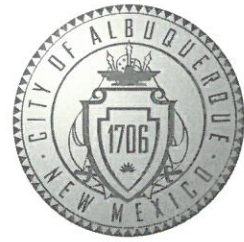


CITY OF ALBUQUERQUE



August 31, 2020

Kenneth Myers, RA
KMA
220 Hermosa Drive NE
Albuquerque, NM 87108

Re: Crestline Plastics
2635 Baylor Drive SE
Traffic Circulation Layout
Architect's Stamp 08-25-2020 (M16-D044)

Dear Mr. Myers,

Based upon the information provided in your submittal received 08-27-2020, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking. All proposed required calculations need to be **discussed/coordinated** with Zoning.
2. Identify the right of way width, and street provide the name of the street.
3. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

- Maximum allowable entrance will be 30 ft. per requirements above.
4. Please list the **width** and **length** for proposed parking spaces. Some dimensions are not shown.
 5. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

- **For on street parallel parking dimensions, please follow DPM (chapter 7-100) and add dimensions to site plan.**

6. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
8. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, **placed at the rear of the parking space** so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
9. ADA curb ramps must be updated to current standards and have truncated domes installed (**Reference this standard COA std dwg 2441**). So General Notes – TCL no. 3 need to reflect 2441 not 2425.
10. Keyed Note 12 doesn't reflect what is being marked. Please clarify.
11. Keyed Note 21 should read 2441 not 2442.
12. All bicycle racks shall be designed according to the following guidelines(**Are these notes for bicycle rack being reflected on site plan? If not then add notes**):
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
16. Show all drive aisle widths and radii. Some dimensions are not shown.
17. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
18. 5 ft. keyway: Need to provide curbing at property line.



19. Per the IDO, a **6 ft. wide ADA accessible pedestrian pathway** is required from the public sidewalk to the building entrances. Please **clearly show this pathway** and provide details(dimension 6 ft width). **The detail must include 5'x5' landing at 2% on all ramp angle turns (provide extra detail for this requirement)**.
20. Per DPM, a **6 ft. wide ADA accessible pedestrian pathway** is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Provide widths.
21. Public sidewalk: provide existing widths.
22. Curbing should be installed to delineate **landscape**, parking, and **pedestrian ways** and identify points of access. Please call out detail and location of barrier curb.
23. Provide a copy of refuse approval. You have 5 yard dumpster in front of proposed parking stall! Any problems for vehicle maneuverability?
24. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles. Concrete will need to be 6 " minimum thickness (if proposed) for vehicle traverse.
25. Please provide a stopping/intersection sight distance exhibit (See attachment for clarity).
26. Show the clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight
27. Shared Site acces: driveways that straddle property lines, or are entirely on one propertybut are to be used by another property, shall have an access easement. **Please include a copy of your shared access agreement with the adjacent property owner.**
28. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-XXXX.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'N' followed by a horizontal line extending to the right.

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File