



CITY OF
Albuquerque

Public Works Department

March 14, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Jim Kapuranis
JJK Group, Inc.
3636 Menaul NE
Suite 214
Albuquerque, NM 87110

RE: KIRTLAND FEDERAL CREDIT UNION ADDITION (M18-D5). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. ENGINEER'S
CERTIFICATION DATED 3-6-97.

Dear Mr. Kapuranis:

Based on the information provided on your March 12, 1997
submittal, the above referenced project is approved for a 30-day
Temporary Certificate of Occupancy.

Prior to Final Certificate of Occupancy approval, you must
inspect the project for substantial compliance and submit another
Engineer's Certification.

If I can be of further assistance, please feel free to contact me
at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND CREDIT UNION ZONE ATLAS/DRNG. FILE #: M18

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: SECTION 36, Township 10 Range 3 EAST

CITY ADDRESS: 6440 Gibson SE

ENGINEERING FIRM: LTJK CONTACT: _____

ADDRESS: _____ PHONE: 883-9644

OWNER: Kirtland FEDERAL CREDIT Union CONTACT: DAVID SEELY

ADDRESS: 6440 Gibson PHONE: 254-4315

ARCHITECT: TJS ARCHITECT CONTACT: John PIZZERRALLO

ADDRESS: Dallas, TX PHONE: (972) 788-1945

SURVEYOR: Hall Eng. CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: KDA Inc CONTACT: TOM FORTNEY

ADDRESS: 360 FRANKLIN Rd. Newberry, Ia. PHONE: (770) 421-1532

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL 30 day

- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL

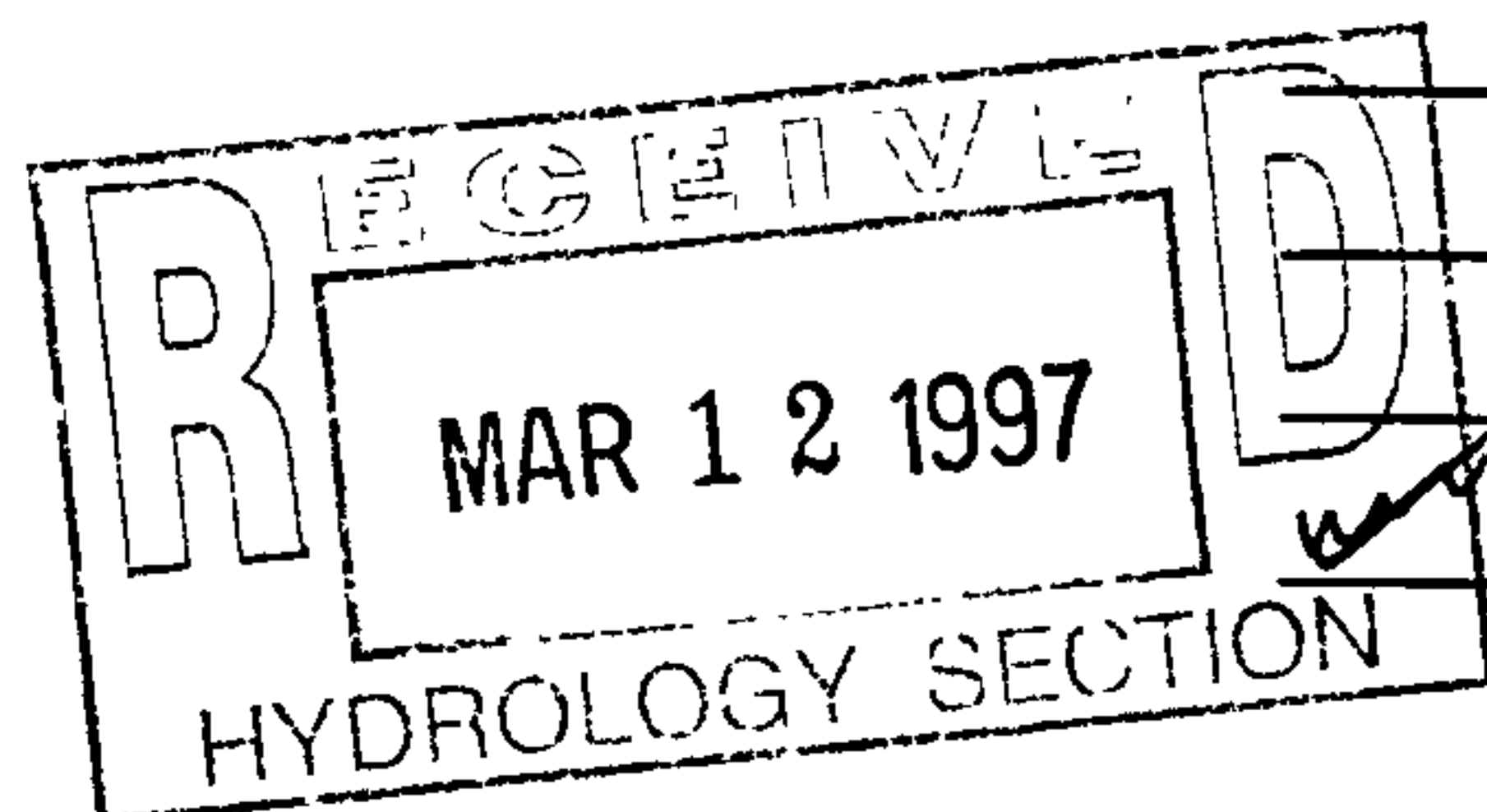
S.A.D. DRAINAGE REPORT

DRAINAGE REQUIREMENTS

SUBDIVISION CERTIFICATION

OTHER 30 day Temp (SPECIFY)

30 day Temp CO. issued on 3-12-97



DATE SUBMITTED: 3-12-97

BY: J. R. Aguero

FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS

AFD Fire Marshal's Office
Plans Exam Section
764-1687

Zoning Map Number M18

Site Address 6440 GIBBON SE

Legal Description: Subject Tract SECTION 36, TOWNSHIP 10

RANGE 3 EAST

Number Hydrants Required for Largest Building 2-3

Instantaneous Flow Required 5433 GPM

Square Footage - Largest Building 16,816

Type Construction IV

Other Pertinent Data regarding Determination of Instantaneous Flow Required FIRE

HYDRANTS TO BE WITHIN 450' FROM THE FURTHEST

POINT OF BUILDING AS A TRUCK ROLLS

Total Number Hydrants Required for this phase of construction or site _____

Date: 2.9.96

Fire Department Inspector: DP Deen

Received by: x Thomas J. Thomas Telephone x 291-9036
name

PLEASE ATTACH SITE PLAN IF AVAILABLE
SHOWING REQUIRED FIRE HYDRANTS

NOTES:

1. All hydrants needed to protect an individual building must be able to provide a minimum residual of 20 psi, under required fire flow conditions.
2. Determination of the Water System capacity to provide required flows will be made by the Engineering Division, Water Resources Department (~~768-2730~~), based on peak day criteria. 768-2730
3. Design of private fire protection systems is the responsibility of the developer's consultant. Approval of design must be made by the Engineering Division, Water Resources Department.

Copy one to individual. Copy two to file.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1996

Jim Kapuranis
JJK Group, Inc.
3636 Menaul NE
Suite 214
Albuquerque, NM 87110

**RE: KIRTLAND FEDERAL CREDIT UNION ADDITION (M18-D5) GRADING &
DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEERS STAMP
DATED 3-18-96.**

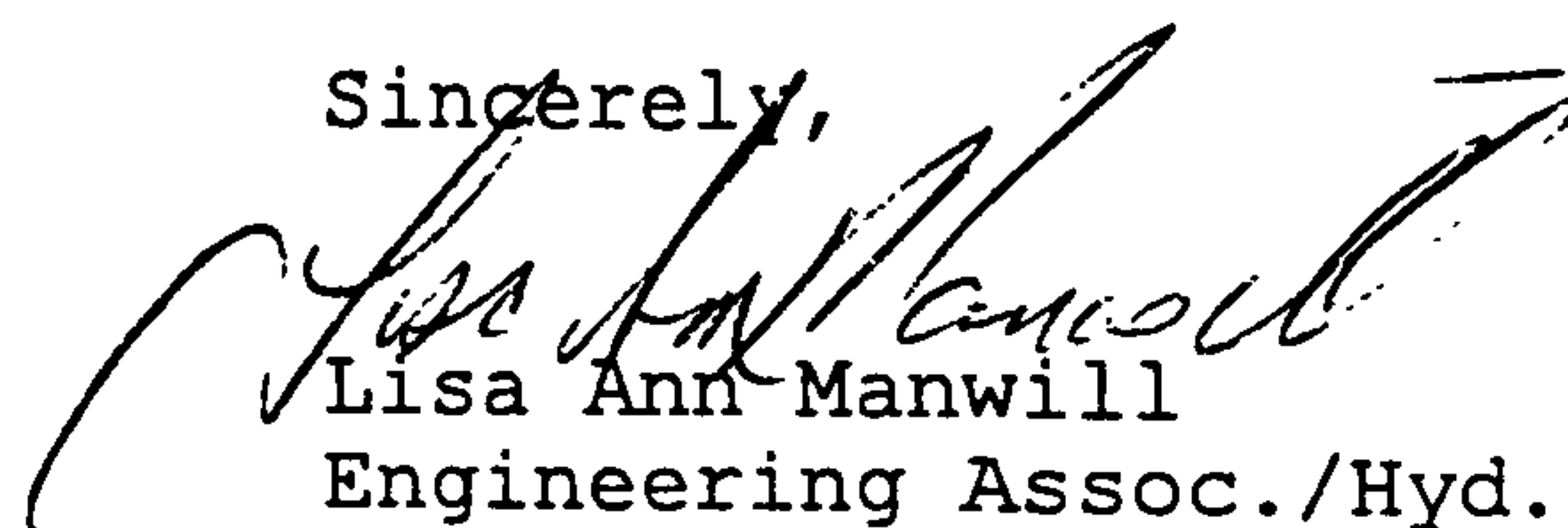
Dear Mr. Kapuranis:

Based on the information provided on your March 18, 1996
submittal, the above referenced project is approved for Building
Permit.

Prior to Certificate of Occupancy approval, an Engineer's
Certification will be required.

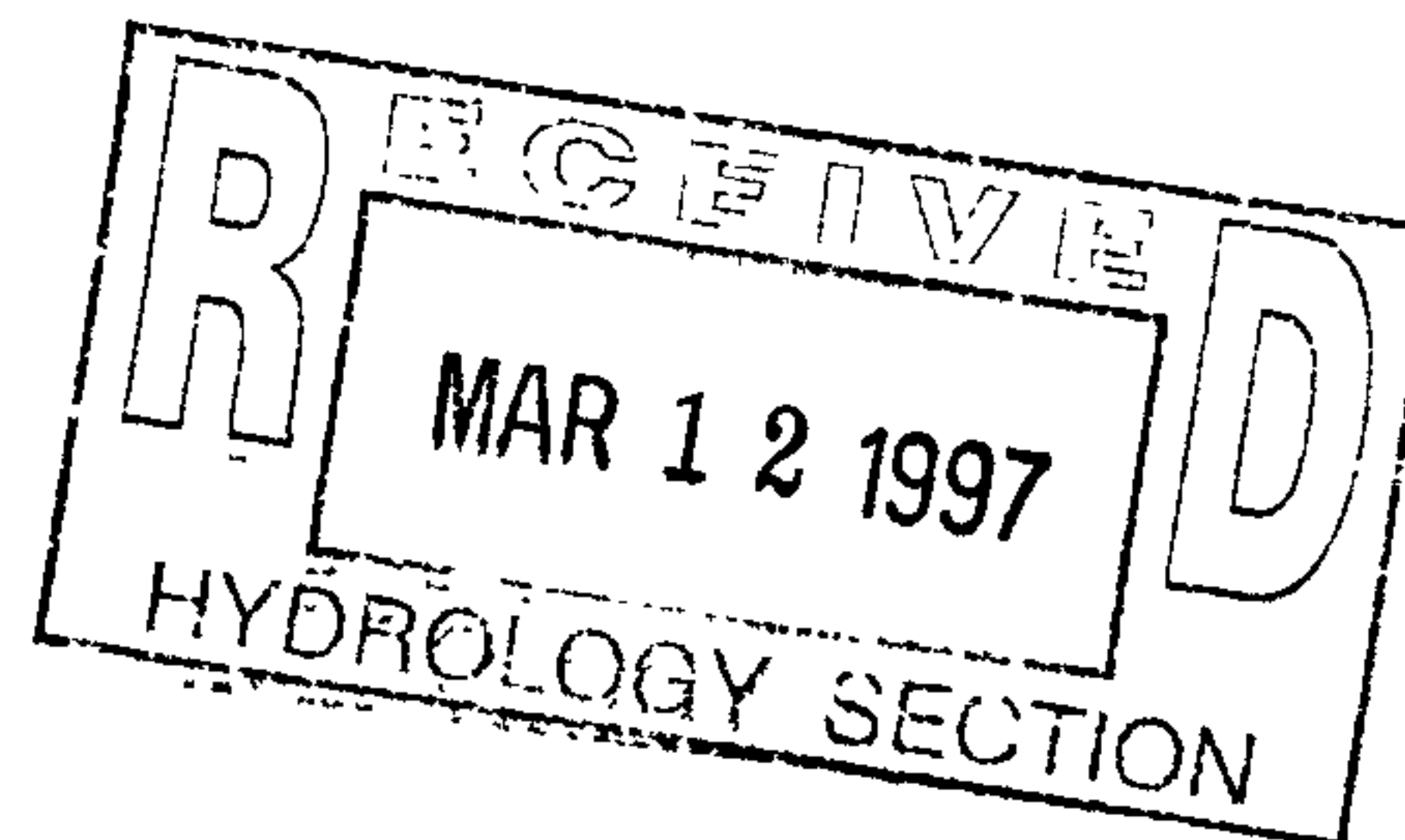
If I can be of further assistance, please feel free to contact me
at 768-3622.

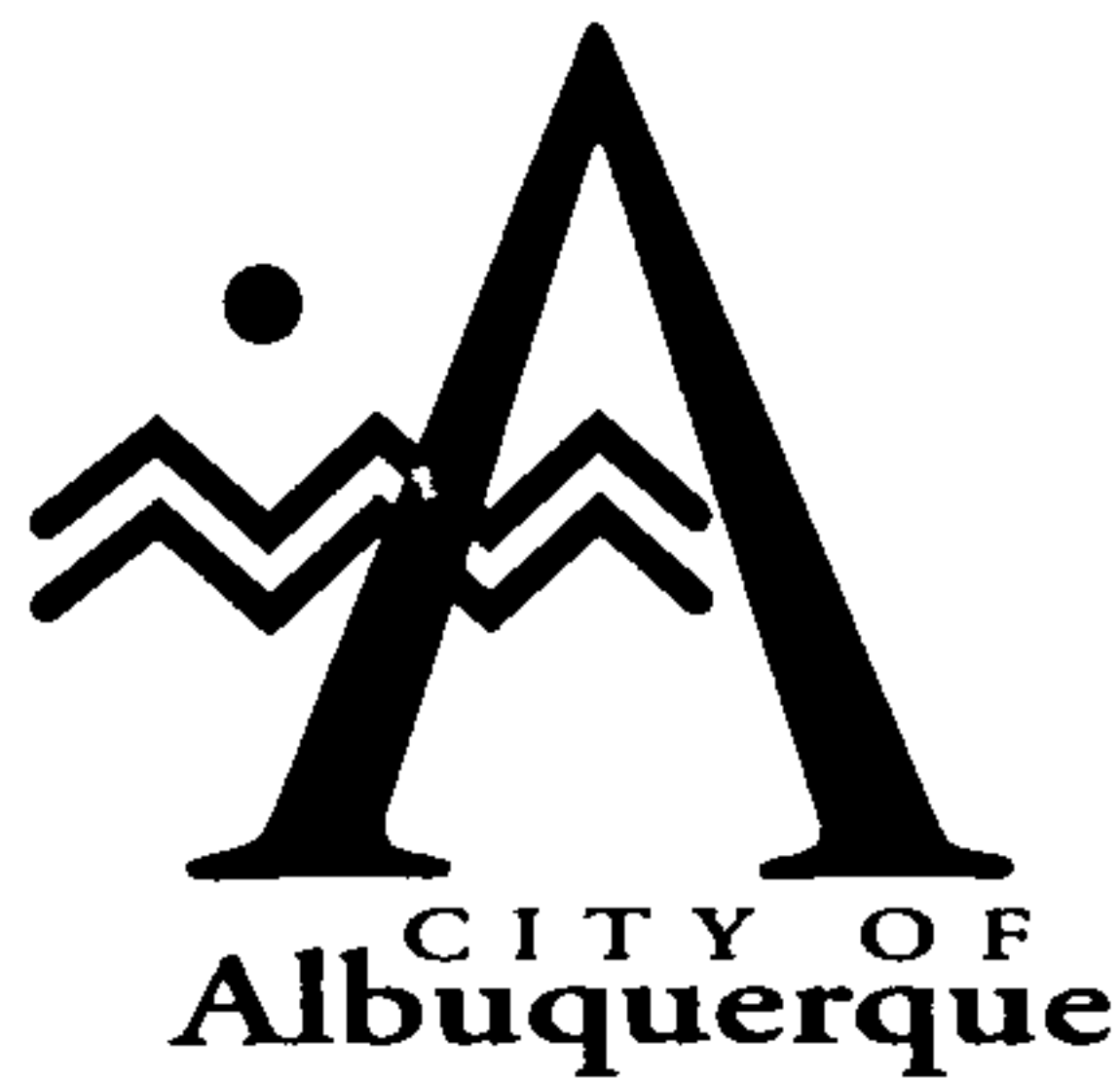
Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File





June 10, 1996

Martin J. Chávez, Mayor

Jim Kapuranis
JJK Group, Inc.
3636 Menaul NE
Suite 214
Albuquerque, NM 87110

**RE: KIRTLAND FEDERAL CREDIT UNION ADDITION (M18-D5) GRADING &
DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEERS STAMP
DATED 6-10-96.**

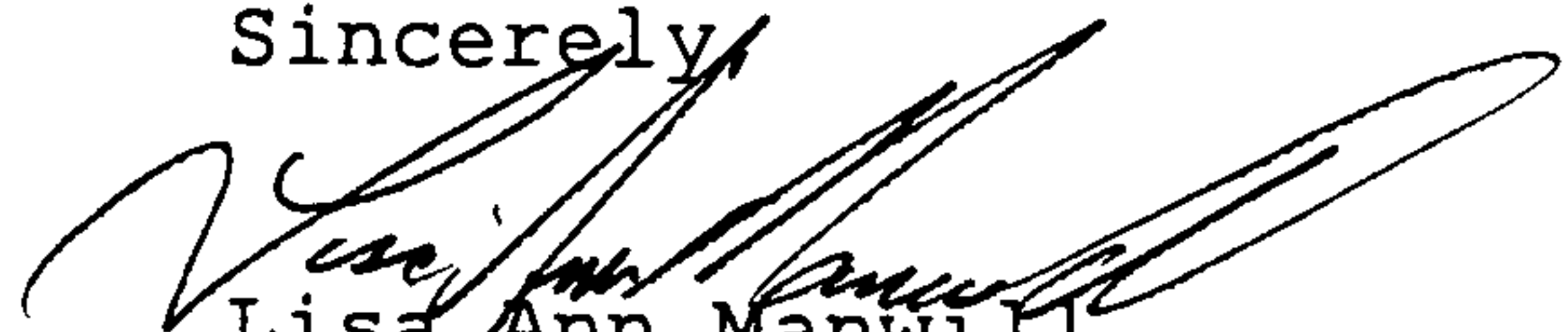
Dear Mr. Kapuranis:

Based on the information provided on your June 4, 1996 resubmittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
~~File~~



DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND FEDERAL CREDIT UNION ADDITION ZONE ATLAS/DRNG. FILE #: M-18-145

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: PARCELS B+C AS SHOWN ON SUMMARY PLAT OF PARCELS A, B+C LANDS OF KIRTLAND FED. CRED. UNION.

CITY ADDRESS: 6440 GIBSON BLVD. SE, ALB. NM 87108

ENGINEERING FIRM: JK GROUP, INC CONTACT: JIM KAPURANIS

ADDRESS: 3636 MENAUL NE PHONE: 883-9644
SUITE 214

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PROJ. MANAGERS ARCHITECT: KDA CONSULTANTS CONTACT: TOM FORTNE

ADDRESS: 350 FRANKLIN RD PHONE: 770-421-1532
MARIETTA, GA.

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

____ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

____ OTHER _____

PRE-DESIGN MEETING:

____ YES

☒ NO

____ COPY PROVIDED

10/1/96

JUN - 4 1996

Y DIVIS

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ S. DEV. PLAN FOR SUB'D. APPROVAL

____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

____ SECTOR PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ GRADING PERMIT APPROVAL

____ PAVING PERMIT APPROVAL

____ S.A.D. DRAINAGE REPORT

____ DRAINAGE REQUIREMENTS

____ SUBDIVISION CERTIFICATION

____ OTHER _____ (SPECIFY)

DATE SUBMITTED:

BY:

6/04/96

Jim J. Kapuranis

DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND FEDERAL CREDIT UNION ADDITION ZONE ATLAS/DRNG. FILE #: M-18-105

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: PARCELS B+C AS SHOWN ON SUMMARY PLAT OF PARCELS A, B+C LANDS OF KIRTLAND FED. CRED. UNION.

CITY ADDRESS: 6440 GIBSON BLVD. SE, ALQ. NM 87108

ENGINEERING FIRM: JJK Group, Inc CONTACT: JIM KAPURANIS

ADDRESS: 3636 MENAUL NE PHONE: 883-9644
SUITE 214

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

Proj. MANAGERS ARCHITECT: KDA CONSULTANTS CONTACT: TOM FORTNE

ADDRESS: 350 FRANKLIN RD PHONE: 770-421-1532
MARIETTA, GA

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

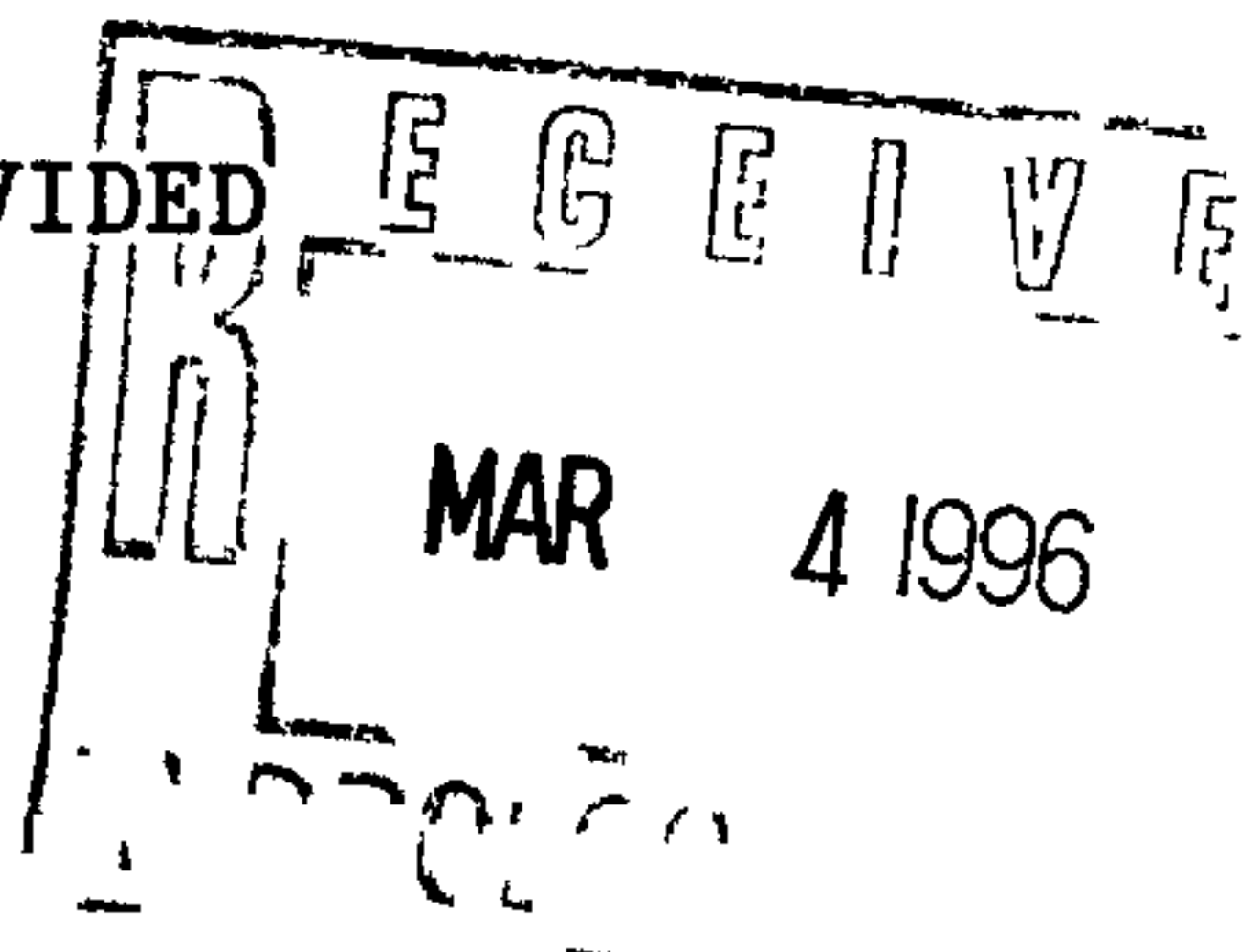
☐ OTHER _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ SUBDIVISION CERTIFICATION

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/26/96

BY: Jim J. Kapuranis

DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND CREDIT UNION
GRADING & DRAINAGE PLAN ZONE ATLAS/DRNG. FILE #: M18-745

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: PARCELS B+C AS SHOWN ON SUMMARY PLAT OF PARCELS
A, B+C LANDS OF KIRTLAND FED. CREDIT UNION

CITY ADDRESS: 6440 GIBSON BLVD, SE ASB NM 87108

ENGINEERING FIRM: JJK Group, Inc CONTACT: JIM KAPURANIS

ADDRESS: 3636 MENARD NE PHONE: 883-9644
SUITE 214

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Prof. MANAGERS KDA CONSULTANTS CONTACT: TOM FORTNE

ADDRESS: 350 FRANKLIN RD PHONE: 770-421-1532
MARIETTA, GA

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

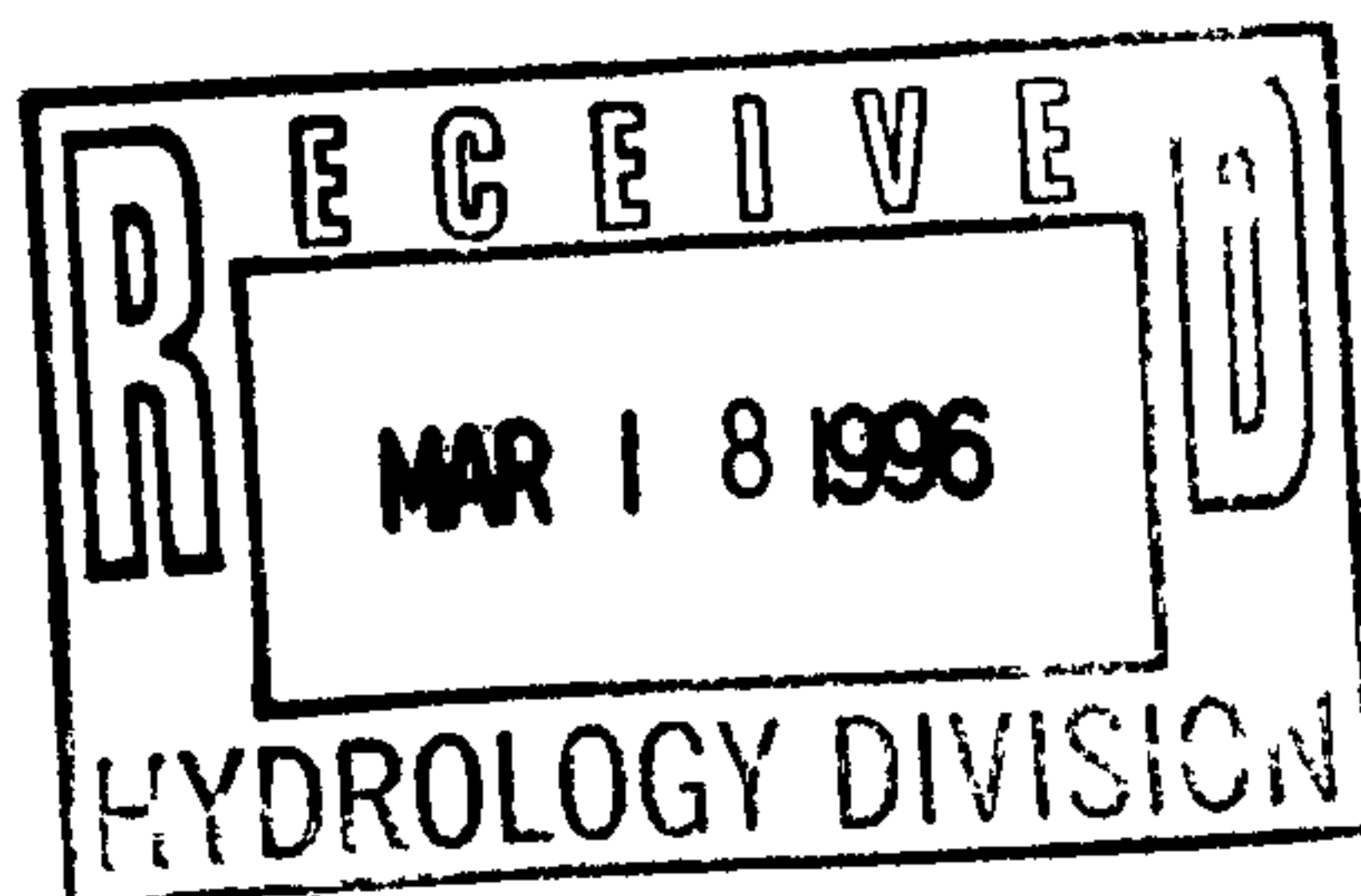
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 3/18/96

BY: Jim J. Kapuranis

LEGAL DESCRIPTION

A certain Tract of Land in Bernalillo County, New Mexico: Situate in and comprising a portion of the Northeast Quarter of Section Thirty-Six in Township Ten North in Range Three East of New Mexico Principal Meridian, within the City of Albuquerque, New Mexico: More particularly described as follows, by reference to the Plat of SIESTA HILLS, a Subdivision, Albuquerque, New Mexico, filed for record on August 19, 1954, in the records of Bernalillo County, New Mexico:

BOUNDED as follows:

North by the Southerly right-of-way line of Gibson Blvd, SE as indicated on said Plat; South by the Northeasterly line of the alley adjacent to the Northeasterly line of Block 5 (labeled) of said Subdivision; East by the Westerly right-of-way line of Louisiana Blvd, SE as indicated on said Plat; West by a line that runs from the point of intersection of the Northerly lines of the alley adjacent to the Northerly lines of said Block and that lies at right-angles to the Northerly line of the Westerly portion of said alley; BEGINNING at the Southwest corner of the Tract herein described; the said point of intersection of the Northerly lines of said alley; running thence N 0 deg. 48' E., 150 feet to the Northwest corner of said Tract, a point on the said Southerly line of Gibson Blvd.; thence S 89 deg. 12' E., 500.00 feet along said Gibson Blvd. line to the Northeast corner of said Tract whence the Northeast corner of said Section bears N 46 deg. 08' 10" E., 41.46 feet distant, the point of intersection of said Gibson Blvd. line with the said Westerly line of Louisiana Blvd.; thence S 0 deg. 15' 20" E., 661.91 feet along the said Louisiana Blvd. line a parallel with and thirty feet Westerly, at right-angles, from the East line of said Section to the southeast corner of said Tract, the point of intersection of said Louisiana Blvd. line with the said Northeasterly line of said alley; thence N 44 deg. 12' W., 723.80 feet to the said Southwest corner and beginning point of said Tract; and containing 4.679 acres more or less.

SURVEYOR'S CERTIFICATE

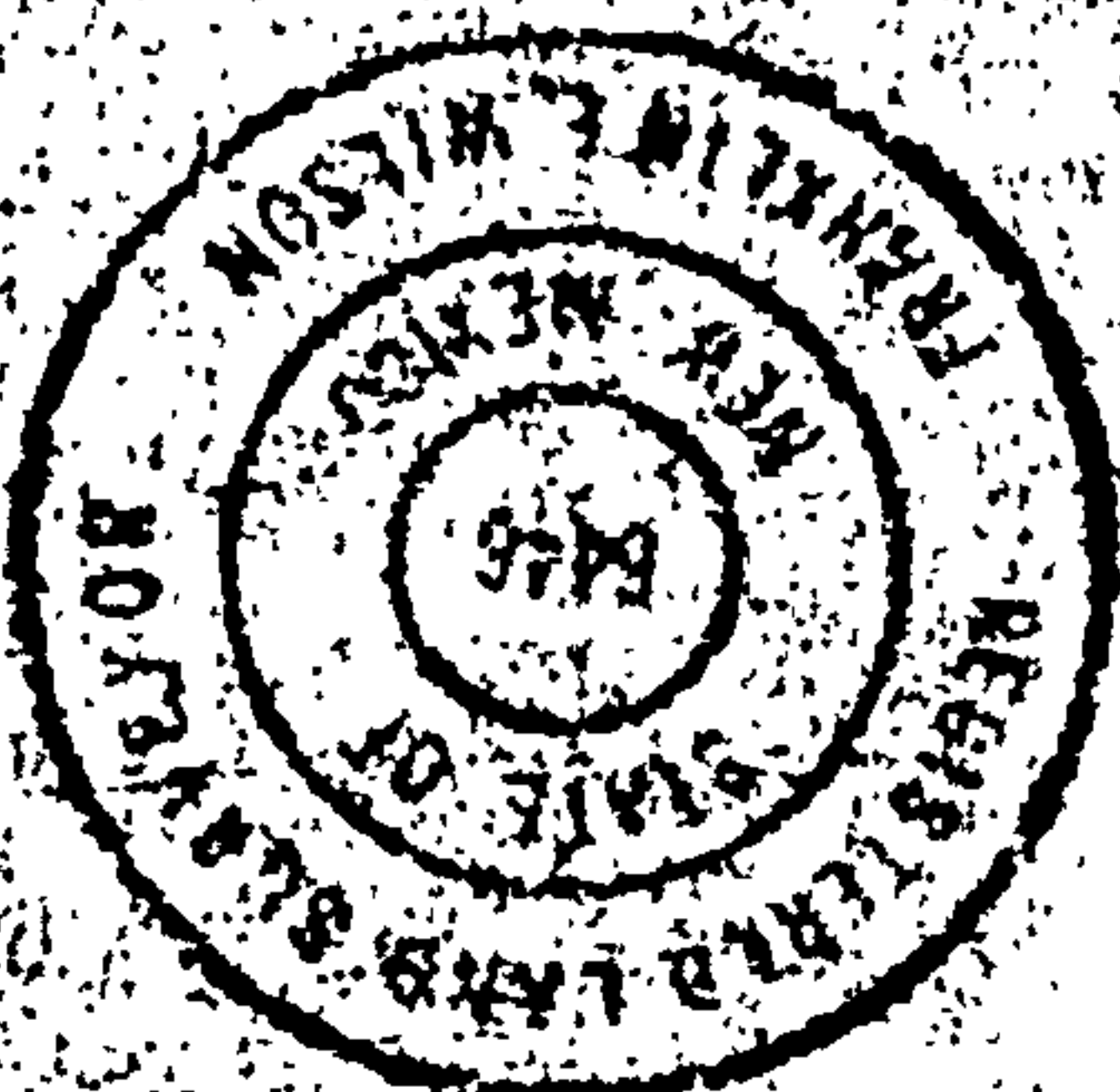
I, Franklin E. Wilson, licensed under the laws of the State of New Mexico, do hereby certify that this Plat was prepared by me or under my direction from notes of an actual field survey, and is true and correct to the best of my knowledge and belief.

Franklin E. Wilson

Franklin E. Wilson N.M.L.S.

#6446

2/28/80
Date



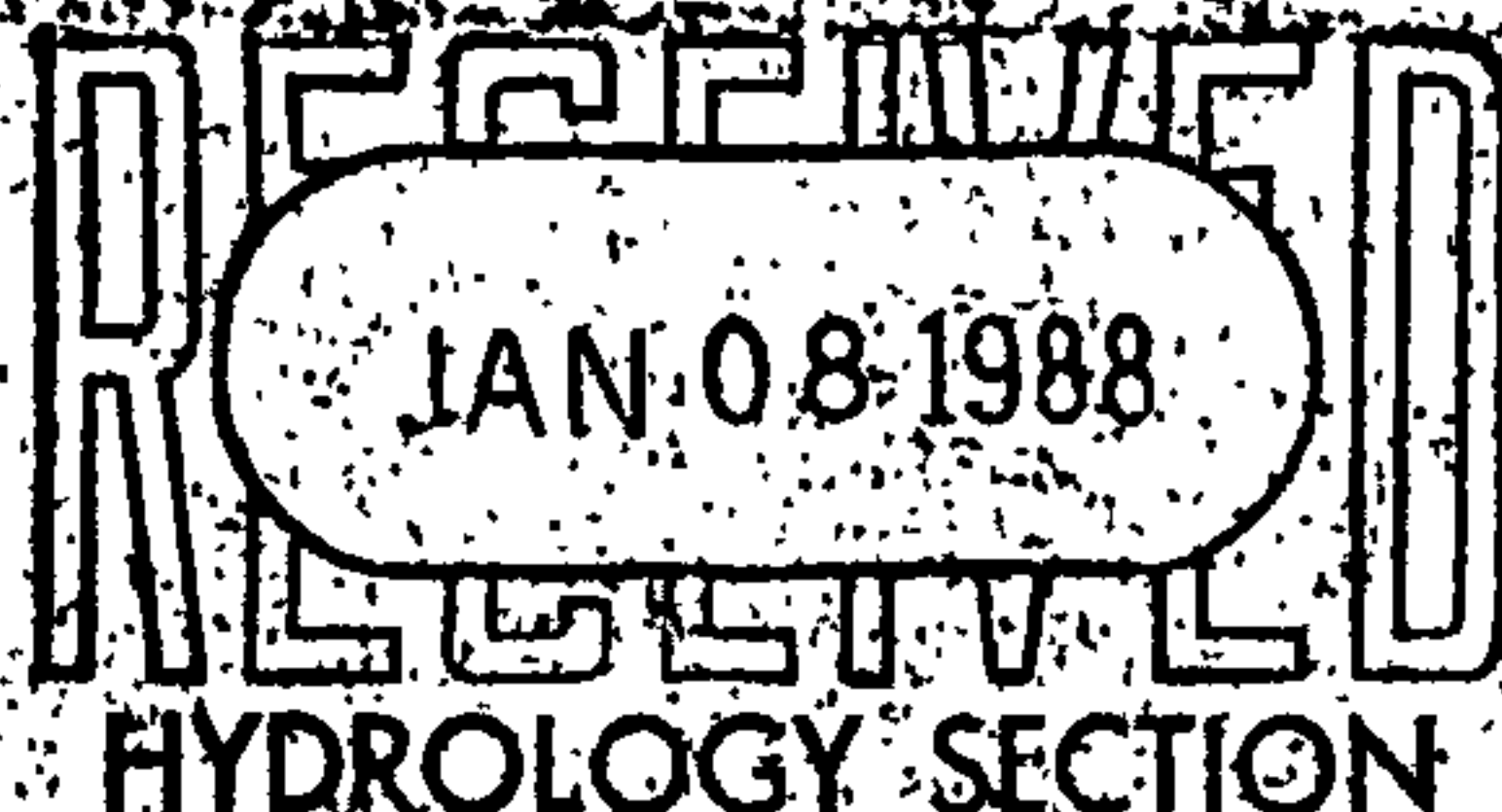
Prepared By:

Southwest Surveying Co.

215 Marble NW

Albuquerque, New Mexico 87102

Phone: (505) 843-6646





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1996

Jim Kapuranis
JJK Group, Inc.
3636 Menaul NE
Suite 214
Albuquerque, NM 87110

**RE: KIRTLAND FEDERAL CREDIT UNION ADDITION (M18-D5) GRADING &
DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEERS STAMP
DATED 3-18-96.**

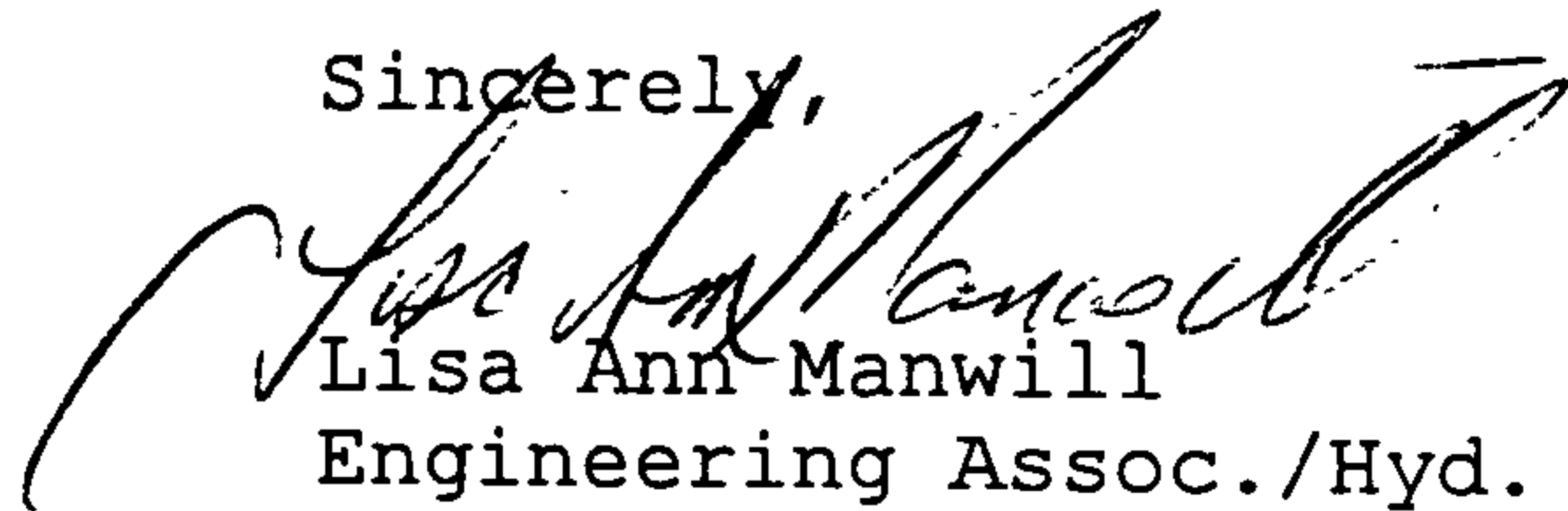
Dear Mr. Kapuranis:

Based on the information provided on your March 18, 1996
submittal, the above referenced project is approved for Building
Permit.

Prior to Certificate of Occupancy approval, an Engineer's
Certification will be required.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 13, 1996

Jim Kapuranis
JJK Group, Inc.
3636 Menaul NE
Suite 214
Albuquerque, NM 87110

**RE: KIRTLAND FEDERAL CREDIT UNION ADDITION (M18-D5) CONCEPTUAL
GRADING & DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL.
ENGINEERS STAMP DATED 2-18-96.**

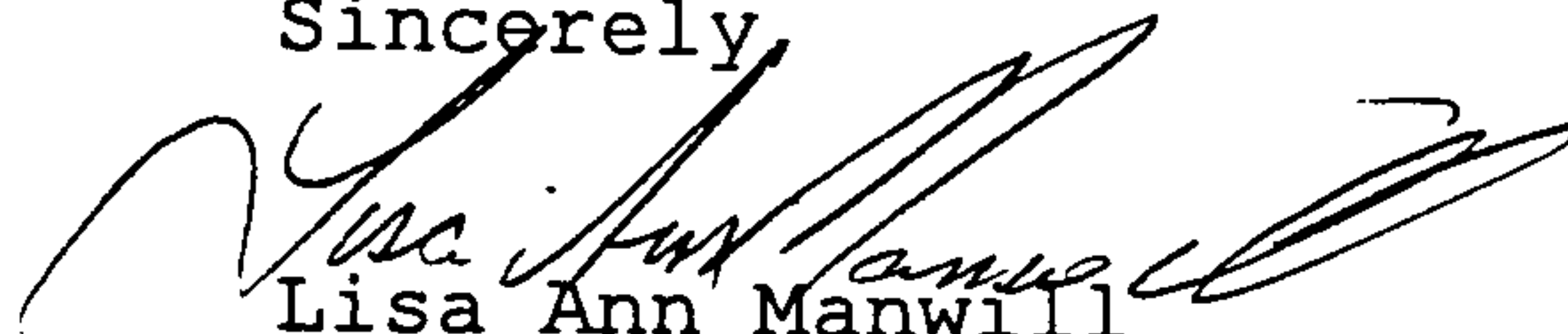
Dear Mr. Kapuranis:

Based on the information provided on your March 4, 1996
submittal, City Hydrology has the following comments:

1. Please provide the finish floor elevation, to mean sea level, of the existing building.
2. Please provide historical and proposed flow calculations for Basin "B."
3. Provide calculations showing that the existing detention pond has capacity for additional flow created from the parking lot expansion.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

EASTERLING & ASSOCIATES, INC.

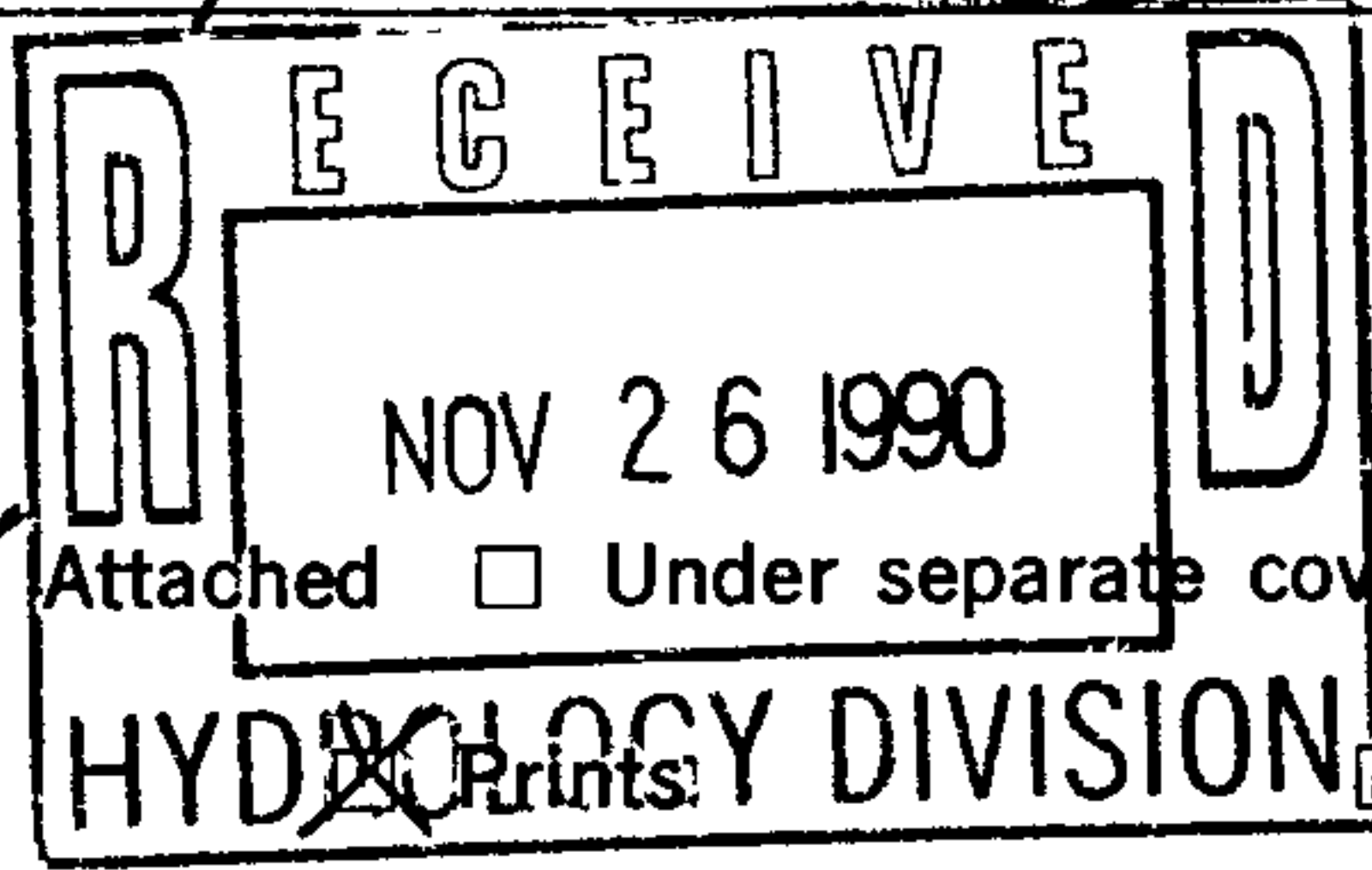
5643 Paradise Blvd., NW
ALBUQUERQUE, NEW MEXICO 87114

LETTER OF TRANSMITTAL

(505) 898-8021

TO CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT.
HYDROLOGY SECTION

DATE	<u>11-26-90</u>	JOB NO	<u>2561</u>
ATTENTION	<u>BERNIE MONTOYA</u>		
RE	<u>KIRTLAND FEDERAL CREDIT UNION - EMPLOYEE PARKING LOT.</u>		



WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☒ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATE	NO.	DESCRIPTION
<u>2</u>		<u>1 OF 2</u>	<u>GRAVING & DRAINAGE PLAN</u>
<u>2</u>		<u>2 OF 2</u>	<u>DETAIL SHEET</u>
<u>1</u>			<u>DRAINAGE INFORMATION SHEET.</u>

THESE ARE TRANSMITTED as checked below:

- ☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

David L. Smith

COPY TO _____

SIGNED: _____

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 6, 1990

Douglas W. Copeland, P.E.
Easterling & Associates, Inc.
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: REVISED DRAINAGE PLAN FOR KIRTLAND FEDERAL CREDIT
UNION EMPLOYEE PARKING LOT (M-18/D5)
ENGINEER'S STAMP DATED NOVEMBER 21, 1990

Dear Mr. Copeland:

Based on the information provided on your submittal of November 26, 1990, the above referenced plan is approved for Grading/Paving.

Please be advised that prior to final approval, Engineer's Certification will be required per the DPM Engineer Certification Checklist.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

for Benito J. Montoya
Fred J. Aguirre, P.E.
Hydrologist

BJM:FJA/bsj
(WP+167)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

REFERENCE M-18 05

ZONE ATLAS/DRAINAGE FILE NO.

M-18 / DS

PROJECT TITLE: KIRTLAND FEDERAL CREDIT UNION EMPLOYEE PARKING LOT

LEGAL DESCRIPTION: PARCELS A, B & C LAND OF KIRTLAND F. C. U.

CITY ADDRESS: 6420 GIBSON BLVD. S.E.

ENGINEERING FIRM: Easterling & Assoc. Inc.

CONTACT: DAVID SMITH

ADDRESS: 5643 Paradise Blvd. N.W.

PHONE: 898-8021

OWNER: KIRTLAND F. C. U.

CONTACT: DAVID SEELEY

ADDRESS: 6420 GIBSON BLVD. S.E.

PHONE: 262-1727

ARCHITECT:

CONTACT:

ADDRESS:

PHONE:

SURVEYOR: MARQUEZ SURVEYING

CONTACT: GEORGE MARQUEZ

ADDRESS: 1311 SILVER AVE. S.W.

PHONE: 842-6579

CONTRACTOR:

CONTACT:

ADDRESS:

PHONE:

PRE-DESIGN MEETING:

☐ YES

DRB NO. _____

☐ NO

EPC NO. _____

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☒ GRADING & DRAINAGE PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

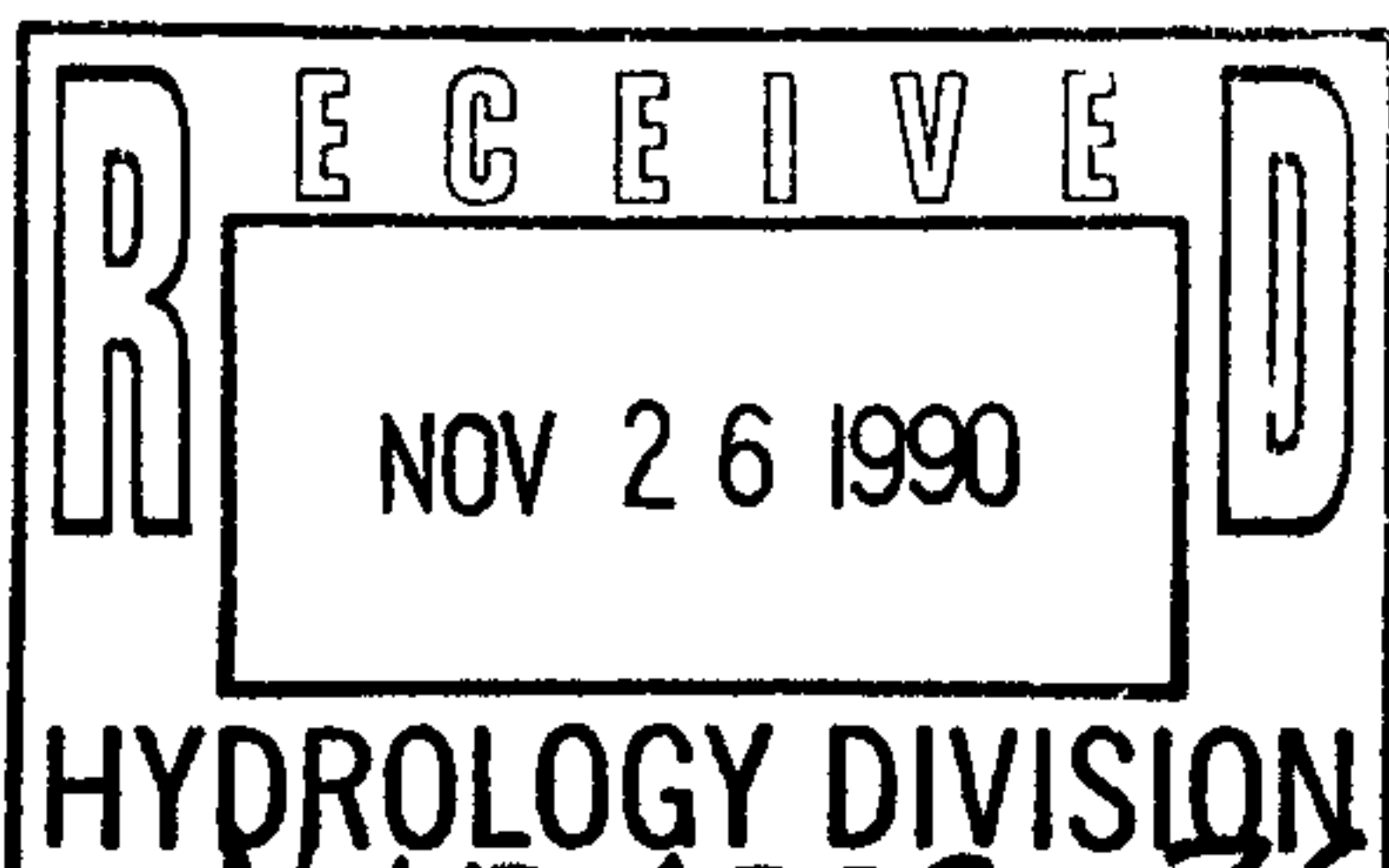
☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

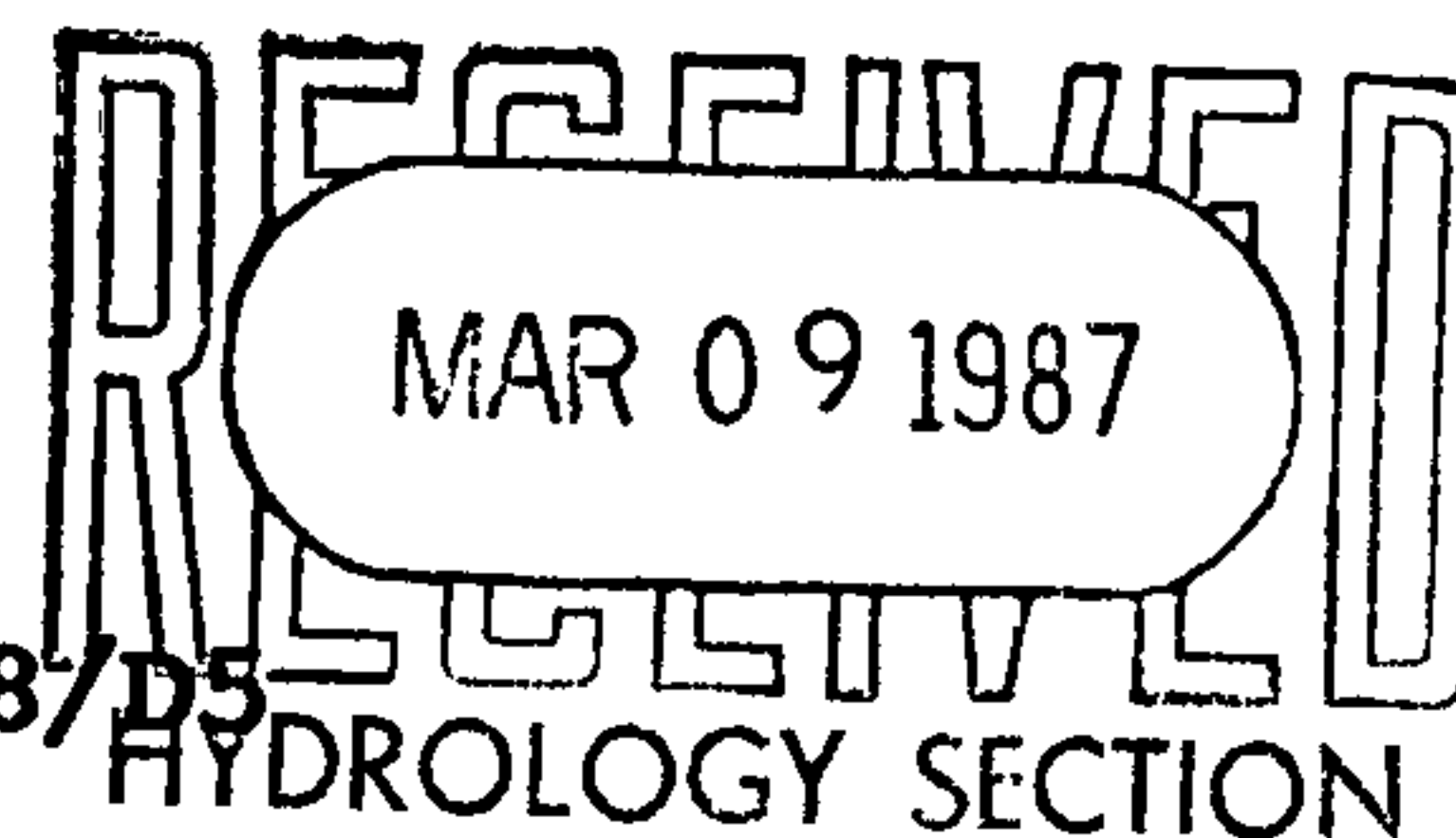


DATE SUBMITTED: NOVEMBER 26, 1990

BY:

David A. Smith

ANALYSIS
Ref: Drainage File M-18/D5



Douglas W. Copeland

March 6, 1987

Problem Statement: Demonstrate that under present developed conditions, the 4.679 acre site at the southwest corner of Gibson Boulevard and Louisiana Boulevard will be allowed free discharge into the street (Gibson Boulevard) and/or back of the existing storm drain catch basin.

Hypothesis: A part of the Kirtland Air Force Base Detention Basin Project has recently been completed. A major portion of AMDS System 206-02A has recently been completed. It is felt that the flood boundaries shown on the October, 1983, FEMA Flood Hazard Maps will be reduced in size as a result of the above improvements. It is also felt that the runoff from the 4.679 acre site in question will peak and enter the storm drainage system ahead of the flows developed upstream of the site.

Offsite Flows: The existing conditions for the watershed upstream above the subject site have been studied extensively and reported in a document prepared by Leedshill-Herkenhoff, Inc., entitled Kirtland Air Force Base Detention Basins, June, 1984. The North Detention Basin and Pennsylvania Diversion Structure have been constructed. Overflows from the Pennsylvania Diversion Structure run overland through the site of the proposed South Detention Basin and into Gibson Boulevard at Louisiana.

The inflow/outflow reservoir routing for the North Detention Basin as it currently exists is shown on pages 353-357 in Kirtland Air Force Base Detention Basins, Appendix "A". The outflow from the North Detention Basin is currently being regulated by a gate valve set at an equivalent opening of an 8-inch orifice with a peak discharge of 5.15 CFS. The North Detention Basin discharges directly into a 36-inch diameter storm drain which ties into the existing storm drain in Gibson Boulevard.

The outflow hydrograph for flows which bypass the Pennsylvania Street Diversion Structure is shown on page 372-373 in Kirtland Air Force Base Detention Basins, Appendix "A". Since the South Detention Basin has not been constructed, the runoff flows overland into Gibson Boulevard where it is intercepted by the existing storm drain system. The outflow hydrograph was determined for an analysis point approximately 1,200 feet upstream of the subject site, and identified in the report as "AP 602".

Onsite Flows: The subject site is 4.679 acres in size and slopes down from east to west at 1.20 Ft/Ft. The site will be graded to drain into Gibson Boulevard. The attached hydrological analysis indicates that when the site is fully developed, runoff from the site will peak in 8.2 minutes at 17.0 CFS or 3.63 CFS/acre. The northwest corner is currently developed. Runoff from the developed portion of the site is being routed through onsite detention ponds. The existing developed area is approximately 1.0 acres in size. Therefore, the 17.0 CFS peak for onsite runoff may be reduced by 3.6 CFS due to effects of existing ponds.

Offsite versus Onsite: Offsite flows into the North Detention Basin are detained and are not significant in this analysis. Offsite flows into the proposed South Detention Basin will peak at analysis point 602 in 12 minutes with a theoretical flow rate of 617 CFS. Assuming a velocity of 5 FPS, it will take an additional four (4) minutes for this peak to move downstream 1,200 feet. Therefore, offsite flows should peak in Gibson Boulevard in front of the subject site approximately 16 minutes after the storm begins. Conversely, onsite flows will peak and flow into Gibson Boulevard eight (8) minutes after the storm begins. The attached hydrographs illustrate the relationship between the offsite and onsite flows. It should be noted that the offsite flows were determined through the use of the "HYMO" computer model which is suspect of giving very quick, narrow peaks.

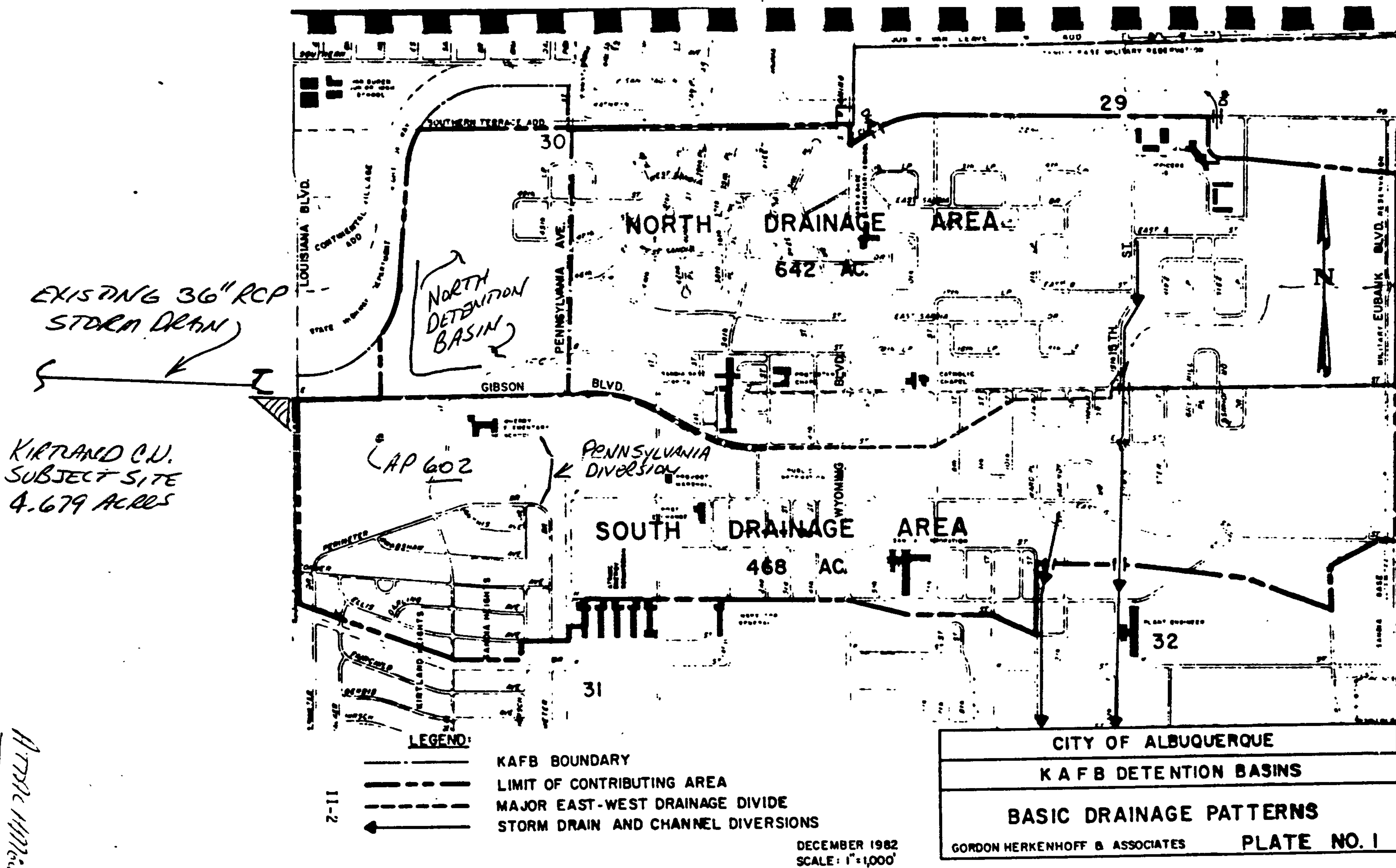
Capacity of Existing Facilities: The existing 36-inch storm drain in Gibson Boulevard has its beginning at double "C" catch basins on the north and south sides of Gibson Boulevard, between Kentucky Street and Louisiana Boulevard. The capacity of the double "C" gratings is approximately 10 CFS for 0.011 Ft/Ft street grade and flow depth of 0.6 Ft (Reference Plate 22.3 D-G, DPM). Catch basin flows are transmitted to the main line through a 24-inch RCP with slope of 0.010 Ft/Ft having a capacity of 22 CFS. The 36-inch RCP main line with a slope of 0.0161 Ft/Ft has a capacity of 85 CFS at a point downstream of Kentucky Street. The storm drain system east of Kentucky Street is currently being fed by two double "C" catch basins upstream of Kentucky Street and a storm drain line from the North Detention Pond east of Louisiana Boulevard. The total inflow into the storm drain system is estimated to be 10 CFS per each catch basin and 5.3 CFS from the North Detention Pond for a total of 25 CFS. All other runoff is carried in the street and/or bypasses the existing storm drain catch basins. This would leave approximately 60 CFS of capacity in the storm drain system upstream of Kentucky Street under present conditions.

Gibson Boulevard is approximately 80 feet wide face to face with a 20 foot median. For half road width of 30 feet, street slope 0.016 Ft/Ft, depth of flow equals 0.6 Ft, Plate 22.3 D-4 gives a half street flow of 30 CFS, for a 70 foot street.

Conclusion: As shown in the attached hydrograph plots the onsite runoff generated by the subject site will peak prior to the upstream watershed peak. The onsite peak is negligible when compared to the offsite peak and would not significantly effect the flooding conditions downstream which occur west of the site. Since the subject site is an infill development, and there will be ample capacity in the system eight (8) minutes after the 100-year rainfall event begins, it is felt that free discharge should be allowed into the existing catch basin and/or street gutter.

List of attachments:

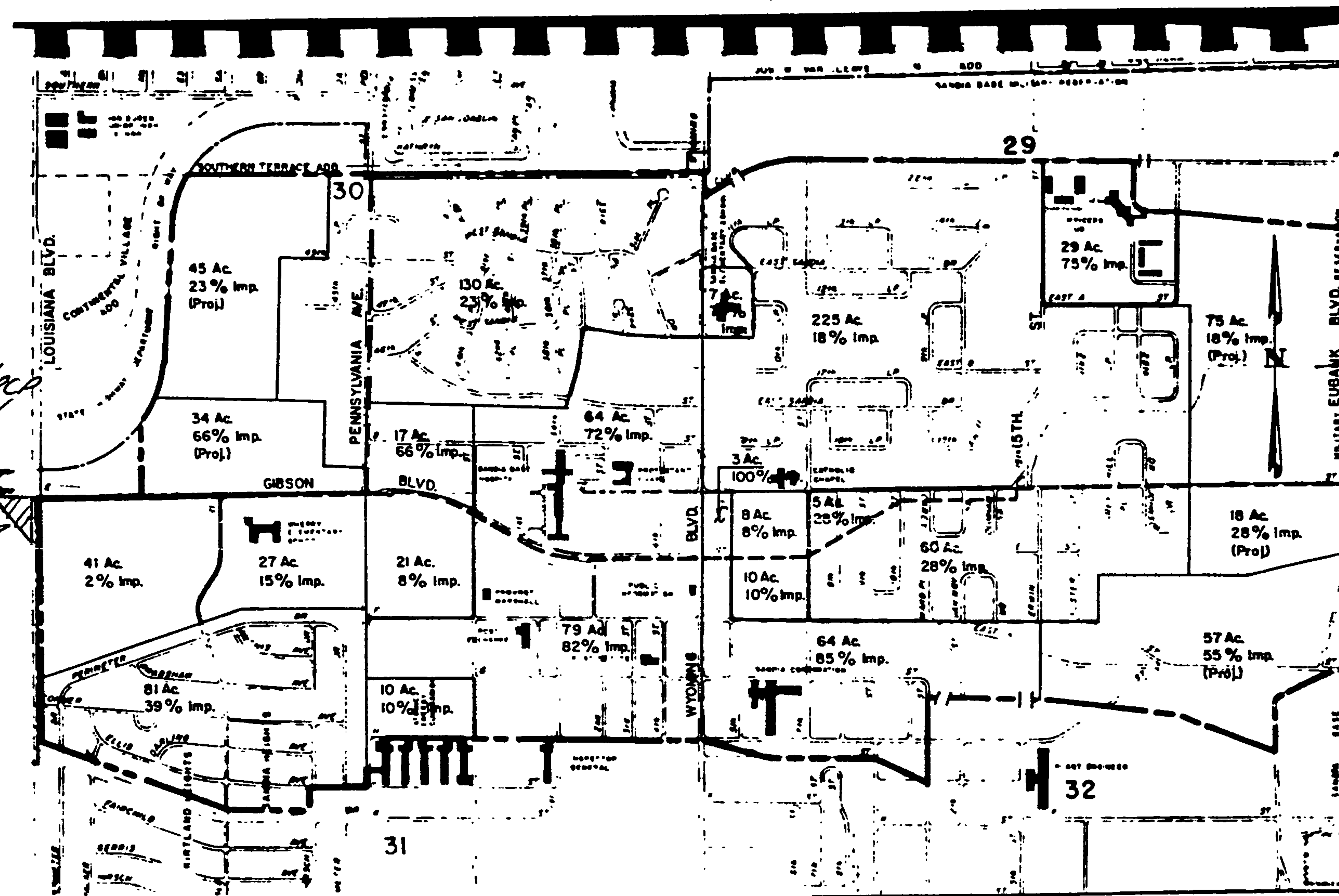
- Basic drainage patterns (excerpt from Kirtland Study)
- Existing and projected land usages (excerpt from Kirtland Study)
- Onsite runoff calculations, sheets 1 and 2
- Hydrograph (onsite versus offsite)
- North Basin inflow/outflow values (excerpt from Kirtland Study)
- South Basin inflow values (excerpt from Kirtland Study)
- Storm drain "as-bid" drawing



1/17/88 HMMAT

EXISTING 36" RCP
STORM DRAIN

KIRTLAND C.U.
SUBJECT SITE
4.679 ACRES



LEGEND

130 Ac.
23% Imp.
(Proj.)

LAND AREA IN ACRES
ESTIMATED PERCENTAGE IMPERVIOUS USAGE
CURRENTLY UNDEVELOPED LANDS

DECEMBER 1982
SCALE: 1"=1000'

CITY OF ALBUQUERQUE
K A F B DETENTION BASINS
EXISTING AND PROJECTED
LAND USAGES
GORDON HERKENHOFF & ASSOCIATES
PLATE NO. 2

HYDROLOGY CALCULATIONS

PROJ. NAME: KIRTLAND CU
 DESIGNER: D. COPELAND
 DATE: MARCH 6, 1987

PROJECT INFO INPUT DATA

Zone Atlas (Ref. 1986 City of Albuquerque Zone Atlas) M-18
 Soil Type (Ref. SCS Soil Survey Bernalillo County, 19 Wink, WeB
 Hydrologic Soil Group (Ref. SCS Soil Survey) 8
 6 Hr. Rainfall Vnl. - 100 year freq. (Ref. Plate 22.2) 2.35

* NOTE: If $T_c < 10$ min., Intensity calculations assume $T_c = 10$ min.

WATERSHED AREA INPUT DATA

Analysis Point No.: 1.1 Watershed Designation: ONSITE EXISTING

Height (Feet) 8
 Length (Feet) 828
 Slope (Ft/Ft) 0.009
 T_c (Min.) * 8.217
 Velocity (fps) 1.679

Sub-area Description	PAVED	ROOF	LANDSCAPE	UNDEVELOPED	NA	COMPOSITE
Area (Acres)	0.77	0.13	0.11	3.66	0.00	4.67
Percentage of Total	16%	3%	2%	78%	0%	100%
Curve Number	98	98	69	70	0	78.5
"C" Value	0.95	0.90	0.25	0.40	0.00	0.50
Runoff (Inches)	2.12	2.12	0.35	0.39	0.00	0.72

Analysis Point No.: 1.20 Watershed Designation: ONSITE DEV.

Height (Feet) 8
 Length (Feet) 828
 Slope (Ft/Ft) 0.009
 T_c (Min.) * 8.217
 Velocity (fps) 1.679

Sub-area Description	PAVED	ROOF	LANDSCAPE	UNDEVELOPED	NA	COMPOSITE
Area (Acres)	1.78	1.43	0.89	0.57	0.00	4.67
Percentage of Total	38%	31%	19%	12%	0%	100%
Curve Number	98	98	69	70	0	92
"C" Value	0.95	0.90	0.25	0.40	0.00	0.73
Runoff (Inches)	2.12	2.12	0.35	0.39	0.00	1.57

ONSITE RUNOFF CALCULATIONS

WATERSHED HYDROLOGIC RESULTS

Analysis Point No.	1.1	1.2	NA	NA	NA	NA
2 Year Event						
Rainfall (P2)	1.046	1.046	NA	NA	NA	NA
Intensity (I2)	2.21	2.21	NA	NA	NA	NA
Runoff (Inches)	0.318	0.692	NA	NA	NA	NA
Q2 (cfs)	5.17	7.58	NA	NA	NA	NA
Volume (Cu.ft.)	5397	11729	NA	NA	NA	NA
10 Year Event						
Rainfall (P10)	1.544	1.544	NA	NA	NA	NA
Intensity (I10)	3.26	3.26	NA	NA	NA	NA
Runoff (Inches)	0.470	1.021	NA	NA	NA	NA
Q10 (cfs)	7.64	11.19	NA	NA	NA	NA
Volume (Cu.ft.)	7968	17317	NA	NA	NA	NA
100 Year Event						
Rainfall (P100)	2.350	2.350	NA	NA	NA	NA
Intensity (I100)	4.97	4.97	NA	NA	NA	NA
Runoff (Inches)	0.715	1.555	NA	NA	NA	NA
Q100 (cfs)	11.62	17.03	NA	NA	NA	NA
Volume (Cu.ft.)	12128	26357	NA	NA	NA	NA

Watershed Designations:

Analysis Point No.

1.1	ONSITE EXISTING
1.2	ONSITE DEV.
NA	NA
NA	NA
NA	NA
NA	NA

THESE TWO POINTS ARE LOCATED AT THE EXTREME NORTHWEST CORNER OF THE PROPERTY WHICH IS EFFECTIVELY THE LOWEST POINT ON THE SITE.

* - DEDUCT 360 CFS FOR DEVELOPED AREA W/ PONDING NW CORNER OF SITE.

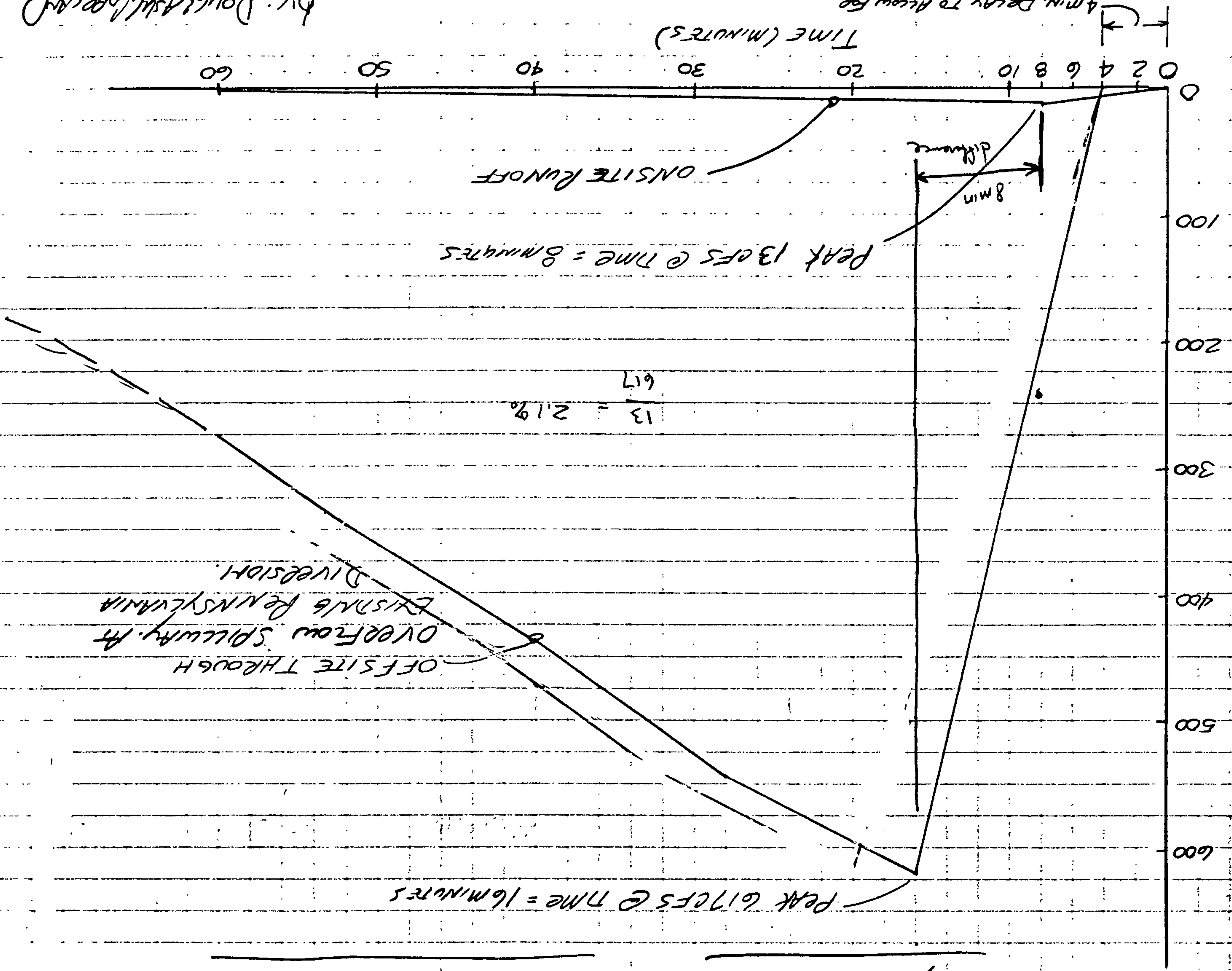
THE SITE HAS A TEMPORARY PARKING LOT AND BANKING FACILITY LOCATED IN THE SOUTH NORTH WEST CORNER. TWO PONDS ARE EXISTING WITH A TOTAL STORAGE CAPACITY OF 44000 FT³. THEY DRAIN INTO GIBSON W/ 4" PVC SIDEWALK DRAINS. ONE OF THE PONDS WILL REMAIN AFTER SITE IS FULLY DEVELOPED. IT HAS A CAPACITY OF ~2200 CF. THE OTHER POND WILL BE OBLITERATED TO MAKE ROOM FOR NEW DRIVEWAY.

14112 G.D.

APR 11 1997

ATTACHMENT

HYDROGRAPH - OFFSITE VS. ONSITE



by: Douglas W. Loper
3/6/87

EXCEPT FROM KIRTLAND STUDY

NORTH BASIN
INTERIM 100
8" DIA ORIFICE

RESERVOIR ROUTING

THE NAME OF THE ANALYSIS IS
NORTH BASIN-100 YEAR STORM-INTERIM DESIGN-8 INCH ORIFICE

THE TIME INCREMENT IS .2 HOURS

DISCHARGE CFS	STORAGE AC FT	ELEVATION FEET
0.00	0.000	5346.25
2.20	0.010	5348.00
2.80	0.800	5349.00
3.30	2.200	5350.00
3.70	5.500	5351.00
4.00	13.200	5352.00
4.40	24.200	5353.00
4.70	36.200	5354.00
5.00	48.100	5355.00
5.20	60.400	5356.00
5.50	73.000	5357.00

8" Orifice

Lowest Elev on Basin Bottom

Max Disch = 5.15 cfs output

Max Storage = 57.11 AF output

DISCHARGE CFS	S/T+Q/2
0.00	0.00
2.20	1.71
2.80	49.80
3.30	134.75
3.70	334.60
4.00	800.60
4.40	1466.30
4.70	2192.45
5.00	2912.35
5.20	3656.80
5.50	4419.25

TIME (HRS)	INFLOW (CFS)	OUTFLOW (CFS)
0.00	0.00	0.00
0.20	617.00	3.65
0.40	543.00	4.05
0.60	434.00	4.34
0.80	345.00	4.52
1.00	278.00	4.65
1.20	203.00	4.74
1.40	157.00	4.82
1.60	124.00	4.87
1.80	97.00	4.92
2.00	79.00	4.95
2.20	65.00	4.98
2.40	56.00	5.00
2.60	50.00	5.01
2.80	45.00	5.03
3.00	41.00	5.04

Attachment

OK for Outlet. For
OUT Flow into 353
STORM DRAIN

RESERVOIR ROUTING

(THE NAME OF THE ANALYSIS IS
SOUTH BASIN-100 YEAR STORM-INTERIM DESIGN-6 INCH ORIFICE

THE TIME INCREMENT IS .2 HOURS

39

DISCHARGE CFS	STORAGE AC FT	ELEVATION FEET
------------------	------------------	-------------------

0.00	0.000	5334.00
0.90	0.900	5335.00
1.30	3.620	5336.00
1.60	6.470	5337.00
1.90	9.750	5338.00
2.10	13.260	5339.00
2.30	17.010	5340.00
2.50	21.100	5341.00
2.70	25.640	5342.00
2.80	31.320	5343.00

← Lowest Point in Basin
(6" Orifice el. 5334.12)

←← 5341.62
Max. Discharge = 2.62 cfs
Max Storage = 23.91 AF

DISCHARGE CFS	S/T+Q/2
------------------	---------

0.00	0.00
0.90	54.90
1.30	219.66
1.60	392.24
1.90	590.83
2.10	803.28
2.30	1030.26
2.50	1277.80
2.70	1552.57
2.80	1896.26

TIME (HRS)	INFLOW (CFS)	OUTFLOW (CFS)
------------	--------------	---------------

0.00	0.00	0.00
0.20	672.00	1.50
0.40	332.00	2.13
0.60	182.00	2.35
0.80	89.00	2.46
1.00	35.00	2.50
1.20	22.00	2.52
1.40	18.00	2.54
1.60	15.00	2.55
1.80	14.00	2.56
2.00	12.00	2.56
2.20	11.00	2.57
2.40	10.00	2.57
2.60	9.00	2.58
2.80	8.00	2.58
3.00	7.00	2.59
3.20	7.00	2.59

← USE INFLOW
HYDROGRAPH
FOR COMPARISON.
ROUST TIME
FOR OVERLAND
FLOW 1200 FEET
@ 5 FPS = 4 min

Attachment

C.A. (PAT) COONCE & ASSOC.

ENVIRONMENTAL, WATER RESOURCES, & SANITARY CONSULT

ENGINEERS

12324 PINERIDGE, N.E.
ALBUQUERQUE, N.M. 87112

PHONE (505) 296-1089

Sept. 27, 1981

RECEIVED

Mr. Brian Burnett
City of Albuquerque
Hydrology Dept.
P.O.Box 1293
Albuquerque, New Mexico
Re.: Kirtland Federal Credit Union Drainage Report.

SEP 28 1981

ENGINEERING

Dear Brian:

The spillway characteristics for this installation are assessed as follows: At the 100 year maximum V storm a q of 0.47 cfs will be flowing into the ponding area and a q of 0.40 cfs will be flowing from the drain. This leaves a net of 0.07 cfs to overflow into the curb. Assuming a length of overflow of 4 feet and a weir coefficient of 4; the depth of flow over the sidewalk into the gutter will be 0.8 inches and a flow rate of 0.02 cfs. Because of the $\frac{1}{4}$ in. per ft. drop from the inside edge of the sidewalk to the curb the velocity should be higher. However it should be below the scour velocity of 3 fps and cause no significant damage.

Yours truly,



C. A. Coonce



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

M18-D5

October 12, 1981

Mr. Pat Coonce
C. A. Coonce & Associates
12324 Pineridge N.E.
Albuquerque, New Mexico 87112

Re: KIRTLAND FEDERAL CREDIT UNION DRAINAGE REPORT

Dear Pat:

This letter is to inform you that the items requested by this department have been adequately addressed except for the supplying of alley grades. However, based on our conversations and the additional survey information, it has been determined that the establishment of alley grades will not be required. Therefore, the 30-day conditional placed on the building plans by this department is hereby released. This letter serves as a notice that the referenced report is approved.

If I can be of further help in this matter, please call.

Very truly yours,

Brian G. Burnett
Civil Engineer/Hydrology

BGB/fs

MUNICIPAL DEVELOPMENT DEPARTMENT

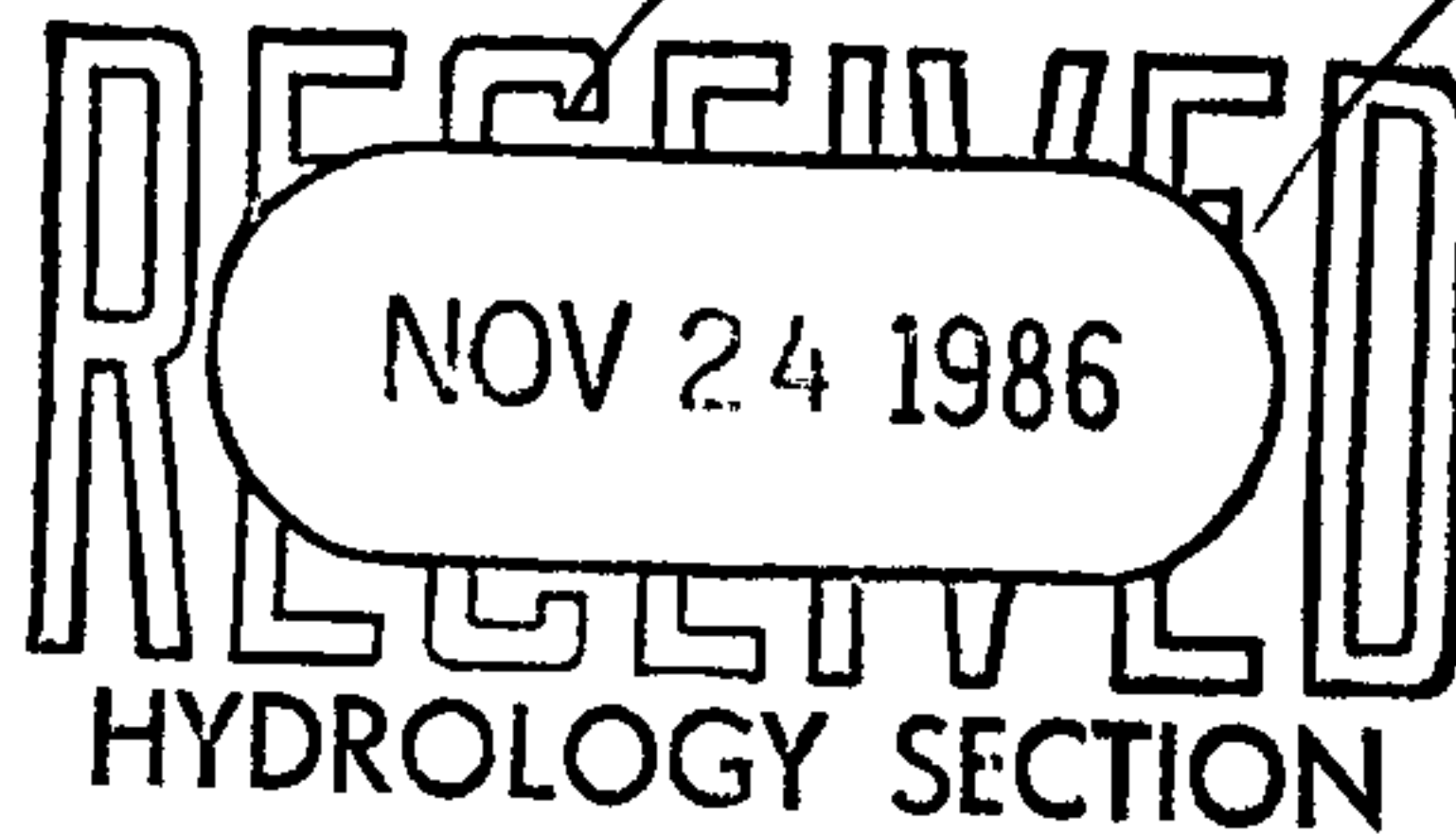
602801

DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND CUL.-TEMP. PARKING LOT ZONE ATLAS/DRNG. FILE #: M-18-Z
 LEGAL DESCRIPTION: SEE ATTACHED COPY OF LEGAL DESCRIPTION.
 CITY ADDRESS: 6420 GIBSON BLVD SE
 ENGINEERING FIRM: EAST ERLING & ASSOC. INC. CONTACT: DOUG COPELAND
 ADDRESS: 5643 PARADISE BLVD - 97114 PHONE: 898-8021
 OWNER: KIRTLAND ~~ETH~~ FEDERAL CREDIT UNION CONTACT: 243-4431 MAIN
 ADDRESS: 6420 GIBSON SE PHONE: 262-1727 BRANCH
 ARCHITECT: WC KRUGER & ASSOC. CONTACT: EDWARD
 ADDRESS: 4TH GOLD SW - SUITE 1100 PHONE: 842-8663
 SURVEYOR: FRANKLIN WILSON - Southwest Survey Co. CONTACT: 843-6646
 ADDRESS: 215 MARBLE NW. PHONE: FRANKLIN WILSON
 CONTRACTOR: UNIVERSAL CONSTRUCTORS CONTACT: GILBERT LUNA
 ADDRESS: 3825 ACADEMY PARKWAY PHONE: 884-0400

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY OF CONFERENCE RECAP
 SHEET PROVIDED



DRB NO. _____
 EPC NO. _____
 PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☒ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

11/24/86

BY:

DOUGLAS W. COPELAND

LEGAL DESCRIPTION

A certain tract of land in Bernalillo County, New Mexico: Situate in and comprising a portion of the Northeast Quarter of Section Thirty-Six in Township Ten North in Range Three East of New Mexico Principal Meridian, within the City of Albuquerque, New Mexico: More particularly described as follows, by reference to the Plat of SIESTA HILLS, a Subdivision, Albuquerque, New Mexico, filed for record on August 19, 1954, in the records of Bernalillo County, New Mexico:

BOUNDED as follows:

North by the Southerly right-of-way line of Gibson Blvd, SE as indicated on said Plat; South by the Northeasterly line of the alley adjacent to the Northeasterly line of Block 5 (framed) of said Subdivision; East by the Westerly right-of-way line of Louisiana Blvd, SE as indicated on said Plat; West by a line that runs from the point of intersection of the Northerly lines of the alley adjacent to the Northerly lines of said Block and that lies at right-angles to the Northerly line of the Westerly portion of said alley; BEGINNING at the Southwest corner of the Tract herein described; the said point of intersection of the Northerly lines of said alley; running thence N 0 deg. 48' E., 150 feet to the Northwest corner of said Tract, a point on the said Southerly line of Gibson Blvd.; thence S 89 deg. 12' E., 500.00 feet along said Gibson Blvd. line to the Northeast corner of said Tract whence the Northeast corner of said Section bears N 46 deg. 08' 10" E., 41.46 feet distant, the point of intersection of said Gibson Blvd. line with the said Westerly line of Louisiana Blvd; thence S 0 deg. 13' 20" E., 661.91 feet along the said Louisiana Blvd. line a parallel with and thirty feet Westerly, at right-angles, from the East line of said Section to the southeast corner of said Tract, the point of intersection of said Louisiana Blvd. line with the said Northeasterly line of said alley; thence N 44 deg. 12' W., 723.80 feet to the said Southwest corner and beginning point of said Tract; and containing 4.679 acres more or less.

SURVEYOR'S CERTIFICATE

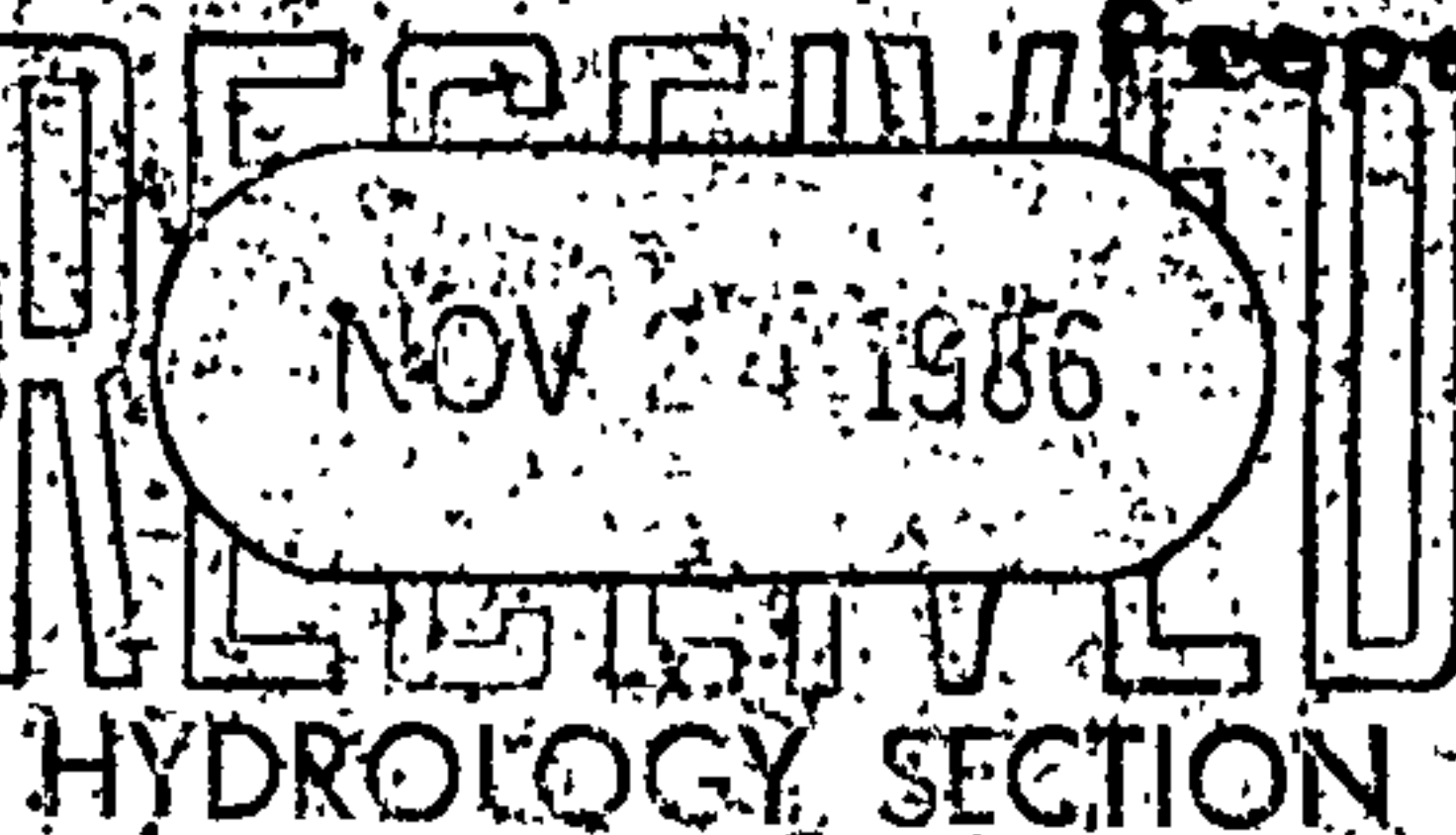
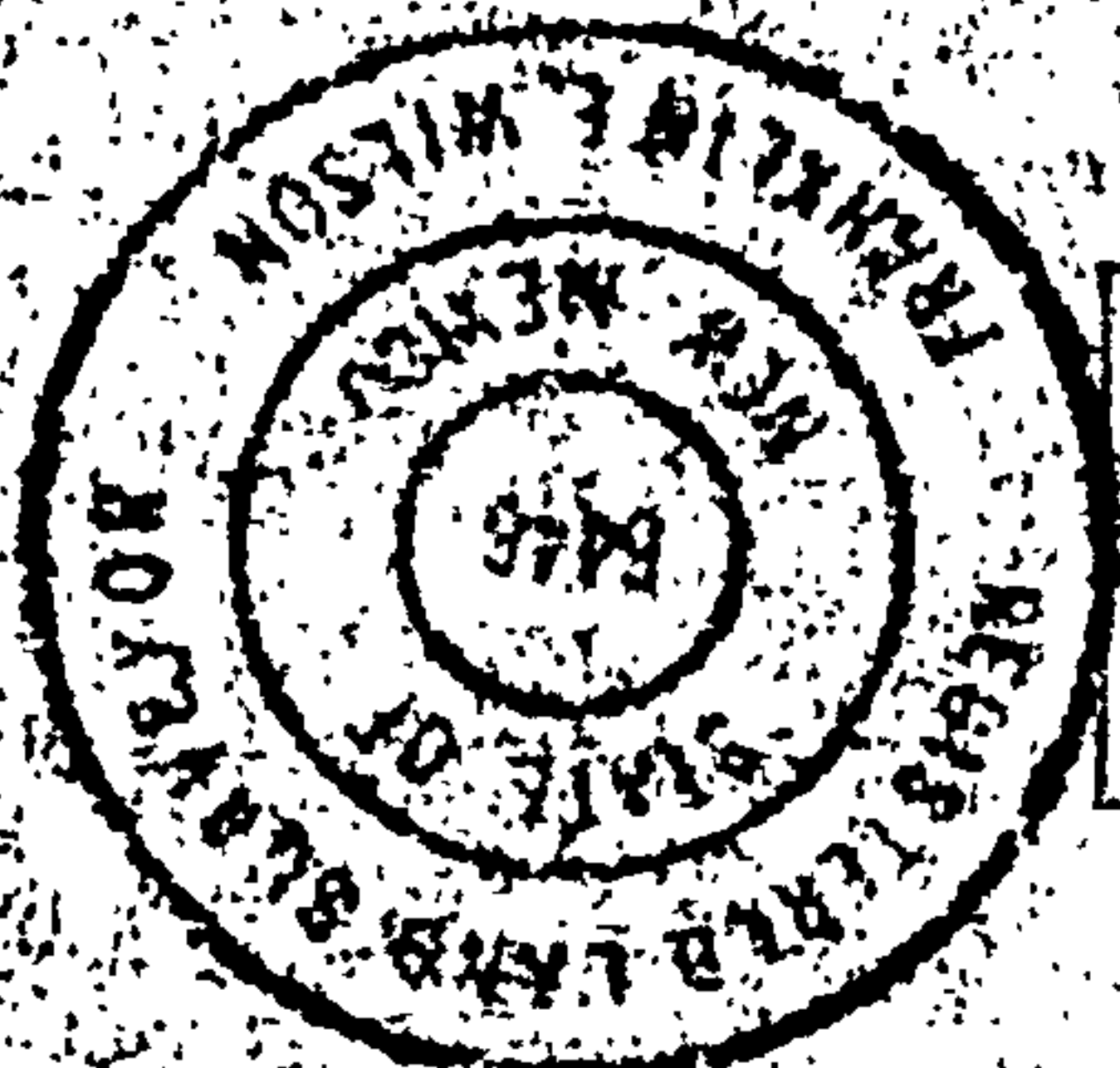
I, Franklin E. Wilson, licensed under the laws of the State of New Mexico, do hereby certify that this Plat was prepared by me or under my direction from notes of an actual field survey, and is true and correct to the best of my knowledge and belief.

Franklin E. Wilson

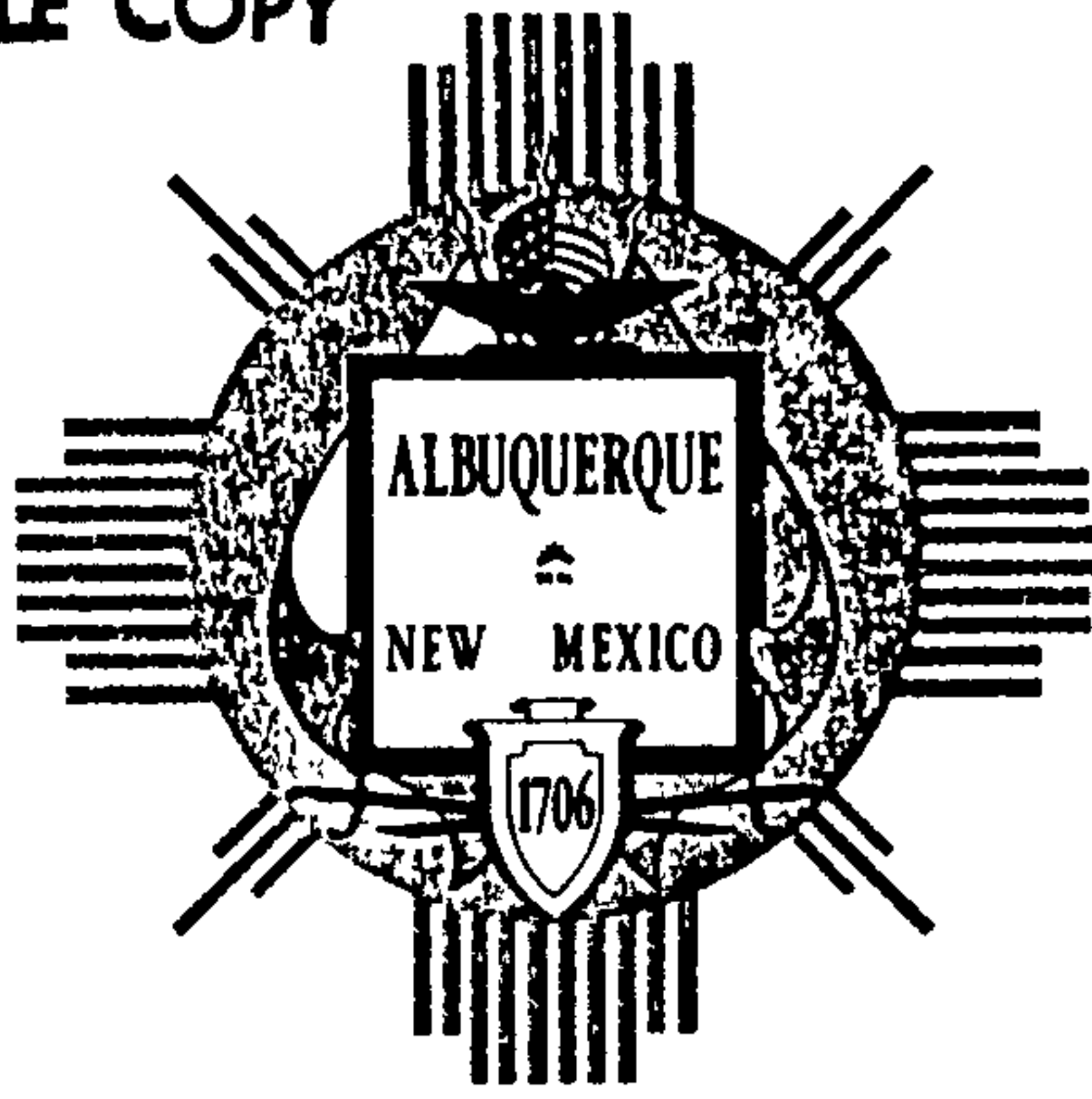
Franklin E. Wilson N.M.L.S.

#6446

2/28/80
Date



Prepared By:
Southwest Surveying Co.
215 Marble NW
Albuquerque, New Mexico 87102
Phone: (505) 843-6646



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 8, 1986

Douglas Copeland, P.E.
Easterling & Associates, Inc.
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: DRAINAGE & GRADING PLAN SUBMITTAL OF KIRTLAND CREDIT UNION
TEMPORARY PARKING LOT, 6400 GIBSON BLVD., SE, RECEIVED
NOVEMBER 24, 1986 FOR GRADING AND PAVING PERMIT APPROVAL
(M-18/D5)

Dear Doug:

I have reviewed the above referenced submittal, dated November 24, 1986,
and have the following comments to be addressed before Grading and Paving
approval:

1. Provide inlet control calculations along with the full pipe flow (mannings) for the 4" PVC pond outlet.
2. Provide addition spot elevations and identify alley along the south side of project site.
3. Provide a drawing legend.
4. Provide adequate spot elevations, existing and proposed to identify an overflow for the proposed detention pond. The drive pad would be the preferred overflow.
5. Identify the 4" PVC pond outlet as requiring a separate construction permit and provide the six "Notes to Contractor" and signature block for the S.O. #19 format as listed in the DFM Section 22.7, page 116.

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

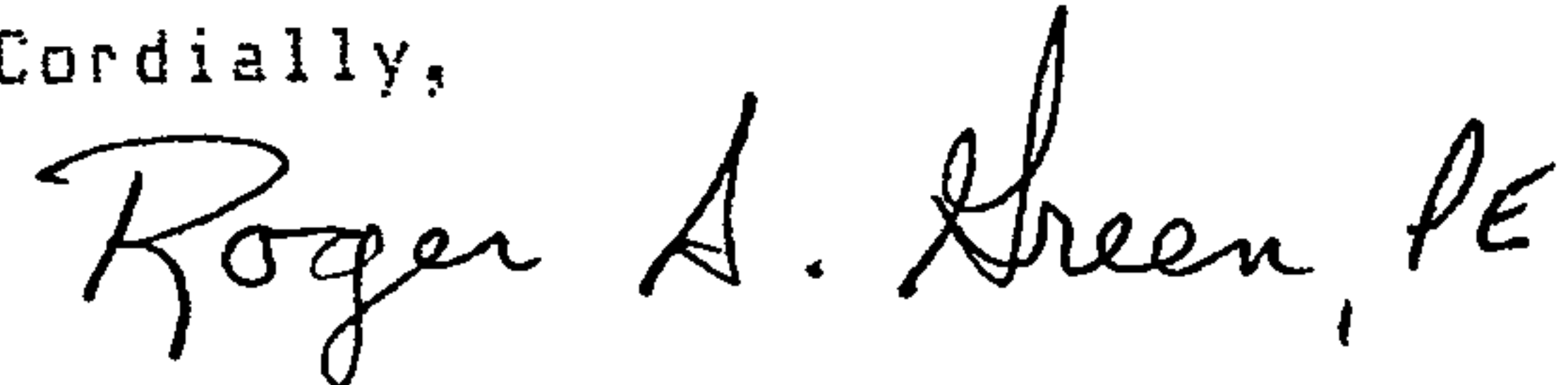
AN EQUAL OPPORTUNITY EMPLOYER

Douglas Copeland, P.E.
December 8, 1986
Page 2

As discussed with Chuck Easterling of your office last week, the pond volume may be reduced to control only the developed runoff volume from the proposed parking area. Runoff from the off-site undeveloped area may be routed through or around the detention pond and discharged to the street through the drive pad.

If you have any questions, call me at 768-2650.

Cordially,

A handwritten signature in cursive script that reads "Roger A. Green, PE". The signature is written in dark ink and is positioned above the typed name.

Roger A. Green, P.E.
C.E./Hydrology Section

RAG/bsj

DRAINAGE INFORMATION SHEET

ATTN: Roger Green

D-5

PROJECT TITLE: KIRTLAND CU - TEMP. DRAINAGE LOT ZONE ATLAS/DRNG. FILE #: M-18-Z

LEGAL DESCRIPTION: LEGAL DESCRIPTION SUBMITTED PREVIOUSLY

CITY ADDRESS: 6420 GIBSON BLVD SE

ENGINEERING FIRM: EASTERLING, ASSOC. INC. CONTACT: DOUG COPELAND

ADDRESS: 5643 PARADISE BLVD - 87114 PHONE: 898-8021

OWNER: KIRTLAND FEDERAL CREDIT UNION CONTACT: _____

ADDRESS: 6420 GIBSON BLVD SE PHONE: 243-4431 MAIN
262-1727 BRANCH

ARCHITECT: W/C KRUGER, ASSOC. CONTACT: MARION SMITH

ADDRESS: 4th & GOLD SW - SUITE 1100 PHONE: 842-8663

SURVEYOR: FRANKLIN WILSON - Southwest Survey CONTACT: 843-6646 FRANKLIN WILSON

ADDRESS: 215 MARBLE NW PHONE: 843-6646

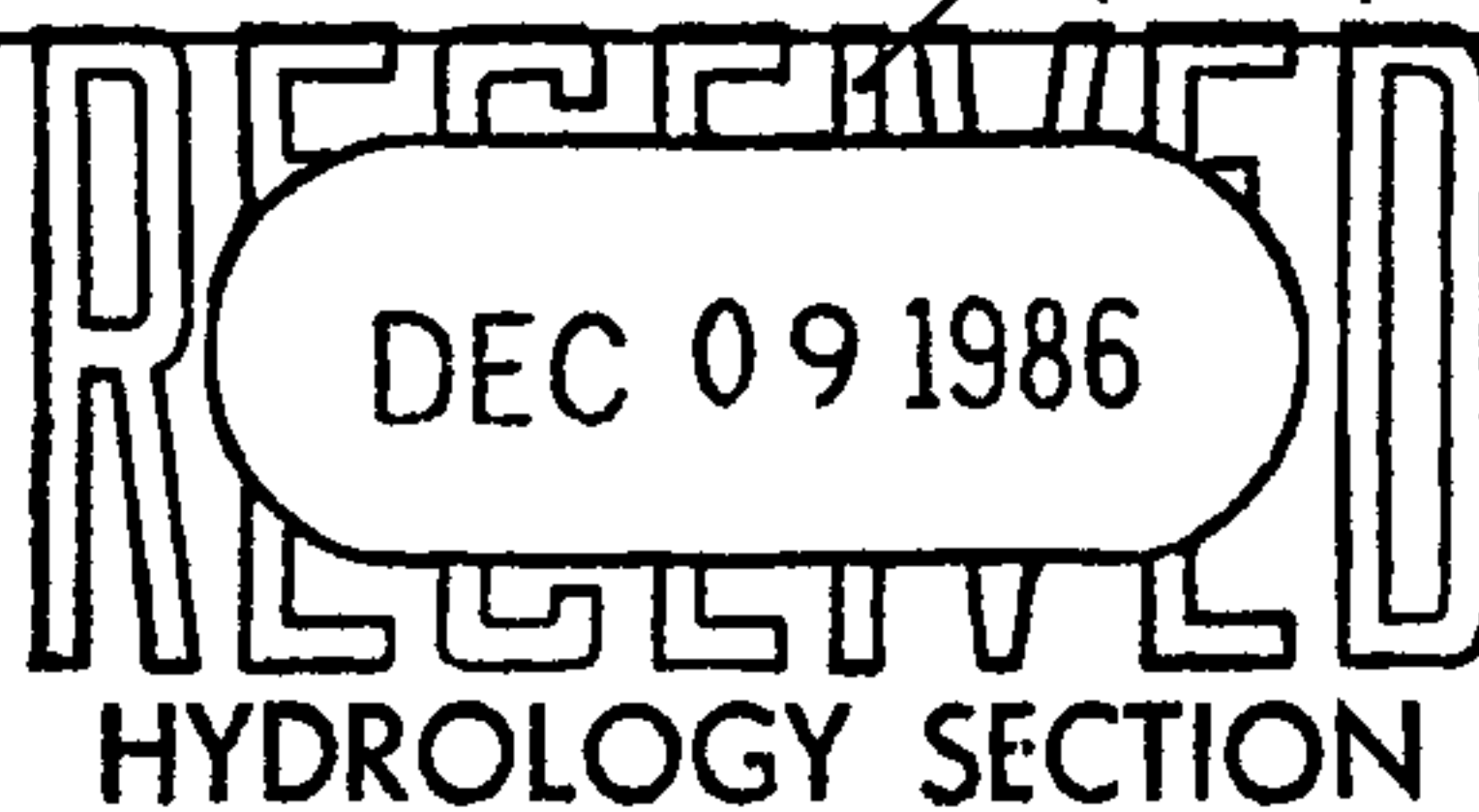
CONTRACTOR: UNIVERSAL CONSTRUCTORS CONTACT: GILBERT LUNA

ADDRESS: 3825 ACADEMY PARKWAY PHONE: 884-0400

PRE-DESIGN MEETING:

☒ YES
☒ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

Revised Plan - 12/8/86

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☒ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 12-9-86
BY: DOUGLAS COPELAND

CONTROL CALC PIPE

SPOT ELEV.

ALLEY.

DRAWING LEGEND

- SPOT ELEV. OVERFLOW

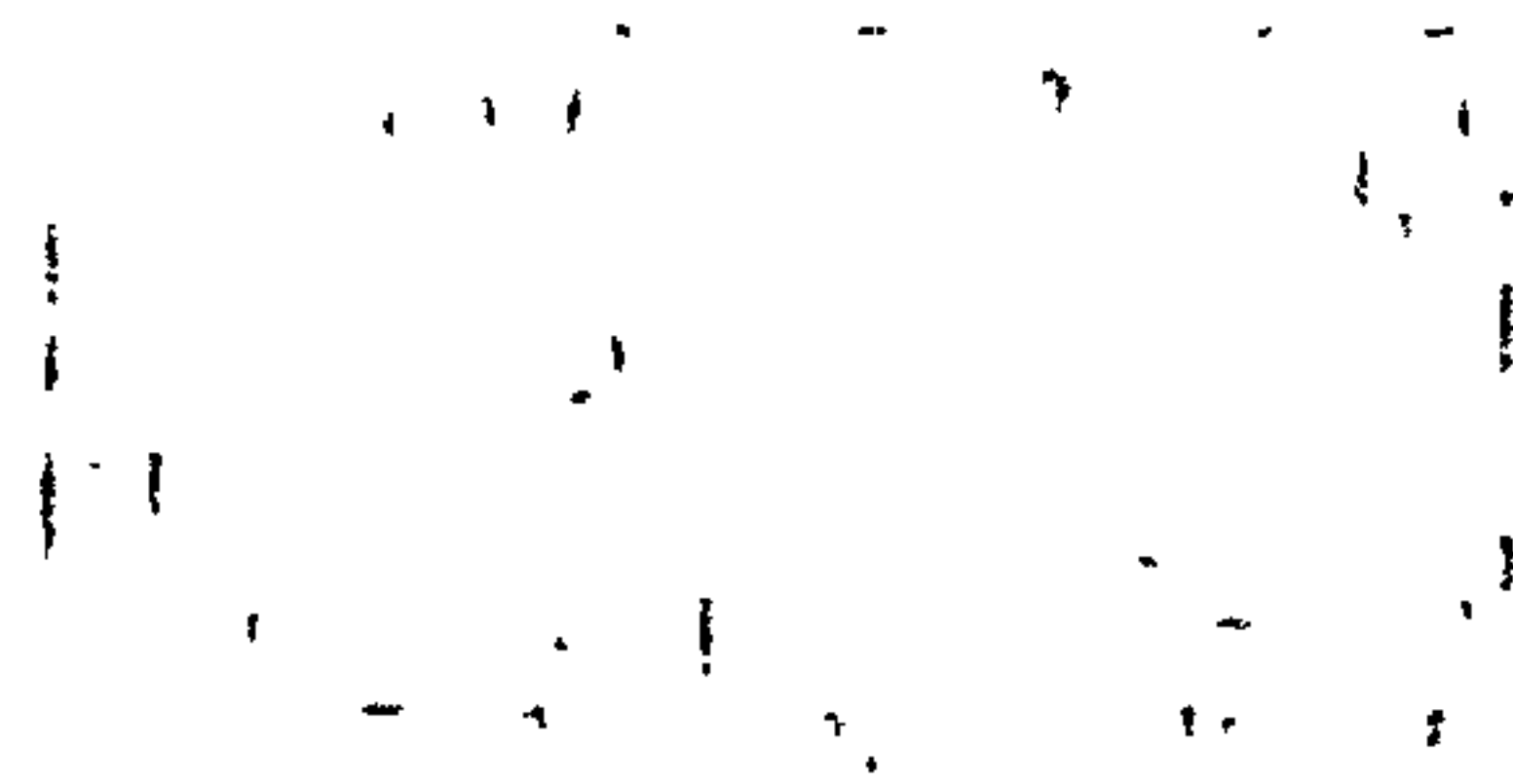
4" POND OUTLET

→ S.O. 19 FORMAT.

- POND. VOL.

NOTE

→ PAGE 116 D.P.M.



FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 10, 1986

Douglas Copeland, P.E.
Easterling & Associates, Inc.
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: REVISED GRADING & DRAINAGE PLAN SUBMITTAL OF KIRTLAND CREDIT UNION, TEMPORARY PARKING LOT, 6400 GIBSON BLVD., SE, RECEIVED DECEMBER 9, 1986 FOR GRADING AND PAVING PERMIT (M-12/D5)

Dear Doug:

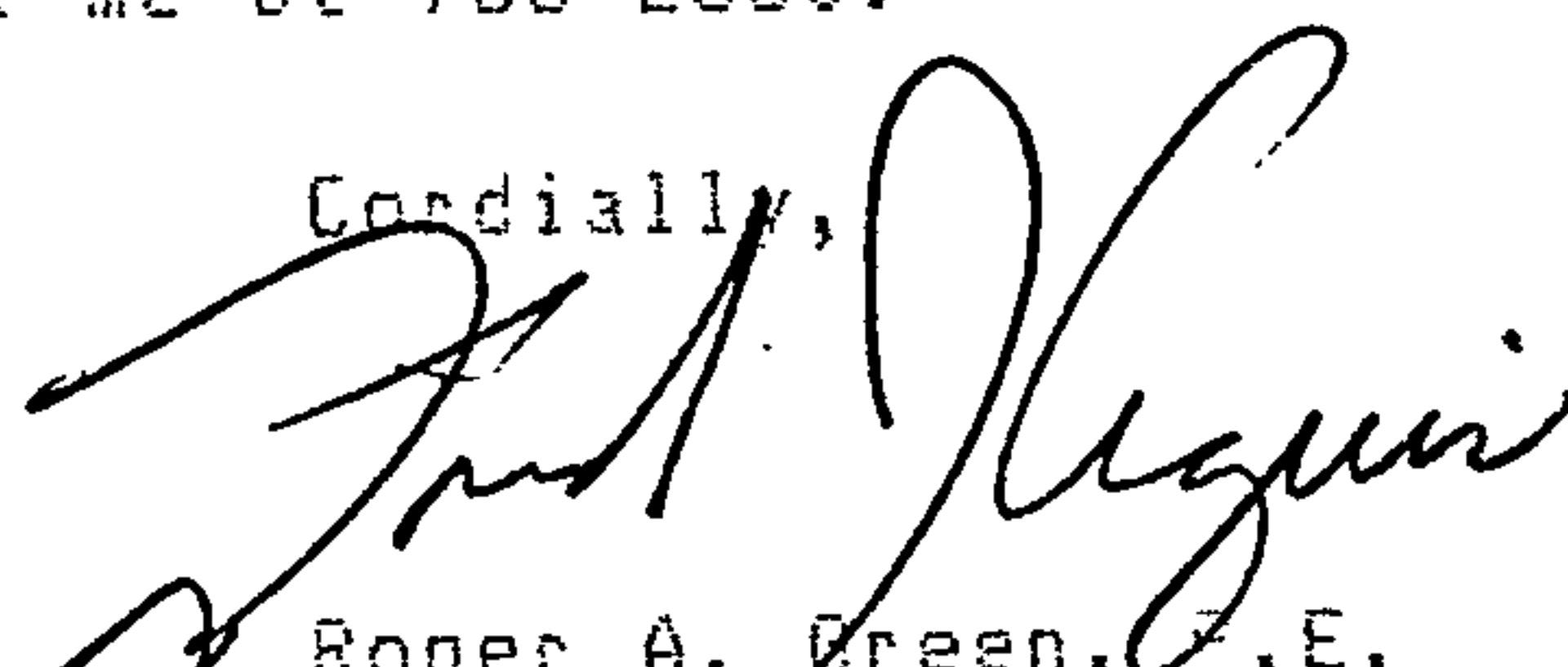
The above referenced submittal, revised December 8, 1986 is approved. The contractor may proceed with grading and paving in accordance with this approved Grading and Drainage Plan.

A separate excavation permit will also be required of the contractor to construct, the 4" PVC pond drain within the street right-of-way.

Upon completion of the project, notify the Hydrology drainage inspector so that a final inspection can be made.

If you have any questions, call me at 768-2650.

Cordially,


Roger A. Green, P.E.
C.E./Hydrology Section

cc: Gilbert Luna

RAG/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY

MEMORANDUM:

December 12, 1986



ENGINEERING GROUP

TO: Tom Aragon, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Division/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
KIRTLAND FEDERAL CREDIT UNION TEMP. PARKING LOT (M-18/D5)

Transmitted herewith, is a copy of the approved drainage plan for the referenced projects incorporating the S.O. 19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

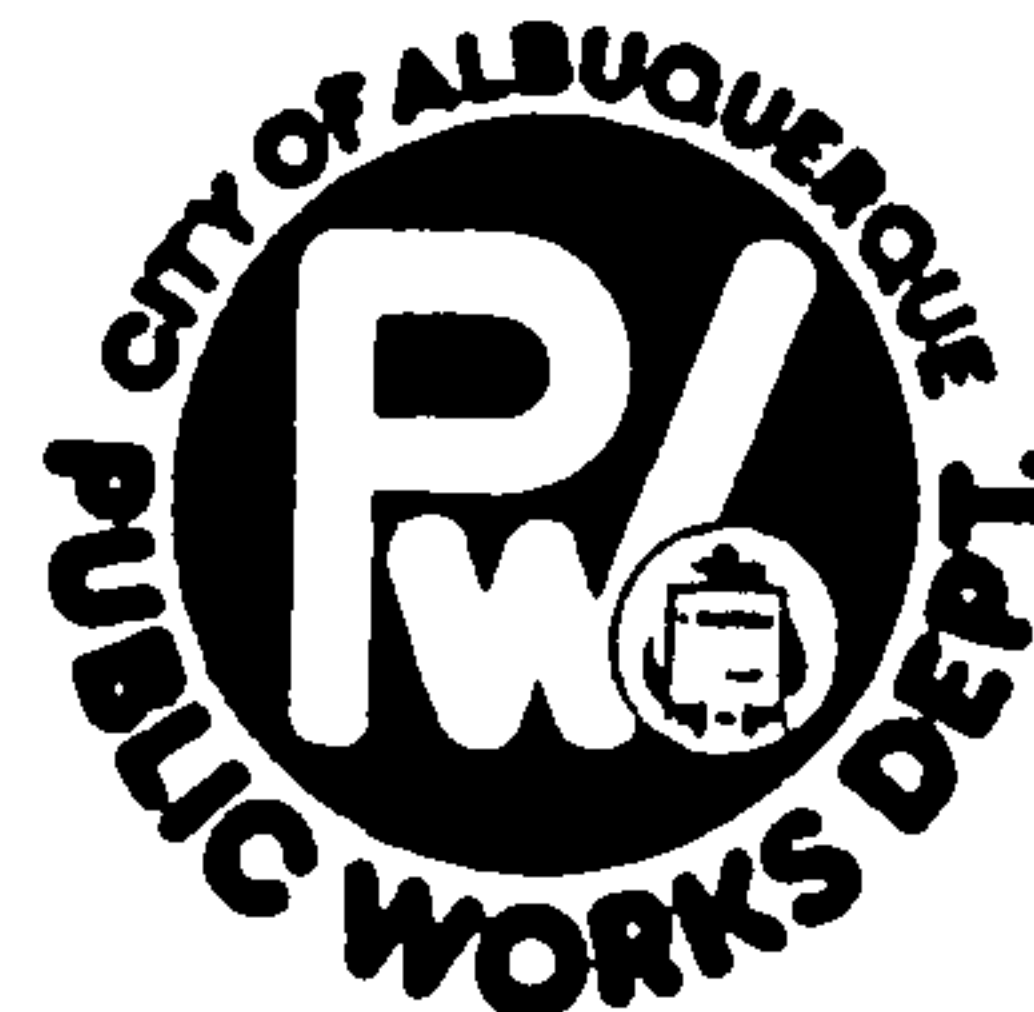
As you are aware, the signed-off S.O. 19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Enclosures

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**



January 12, 1987

INTER-OFFICE CORRESPONDENCE

TO: *Tom Aragon, Transportation System Division*

FROM: *Fred J. Aguirre, Hydrologist; Engineering Group/PWD*

SUBJECT: *PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
KIRTLAND FEDERAL CREDIT UNION (M-18/D5)*

ENGINEERING GROUP

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

*3-10-88
Pete Garza Const.
Permit # 41990
Ben Chang*

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M-18/D5 DATE: 3-4-87
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: KIRTLAND CREDIT UNION
STREET ADDRESS (IF KNOWN): SW Corner of Gibson & Louisiana
SUBDIVISION NAME: _____

APPROVAL REQUESTED:

____ PRELIMINARY PLAT ____ SITE DEVELOPMENT PLAN ____ OTHER _____	____ FINAL PLAT <u>X</u> BUILDING PERMIT ____ ROUGH GRADING
---	---

WHO	REPRESENTING
ATTENDANCE: <u>Doug Garland</u>	<u>Ernstling & Assoc</u>
<u>ROBERT GREEN</u>	<u>City Hydrology</u>
_____	_____

FINDINGS:

- (1) An approved Grading and Drainage Plan is required prior to Hydrology sign-off on Building Permit.
- (2) Storm Drainage Improvements have been made upstream of project site to eliminate portions of Flood Hazard Zone in Gibson. Indian near 100 year water surface elevations are provided for Gibson. The project site must be protected in accordance with the Flood Hazard Ordinance since Gibson is still officially a Flood Zone.
- (3) Free discharge is approved for the site provided that project site discharge makes before the peak at the upstream watershed, and downstream facilities including the street have adequate capacity. Direct connections to existing catch is acceptable using the S.O.#19 process.
- (4) Provide copies of offsite watershed maps and hydrographs to support design alternative selected.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Doug Garland</u>	SIGNED: <u>Doug Garland</u>
TITLE: <u>Civil Engineer</u>	TITLE: <u>Civil Engineer</u>
DATE: <u>3-4-87</u>	DATE: <u>3-4-87</u>

****NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL**



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

M18-D5

September 4, 1981

Mr. Pat Coonce
C. A. Coonce & Associates
12324 Pineridge N.E.
Albuquerque, New Mexico 87112

Re: KIRTLAND FEDERAL CREDIT UNION DRAINAGE REPORT

Dear Pat:

The following comments are a follow-up to your correspondence of September 1, 1981 and phone conversations concerning the referenced drainage report:

1. The request for an emergency spillway scheme and supporting calculations is to meet the requirements outlined in the 1979 Interim Drainage Guidelines. Please provide this information.
2. Even though a temporary bench mark is not required in the ordinance, it allows this office to make a more expeditious survey and inspection for compliance with the approved concept. Please see that the TBM you suggested is indicated on the plans.
3. The alley grades requested must be established for the reasons listed in my August 27, 1981 letter. The proposed grades should be established from Louisiana to Dakota N.E.
4. A 30 day conditional approval of the plans will be granted by this department. During this period, Items #1, #2 and #3 should be complied with.

Mr. Bernie Montoya of our staff will be forwarded a copy of this letter so that he may sign off the construction plans without delay.

If I can be of further help, please call.

Very truly yours,

Brian G. Burnett
Brian G. Burnett
Civil Engineer/Hydrology

BGB/fs
cc: Mr. Dan McDonald
Mr. John Bell

MUNICIPAL DEVELOPMENT DEPARTMENT

*Bernie,
Put the
"Standard"
conditional
on these
plans.
Thanks
BAB*

6420 Gibson S.E.

CONDITIONAL 30 day

The Engineer shall supply the Hydrology Section with a revised drainage and grading plan per City Requirements by October 9, 1981

If this condition is not met, Section 205 of the City of Albuquerque Building Code will be invoked.

Please be advised that until final approval of the drainage and grading plan is granted, no inspection will be made for the purpose of obtaining a certificate of Occupancy.

Bernie J. Montoya
9-10-81

For Brian Burnett

Kevin Clark

C.A. (PAT) COONCE & ASSOC.

ENVIRONMENTAL, WATER RESOURCES, & SANITARY CONSULTING

ENGINEERS

12324 PINERIDGE, N.E.
ALBUQUERQUE, N.M. 87112

PHONE (505) 296-1089

September 1, 1981

RECEIVED

SEP 01

RECEIVED

Mr. Brian G. Burnett
City of Albuquerque
Hydrology Department
P. O. Box 1293
Albuquerque, New Mexico 87103

Dear Mr. Burnett;

In response to your letter dated August 27, 1981, the following information applies:

- 1A) The undeveloped flow rate varies from $(0.4) (0.775) (5.4) = 1.67$ cfs for max. q to $(0.4) (0.775) (0.40) = 0.12$ for max. V . This is using a $c = 0.40$ the $I = 189 / (T + 25)$ intensity equation and a minimum time of ten minutes for max. q .
The developed flow rates $0.71/0.40$ or $1.78 \times$ the undeveloped rate or 2.96 cfs and 0.21 cfs respectively, for the max. q and max. V conditions.
- 1B) No provision has been made for an emergency spillway from the pond except that the lowest corner is next to the sidewalk at the curb on northwest corner where all the discharge is now taking place.
- 1C) No TBM was designated since none is required by ordinance and a bench mark accurate to $0.001'$ is located at the corner of Louisiana and Gibson, a distance of $350'$ from this site; however, I would use the west property corner at the Gibson curb which is 5327.80 feet elevation, for a TBM.
- 2A) This 0.7749 acre tract of land is a part of a 4.679 acre tract of land owned by Kirtland Federal Credit Union. It slopes from east to west at an average slope of 1.25% . The total area east of this site to Louisiana is 3.904 acres.
- 2B) Approximately one-half of the run-off has drained to Gibson and the alley before arriving at the east boundary of this property. However, assuming all of the run-off stays on site and crosses the east boundary, and using the same assumption as "1A" above and an overland flow rate of 0.90 fps, the max. q rate and depth of flow, respectively, would be 8.43 cfs and $0.312'$ or $0.375'$ or $3/8"$.

RECEIVED

SEP 01 1981

NOT REEERING

Mr. Brian G. Burnett
City of Albuquerque

September 1, 1981

Page Two

2B) Cont'd

The max. V flow rate and depth, respectively, would be 0.71 cfs and 0.003' or 0.35" or approximately 1/32".

2C) The proposed pond was not designed to handle any detention from the off-site flow. It was only designed to handle what the ordinance requires, and that is the change due to construction activity.

The off-site flow come across this proposed development in precisely the same manner as before. From a practical manner, it would make more sense for Kirtland Federal Credit Union to put a header curb at the east boundary and divert the flow there, rather than 150' further west on Gibson Blvd. They own the piece of land to the east and don't have to squabble to make this change.

3A) The drainage plan does not change run-off toward the alley. An inspection of the plan shows that the elevations are essentially the same at the west boundary. It is 5328.01 at the Gibson curb and 5328.00 at the alley. Thus the flow is currently divided between the north to Gibson and the south to the alley. The alley grades are already established and no change is proposed. Any change to the alley grades would be at great expense and would degrade the upstream and downstream flows.

3B) The discharge point is not altered.

3C) No anticipated erosion problem exists at the alley since the average grade is 1.25% and the amount of flow down the alley is essentially unchanged.

I would appreciate your allowing the contractor a building permit so that construction could proceed. If you require any further data on the drainage, I will be happy to supply any other information needed.

Sincerely,



C. A. Coonce

CAC:em

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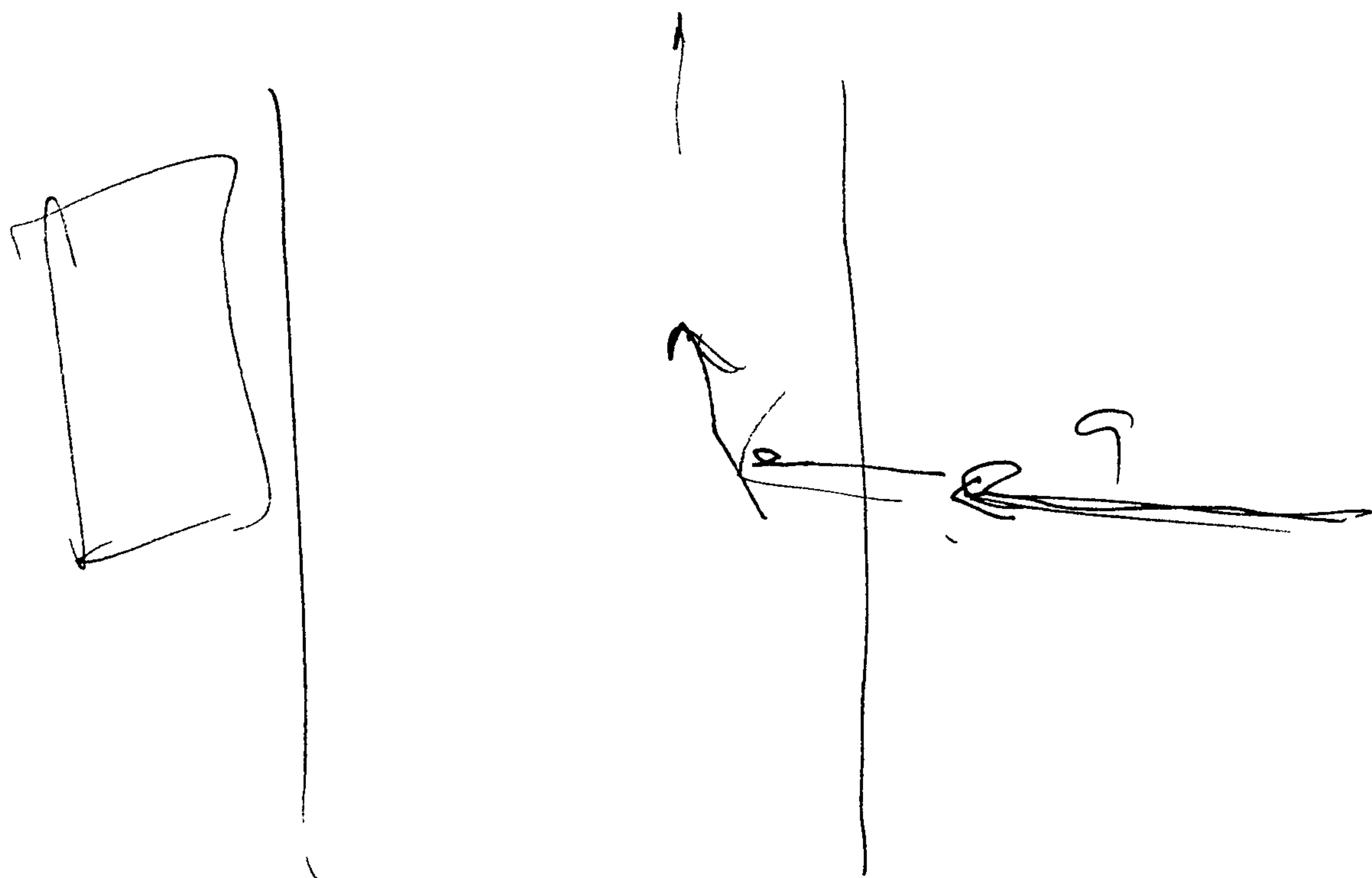
SEP 01 1981

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IMPORTANT MESSAGE

FOR

DATE

Swan

9/2

TIME

1:05

A.M.

P.M.

WHILE YOU WERE AWAY

M

OF

PHONE NO.

Lloyd Goldrick

883-9100

TELEPHONED	☒	RET'D YOUR CALL	☐
PLEASE CALL	☒	URGENT	☐
WILL CALL AGAIN	☐	WANTS TO SEE YOU	☐

MESSAGE

*Informed him
of report
status*

SIGNED

Or

Friday

8-28

3:00

Lloyd Goldnick
Dine Built

Concerning: Kirtland Federal Credit
Unions

1. Informed of project status
August 27 letter sent
to Pat
2. City will work with
Client concerning alley
grades



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

M18-D5

August 27, 1981

Mr. Pat Coonce
C. A. Coonce & Associates
12324 Pineridge Ave. N.E.
Albuquerque, New Mexico 87112

Re: KIRTLAND FEDERAL CREDIT UNION DRAINAGE REPORT

Dear Pat:

A review of our submittal of August 25, 1981 has resulted in the comments listed below. The numbers indicated refer to the Drainage Report (DR) and Construction Plan (CP) Checklists. Also referenced is my letter of August 12, 1981.

1. Please supply the following as requested in the August 12, 1981 letter:
 - a. DR #13 - Undeveloped and developed flow rates.
 - b. DR #15B3 - Emergency spillway scheme and supporting calculations.
 - c. DR #19C - Temporary bench mark location.
2. Item #2 of the August 12, 1981 letter requests that special attention be given to off-site flows. You indicate that the adjacent area, east to Louisiana, contributes runoff in a sheet flow manner to the site. Concerning this off-site watershed:
 - a. DR #7 - What is the size and topography of the area?
 - b. DR #8 - What is the off-site runoff rate and volume?
 - c. DR #11 - Does the proposed pond have adequate capacity to handle the anticipated off-site runoff volume?
3. The drainage plan indicates that on-site runoff will be directed towards the alley. Please supply alley grades as requested in the Pre-Design Conference Notes and Checklist (DR #21C). The reasons for requiring the establishment of alley grades are:
 - a. to evaluate the proposed site grades with respect to the alley and surrounding property.

MUNICIPAL DEVELOPMENT DEPARTMENT

LETTER TO MR. PAT COONCE
AUGUST 27, 1981
PAGE TWO

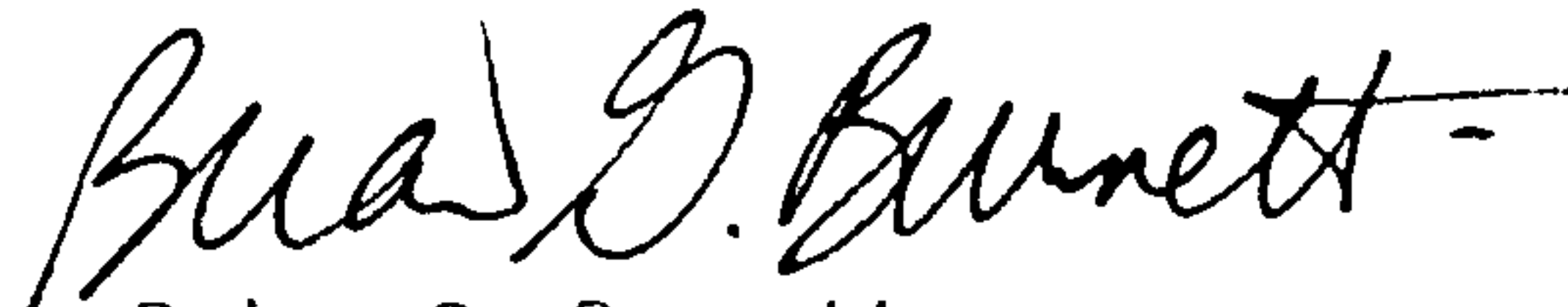
- b. to insure that access or the discharge point will not be altered
- c. to insure that erosion problems will not occur due to
1) an increase in runoff and 2) an increase in the frequency when runoff is directed to the alley.

4. Thank you for supplying the Information Sheet and Drainage Covenant.

A copy of this letter will be sent to Mr. John Bell and Mr. Dan McDonald so that they are kept informed of the project status. I will continue to make an expeditious review of the additional material requested.

If I can be of further help on these matters, please call.

Very truly yours,



Brian G. Burnett
Civil Engineer/Hydrology

BGB/fs

cc: Mr. Dan McDonald
Mr. John Bell
Reading File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

M18-D5

August 12, 1981

Mr. Pat Coonce
C. A. Coonce and Associates
12324 Pineridge Avenue N.E.
Albuquerque, New Mexico 87112

RE: Kirtland Federal Credit Unit Drainage
Report

Dear Pat,

Before complete review of the referenced drainage report can be made this office should be supplied with the items listed below. The reference numbers are taken from the Drainage Report Requirement Checklist, which I have enclosed for your use.

1.
 - ✓a. #4 ✓
 - ✓b. #5 ✗
 - ✓c. #10 ✓
 - ✓d. #11 ✓
 - e. #13
 - f. #15B1, 2, (3) 4, & 6
 - g. #18B
 - h. #19A & 19C
 - i. #20D, 20F, 20H
 - j. #21D, #21E, #21M (pond detail)
2. Several important points were discussed at the pre-design meeting of June 8, 1981 (see enclosed copy). Special attention should be given to these items.
3. The City is now requiring that the owner of a parcel be required to construct maintain, and operate storm drainage facilities substantially in compliance with the approved drainage concepts. We urge that this covenant be completed at the earliest possible date.

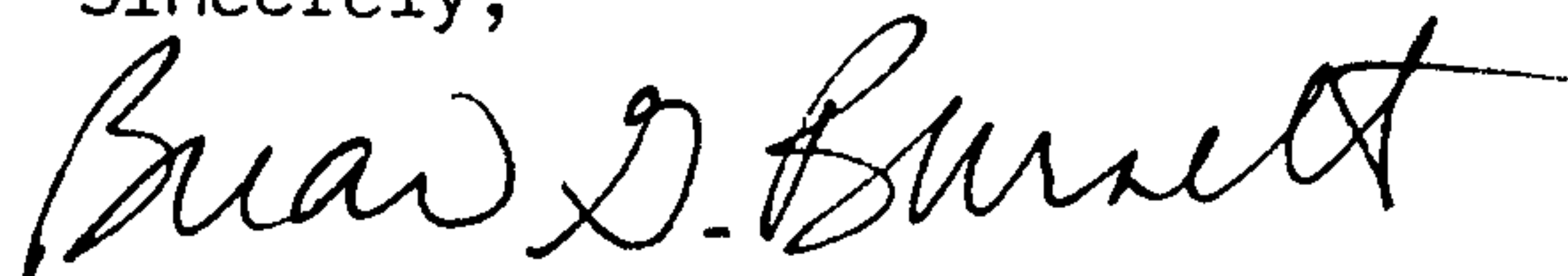
MUNICIPAL DEVELOPMENT DEPARTMENT

Letter to Pat Coonce
August 12, 1981
Page Two

4. For the proposed construction within the public right-of-way, please comply with Special Order No. 19.
5. We would appreciate receiving a completed copy of the Drainage Report Information Sheet contained in the drainage packet.

If I can be of further help on the above matters, please call.

Sincerely,

A handwritten signature in cursive script, reading "Brian G. Burnett". The signature is written in dark ink and is positioned above the printed name.

Brian G. Burnett
Civil Engineer/Hydrology

BGB:gc
8033A

cc f/Drainage Files
f/Reading



CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION



HYDROLOGY SECTION PROJ. NO. M-18 DATE: 6/8/81

PLANNING DIVISION NO. _____

M18-05

CONFERENCE RECAP

SUBJECT: KIRTLAND FEDERAL UNION
LOUISIANA & GIBSON

WHO

REPRESENTING

ATTENDANCE: C M EASTERLING
CHRIS CASTANEDA
DAN McDONALD
C A COONCE

CITY ENGINEERING
CITY ENGINEERING
DURABILT PRODUCTS INC.

FINDINGS: 1. PARTICULAR ATTENTION MUST BE PAID TO
OFF SITE FLOWS.
2. ALLEY GRADES ESTABLISHED BEFORE
FINAL APPROVAL
3. INTERNAL DRAINAGE FOR ENTIRE PARCEL
MAY REQUIRE SOME ADDITIONAL
DRAINAGE EASEMENTS
4. FOLLOW NOV '79 INTERIM DRAINAGE
GUIDE LINES

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: C M Easterling

SIGNED: Dan McDonald

TITLE: PRINCIPAL ASSIST. CITY ENGINEER

TITLE: PRESIDENT

DATE: 6/8/81

DATE: 6-8-81

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

January 12, 1988

Douglas W. Copeland, P.E.
Easterling & Associates, Inc.
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: REVISED "CONSTRUCTION WITHIN CITY RIGHT-OF-WAY" DESIGN
(M-18/D5) REVISION DATED JANUARY 8, 1988

Dear Mr. Copeland:

Based on the information provided on your resubmittal of January 8, 1988, revisions as indicated are acceptable.

Please be advised that a separate permit is required for construction within City right-of-way.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Becky Sandoval, Permits

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

8

ZONE ATLAS/DRAINAGE FILE NO. M18/D5

PROJECT TITLE: KIRTLAND FEDERAL CREDIT UNION

LEGAL DESCRIPTION: SEE ATTACHED COPY OF LEGAL DESCRIPTION

CITY ADDRESS: 6420 GIBSON BLVD. S.E.

ENGINEERING FIRM: Easterling & Assoc. Inc.

CONTACT: DOUG COPELAND

ADDRESS: 5643 Paradise Blvd. N.W.

PHONE: 898-8021

OWNER: KIRTLAND FED. CREDIT UNION

CONTACT: _____

ADDRESS: 6420 GIBSON BLVD. S.E.

PHONE: 262-1727

ARCHITECT: W.C. KRUGER & ASSOC.

CONTACT: EDWARD

ADDRESS: 4TH & GOLD S.W. SUITE 1100

PHONE: 842-8663

SURVEYOR: FRANKLIN WILSON - SOUTHWEST SURVEY

CONTACT: FRANKLIN WILSON

ADDRESS: 215 MARBLE N.W.

PHONE: 843-6646

CONTRACTOR: UNIVERSAL CONSTRUCTORS

CONTACT: GILBERT LUNA

ADDRESS: 3825 ACADEMY PARKWAY

PHONE: 884-0400

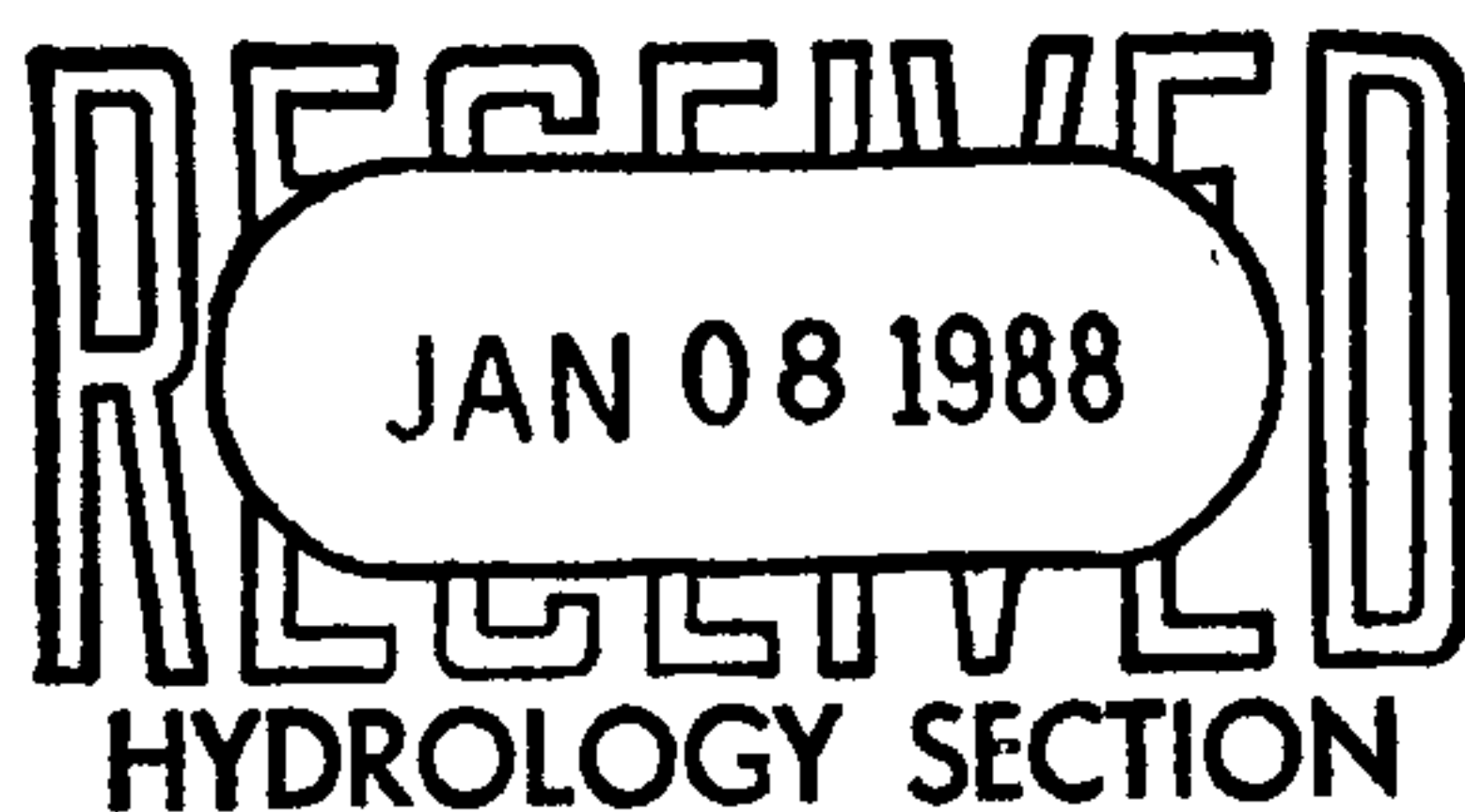
PRE-DESIGN MEETING:

☐ YES

☐ NO

☐ COPY OF CONFERENCE RECAP

SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ GRADING & DRAINAGE PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: JANUARY 8TH, 1988

BY:

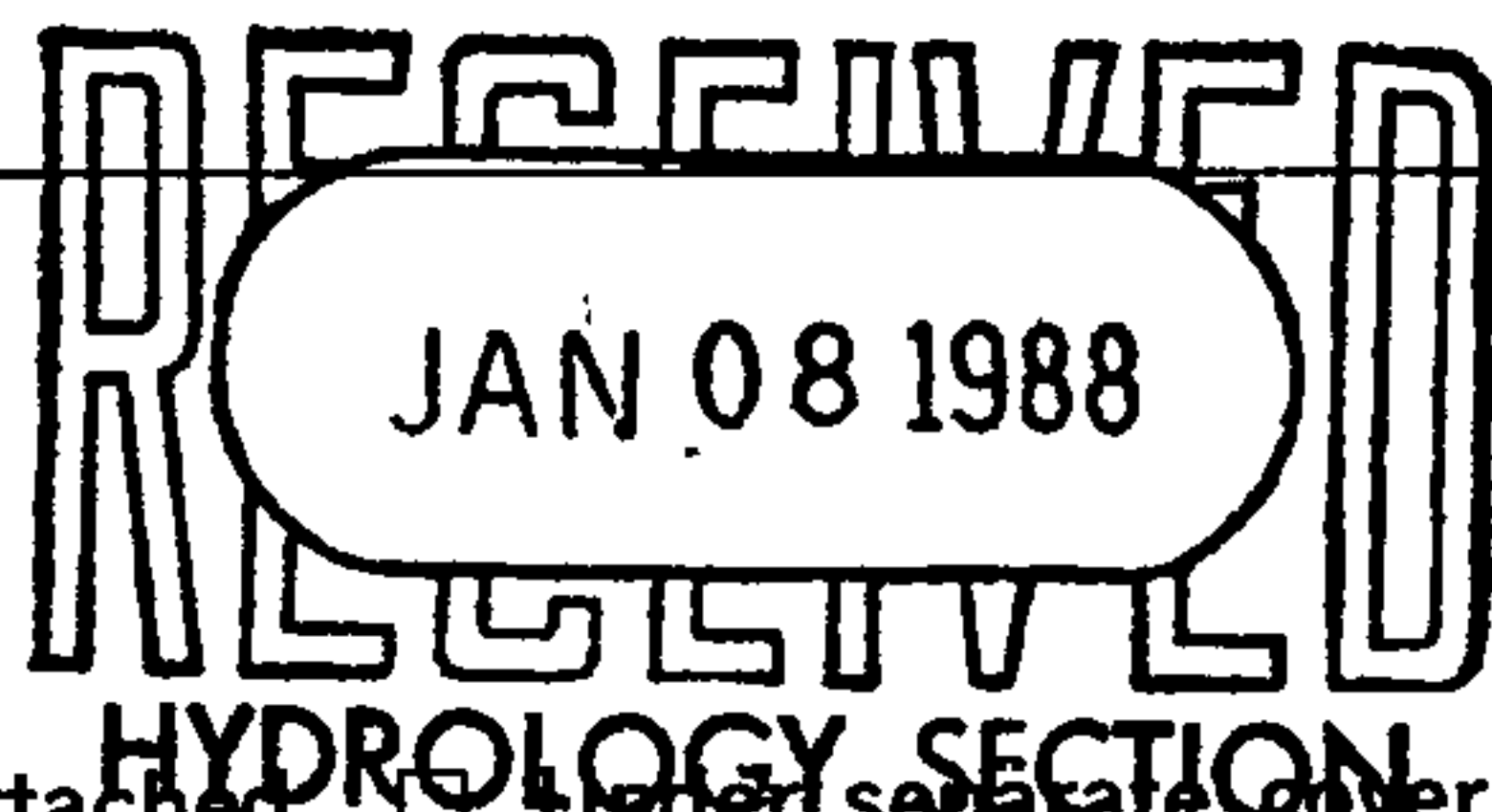
David L. Smith

EASTERLING & ASSOCIATES, INC.
5643 Paradise Blvd. NW
ALBUQUERQUE, NEW MEXICO 87114

LETTI OF TRANSMITTAL

(505) 898-8021

TO CITY OF ALBUQUERQUE



DATE	1-8-88	JOB NO.	702802.1
ATTENTION	ROGER GREEN		
RE	KIRTLAND FEDERAL CREDIT UNION ADDENDUM TO S.O. 19. "DRAIN LINE CONNECTION TO CATCHBASIN"		

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

- | | | | | |
|---|--|--------------------------------|----------------------------------|---|
| ☐ Shop drawings | ☒ Prints | ☐ Plans | ☐ Samples | ☐ Specifications |
| ☐ Copy of letter | ☐ Change order | ☐ _____ | | |

COPIES	DATE	NO.	DESCRIPTION
2		1 OF 2	
2		2 OF 2	

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| ☒ For approval | ☐ Approved as submitted | ☐ Resubmit _____ copies for approval |
| ☐ For your use | ☐ Approved as noted | ☐ Submit _____ copies for distribution |
| ☐ As requested | ☐ Returned for corrections | ☐ Return _____ corrected prints |
| ☐ For review and comment | ☐ _____ | |
| ☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US | | |

REMARKS
DRAIN LINE WAS CHANGED FROM 1- 12" PVC PIPE
TO TWO 8" P.V.C. PIPE'S DUE TO AN EXISTING
GAS LINE & WATER LINE.

COPY TO Barbara Huang 1/8/88

SIGNED:

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

May 11, 1987

Douglas W. Copeland, P.E.
Easterling & Associates, Inc.
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: GRADING & DRAINAGE PLAN SUBMITTAL OF KIRTLAND FEDERAL CREDIT
UNION - RECEIVED APRIL 24, 1987 FOR BUILDING PERMIT APPROVAL
(M-18/D5)

Dear Sir:

The submittal referred to above, Sheets 1 and 2, dated March 1987, and identified as Job No. 702802, is approved for Building Permit sign-off by Hydrology. These approved drawings must be included with the construction sets routed for permit sign-off. Sheets 1 and 2 are also approved for construction of the private storm drain facilities within the public right-of-way. The contractor is required to obtain a separate excavation/construction permit for these improvements.

Prior to approval of the Certificate of Occupancy by the Hydrology Section, the Finish Floor Elevation will require certification by a Registered Professional Engineer, and the connection to existing drainage, Detail A2, will require City inspection and field sign-off.

If you have any questions, please call me at 768-2650.

Cordially,

Stuart Reeder

G. Stuart Reeder, P.E.
C.E./Hydrology Section

cc: John Bell

GSR/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

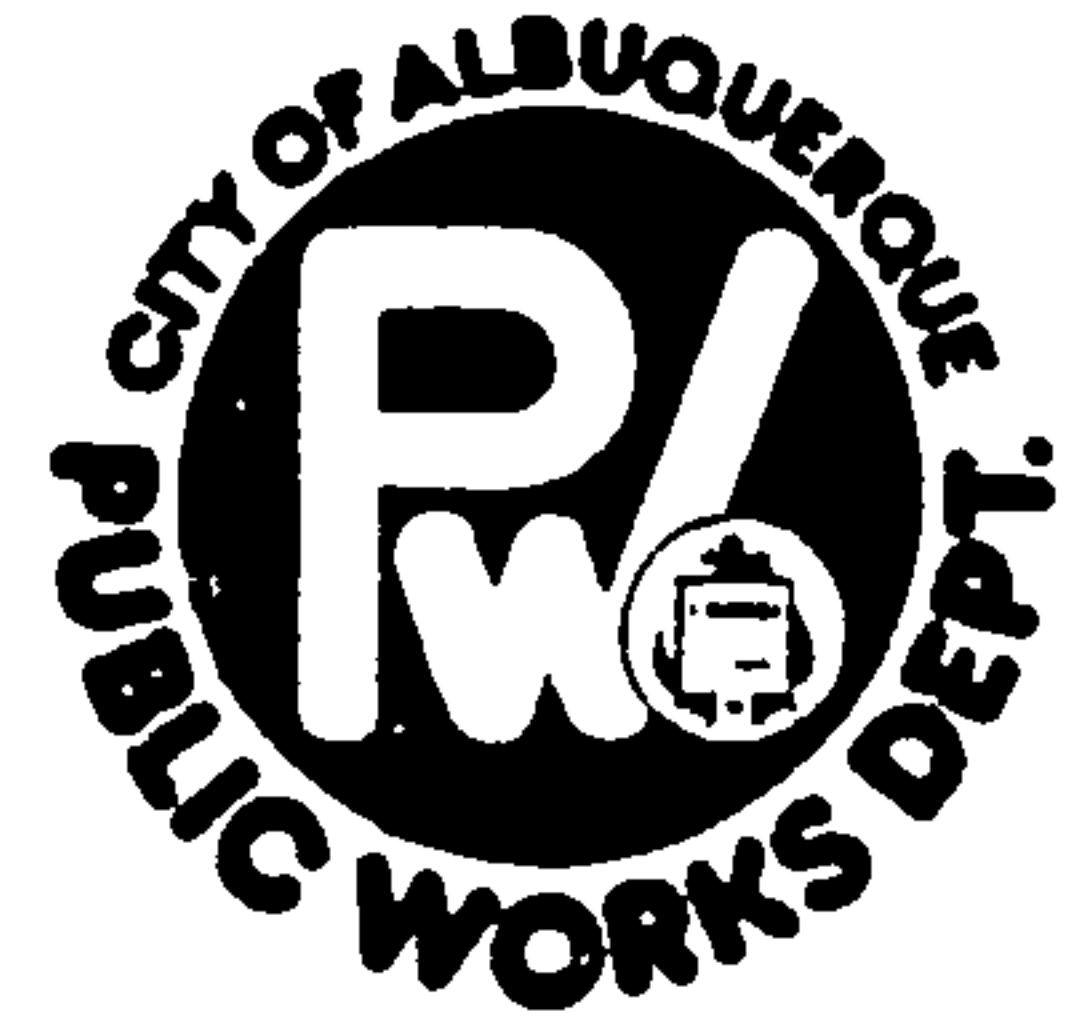
Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY

MEMORANDUM:

May 12, 1987



ENGINEERING GROUP

TO: Tom Aragon, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD 

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
KIRTLAND FEDERAL CREDIT UNION (M-18/D5)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

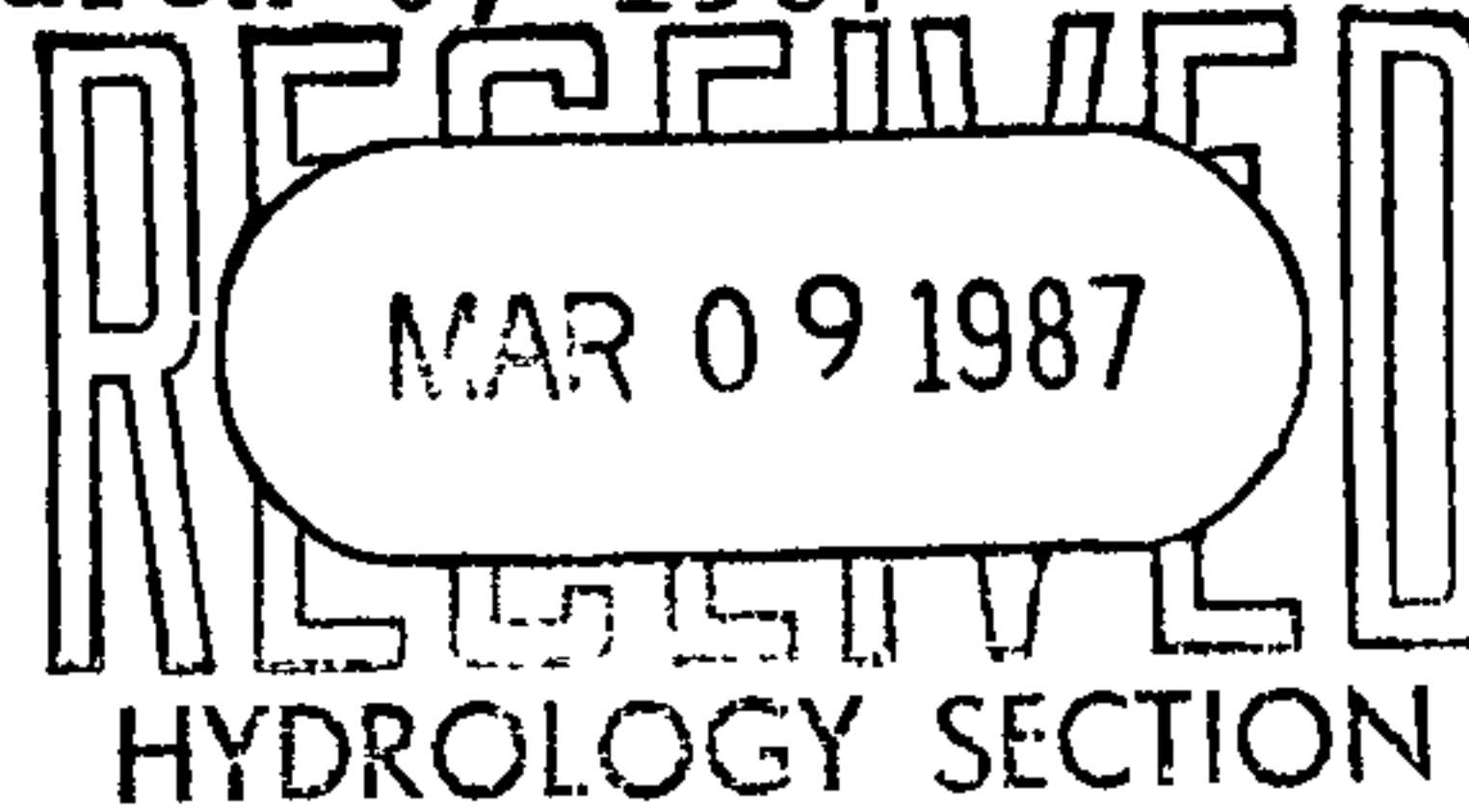
FJA/bsj

Attachment

Easterling & Associates, Inc.

5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114
(505) 898-8021

March 6, 1987



Mr. Roger Green
City Hydrology/Design
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: KIRTLAND FEDERAL CREDIT UNION -- GRADING AND DRAINAGE PLAN,
FILE DESIGNATION M-18/D5**

Dear Roger:

This letter shall serve as formal request for a decision from City Hydrology to allow/disallow free discharge from the 4.679 acres of property at the southwest corner of Gibson Boulevard and Louisiana Boulevard. The enclosed report, calculations, as-built drawings, and excerpts from previous studies should help you reach an informed decision. The Owner of the property is very much in favor of being allowed free discharge into Gibson Boulevard. If the information presented to you herein is not adequate for you to come to the same conclusion, please contact me so that additional analysis or information may be provided to you.

I will be happy to schedule a conference with you at your earliest convenience to discuss this matter. Please do not hesitate to contact me should you have any questions.

Sincerely,

Douglas W. Copeland, P.E.
Project Engineer

DWC:ch
Job No. 702802

Enclosures

EASTERLING & ASSOCIATES, INC.

5643 Paradise Blvd. NW
ALBUQUERQUE, NEW MEXICO 87114

(505) 898-8021

TO City of Albuquerque
Hydrology

For delivery

LETTER OF TRANSMITTAL

DATE <u>March 9, 1987</u>	JOB NO. <u>702802</u>
ATTENTION <u>Mr. Roger Green</u>	
RE <u>Kirtland Federal Credit Union</u>	
RECEIVED MAR 09 1987 HYDROLOGY SECTION	

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☒ Copy of letter ☐ Change order ☒ Attachments

COPIES	DATE	NO.	DESCRIPTION
1	3/6/87		Letter re: Grading and drainage plans, file designation M-18/D5 with attachments
1	6/84	1867.11	Design Analysis Report Sections I-IV, Final Design Analysis Sections V-VI, Kirtland Air Force Base Detention Basins
1	6/84	1867.11	Appendix "A", Design Analysis Report Sections I-IV, Final Analysis Sections V-VI, Kirtland Air Force Base ^{Design} Detention Basins

THESE ARE TRANSMITTED as checked below:

- ☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☒ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO

R Green

SIGNED:

Doug Copeland P.E.

by C. Henderson

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

March 17, 1987

Douglas W. Copeland, P.E.
Easterling & Associates
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: REQUEST FOR FREE DISCHARGE ON KIRTLAND FEDERAL CREDIT UNION
S.W. CORNER OF GIBSON & LOUISIANA BLVD., RECEIVED MARCH 9, 1987
(M-18/D5)

Dear Doug:

Based upon your submittal dated March 6, 1987, free discharge is approved for the 4.7 acre site of Kirtland Federal Credit Union. The Final Grading and Drainage Plan for Building Permit approval can assume free discharge to Gibson.

If you have any questions, call me at 768-2650.

Cordially

for Roger A. Green, P.E.
C.E./Hydrology Section

RAG/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

EASTERLING & ASSOCIATES, INC.

5643 Paradise Blvd. NW
ALBUQUERQUE, NEW MEXICO 87114

(505) 898-8021

TO

CITY HYDROLOGY

LETTER OF TRANSMITTAL

DATE	4/23/87	JOB NO.	702802
ATTENTION	BARBARA JUNEZ		
RE	KIRKLAND C.U.		
	GRADING & DRAINAGE		
	PLAN		

WE ARE SENDING YOU ☐ Attached ☒ Under separate cover via

☐ Shop drawings

☒ Prints

☐ Plans

☐ Samples

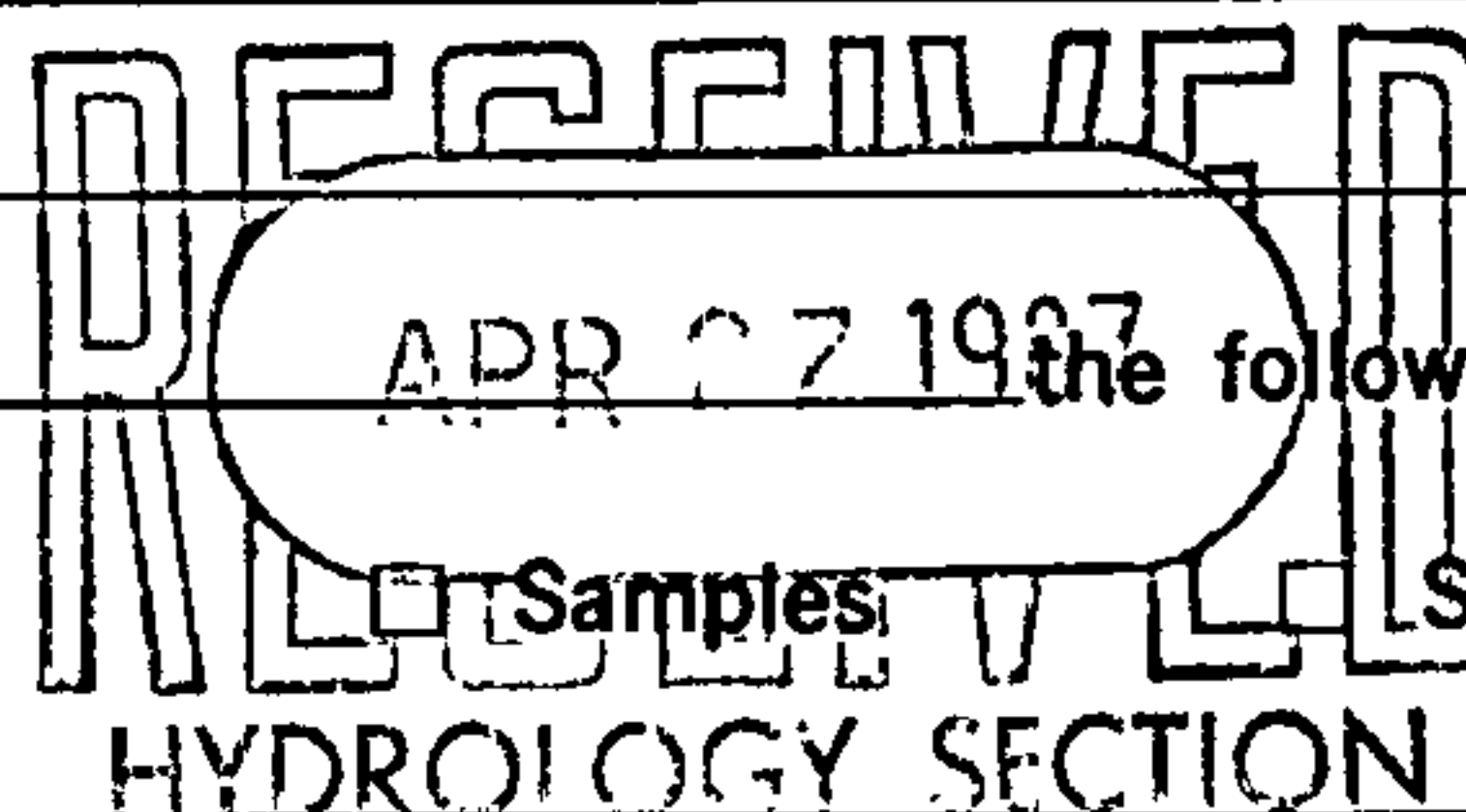
☐ Specifications

☐ Copy of letter

☐ Change order

☐

HYDROLOGY SECTION



COPIES	DATE	NO.	DESCRIPTION
2	4/23/87	1-3	KIRKLAND C.U. GRADING & DRAINAGE PLAN
1	4/24/87	1	DRAINAGE INFO SHEET
1	3/4/87	1	CONFERENCE RECAP
1	4/24/87	1	CHECKLIST

THESE ARE TRANSMITTED as checked below:

☒ For approval

☐ Approved as submitted

☐ Resubmit _____ copies for approval

☐ For your use

☐ Approved as noted

☐ Submit _____ copies for distribution

☐ As requested

☐ Returned for corrections

☐ Return _____ corrected prints

☐ For review and comment

☐ _____

☐ FOR BIDS DUE _____ 19 _____

☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS

PLEASE LOG PLAN IN AND GIVE TO ONE OF THE FELLOWS FOR REVIEW -

HAVE A NICE DAY

COPY TO

[Signature]
4/27/87

SIGNED:

[Signature]

DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND C.U. GRADING & ZONE ATLAS/DRNG. FILE #: M-18/D5

LEGAL DESCRIPTION: S.W. Corner ^{DRAINAGE} Intersection Gibson Blvd. & Louisiana Blvd.

CITY ADDRESS: 6420 Gibson Boulevard, S.E.

ENGINEERING FIRM: Easterling & Associates, Inc. CONTACT: Douglas W. Copeland

ADDRESS: 5643 Paradise Blvd., NW, 87114 PHONE: 898-8021

OWNER: Kirtland Federal Credit Union CONTACT: John W. Bell
Kirtland AFB - West

ADDRESS: Albuquerque, NM 87117 PHONE: 243-4431

ARCHITECT: W. C. Kruger & Associates CONTACT: Marion Smith

ADDRESS: 4th & Gold, S.W., Suite 1100 PHONE: 842-8663

SURVEYOR: Franklin Wilson - Southwest Survey CONTACT: Franklin Wilson

ADDRESS: 215 Marble, NW PHONE: 843-6646

CONTRACTOR: ? CONTACT: _____

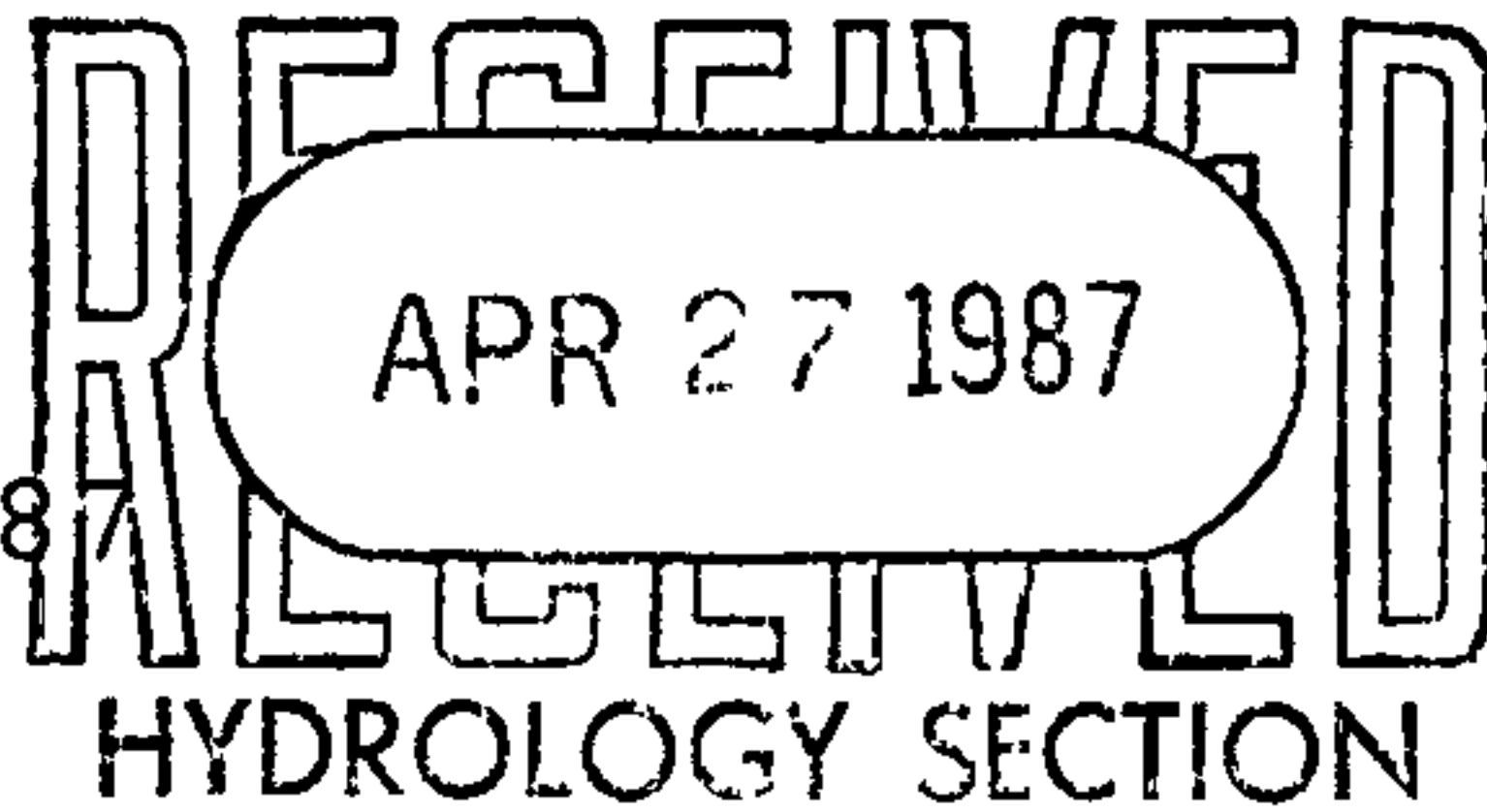
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES Held 3/4/87

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: APRIL 24, 1987

BY: DOUGLAS W. COPELAND