	0.000	0.100	0.363	0.074	2.02	0.045	0.045	1.31		

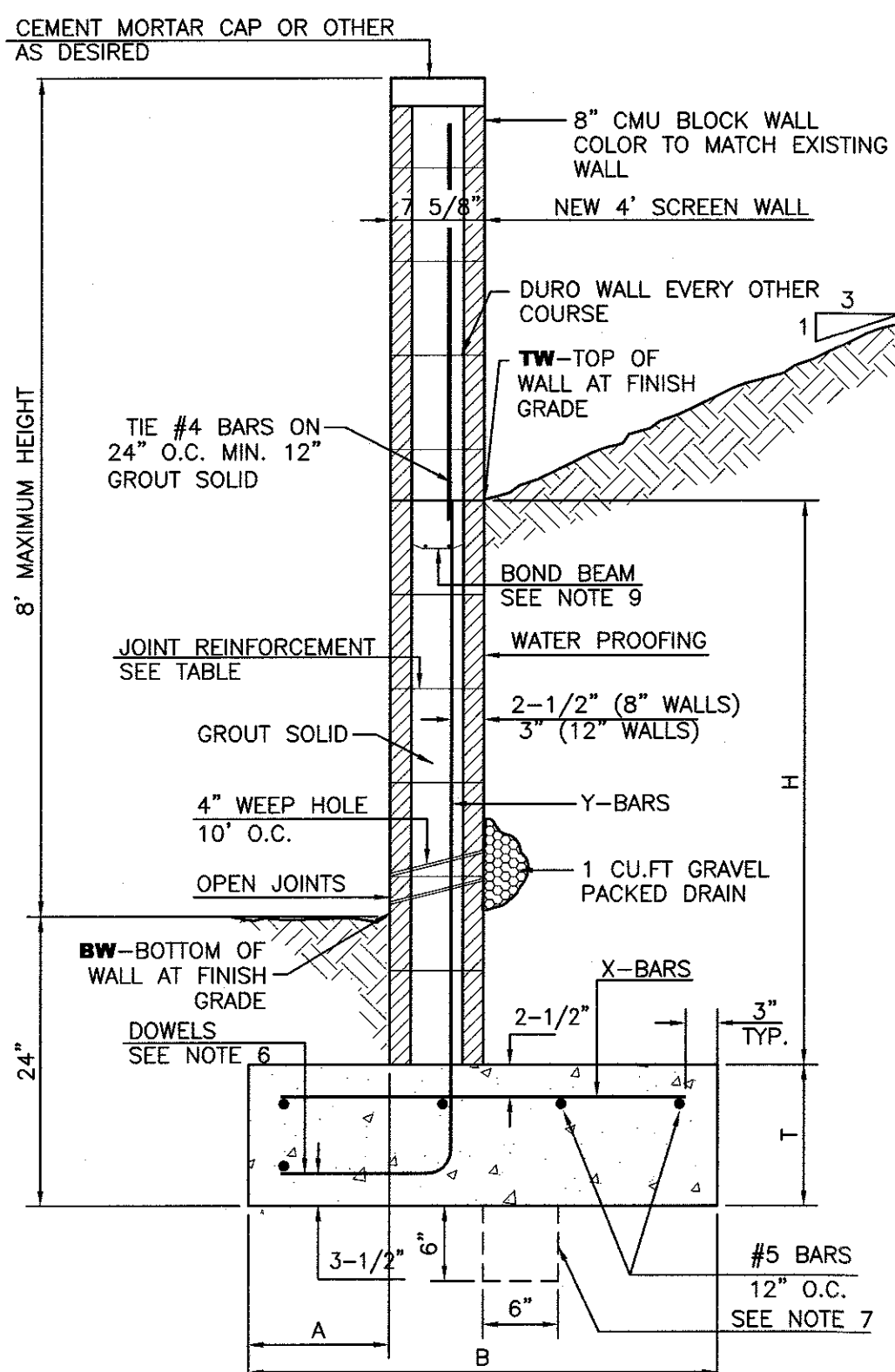
$$V_{today} = V_{360} + A_D * (P_{today} - P_{360}) / 12 \frac{in}{ft} = 0.074 ac-ft + 0.363 ac * (3.95 - 2.35) / 12 = 0.135 ac-ft = 5,532 cu. ft.$$

First Flush Calculations (0.34" over impervious areas)

Basin	Impervious Area (sf)	Required (cf)
PB1	2724.800	77.2
PB2	3446.980	97.7
PB3	9159.800	259.5
PB4	499.203	14.1
Total		448.5

Pond Volume Calculations

Elevation (ft)	Area (sf)	Volume (cf)	Cumulative Volume (cf)
50	1039	0	0
51	1039	1039	1039
52	1039	1039	2078
53	1039	1039	3117
54	1039	1039	4156
55	1039	1039	5195
56	1039	1039	6234



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#5 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" EVERY 16'.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



BAYLOR PROPERTY
ALBUQUERQUE, NM

GRADING AND
DRAINAGE PLAN

TIERRA WEST, LLC

5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
8-7-19

DRAWING
2019006-GR

SHEET #
GR-1

JOB #
2019006