

PROJECT BENCHMARK

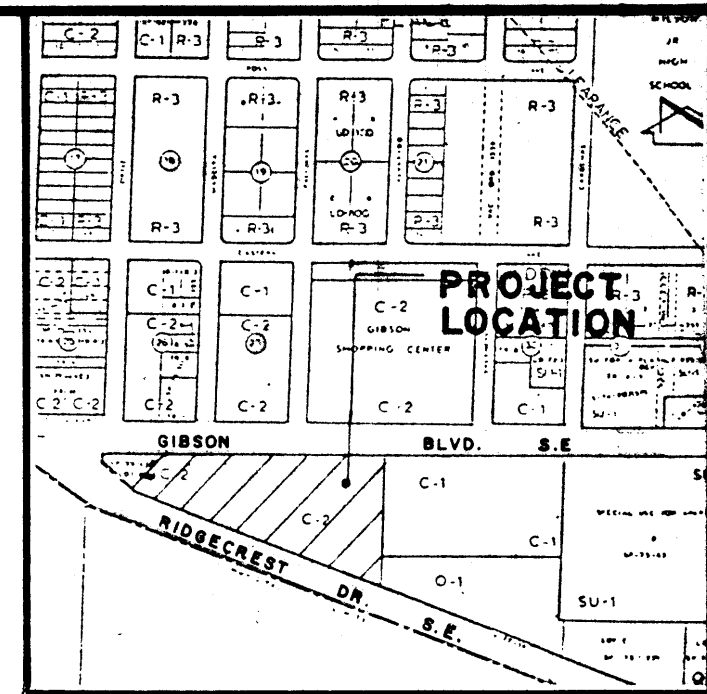
A SQUARE, Q, CHISLED ON TOP OF THE CONCRETE CURB LOCATED ON THE NORTHSIDE OF GIBSON BLVD. S.E. OPPOSITE BATAAN MEMORIAL HOSPITAL.
ELEVATION = 5305.60 ft. (M.S.L.D.)

EROSION CONTROL MEASURES

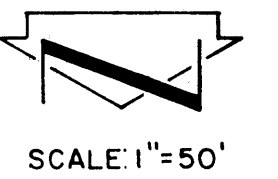
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

CONSTRUCTION NOTES:

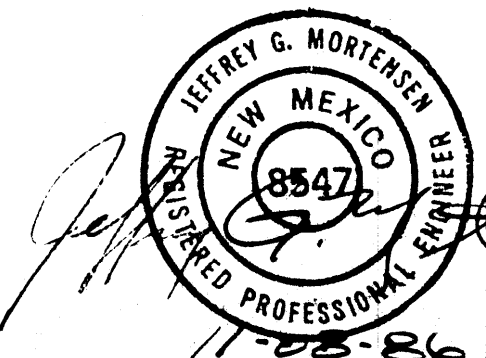
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



VICINITY MAP
SCALE: 1" = 800'



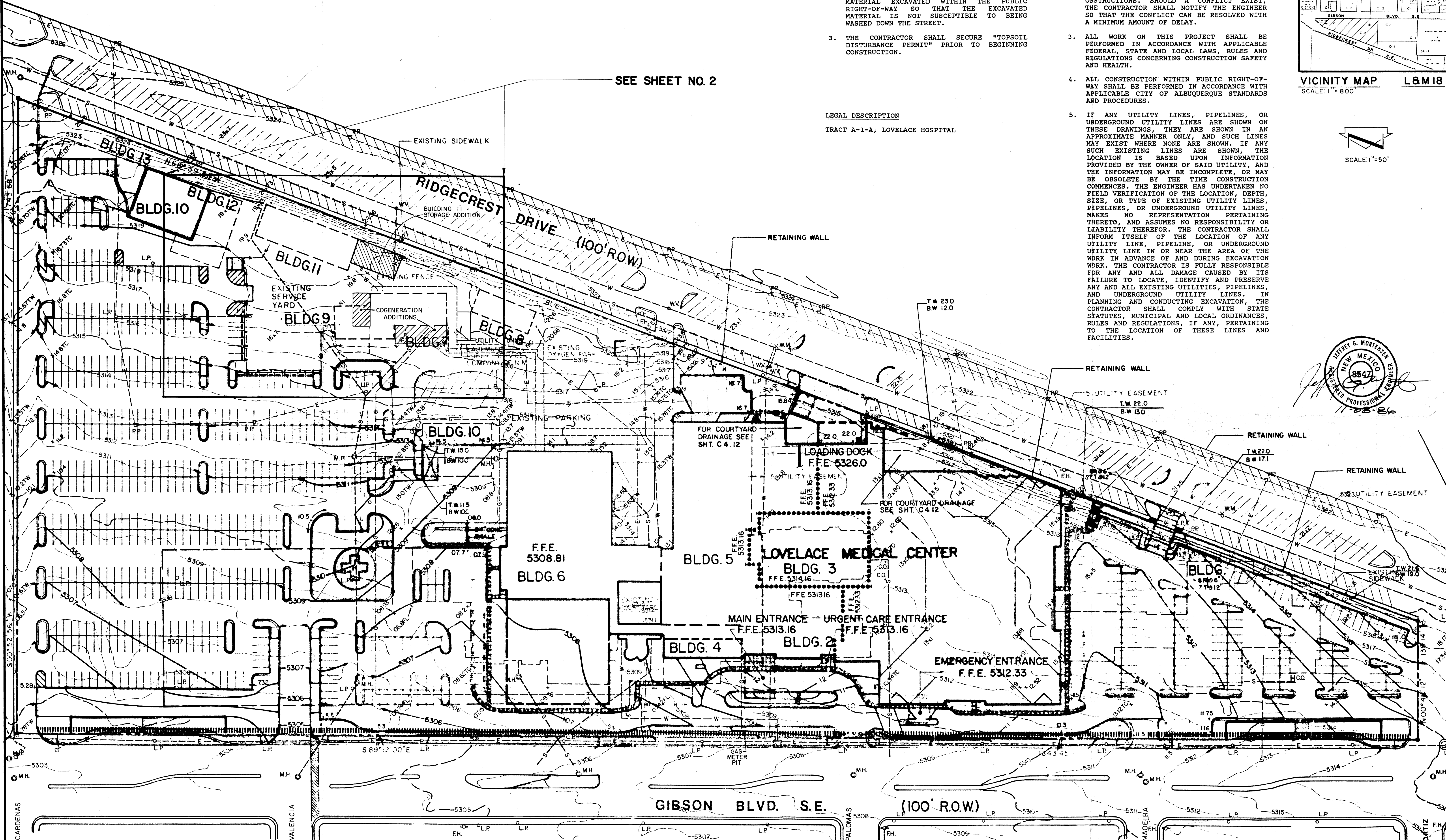
SCALE: 1" = 50'



SEE SHEET NO. 2

LEGAL DESCRIPTION

TRACT A-1-A, LOVELACE HOSPITAL

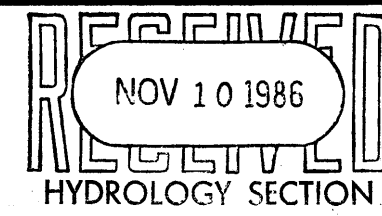


NO.	DATE	BY	REVISIONS

DESIGNED BY: J.G.M.	JOB NO. 50428
DRAWN BY: T.M.A.	DATE 11-86
APPROVED: J.G.M.	

GRADING & DRAINAGE PLAN

BUILDING II STORAGE ADDITION, LOVELACE MEDICAL CENTER



FILE NO.
SHEET 1 OF 2

LEGEND

+ EXISTING SPOT ELEVATION
 * PROPOSED SPOT ELEVATION
 --- 5630 --- EXISTING CONTOUR
 --- 5630 --- PROPOSED CONTOUR
 - - - - - DRAINAGE BASIN BOUNDARY

DRAINAGE PLAN

The following items concerning the Lovelace Medical Center Building Eleven Storage Addition Drainage Plan are contained hereon:

1. Vicinity Map
2. Location Map
3. Grading Plan
4. Calculations

As shown by the Vicinity Map, this site is located on the south side of Gibson Boulevard S.E. at the southeast corner of its intersection with Ridgcrest Drive S.E. At present, the site is developed as the Lovelace Medical Center.

As shown by Panel 36 of the National Flood Insurance Program Flood Boundary and Floodway Maps for the City of Albuquerque, New Mexico, this site does not lie within a designated Flood Hazard Zone. The site does drain to a designated Flood Hazard Zone within Gibson Boulevard S.E. and a portion of the neighborhood which lies to the north. System 206-02A, as defined by the City of Albuquerque Master Drainage Study, Plate L-18, is presently under construction. This improvement will eliminate flooding on Gibson Boulevard S.E. below the Kirtland Detention Basin and on the streets presently flooded which lie to the north. With this in mind, the free discharge of runoff from this site is appropriate, especially in view of the insignificant increase in runoff anticipated by the minor improvements proposed.

The proposed improvements consist of a storage building addition to the existing Building Eleven of the Lovelace Medical Center. A minor amount of regrading of this area is required, however, the extent of the improvements are limited. In addition, there is no paving proposed in conjunction with this project. Additions to the existing Building Eleven were previously approved under Hydrology File No. M-18/D7. At present, this portion of the site slopes from south to north and then drains across the existing parking lot to Gibson Boulevard S.E. This drainage pattern will be maintained by this project. In addition, there are no offsite flows affecting this site. Vacated Ridgcrest Drive S.E. lies to the south of the project. As shown by the overall location map, Ridgcrest Drive drains in a northwesterly direction to Gibson Boulevard S.E. and thereby conveys those flows around this portion of the site. Ridgcrest Drive S.E. is presently utilized as a parking lot for the Lovelace Medical Center.

The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Rational Method has been used to determine the peak rate of runoff from the study area and the SCS Method has been used to determine the volume of runoff generated by the study area. Both Methods have been used in accordance with the City of Albuquerque Development Process Manual, Volume II, along with the Mayor's Emergency Rule dated January 14, 1986. As shown by these calculations, the proposed improvements have an insignificant affect on the overall runoff generated by this site.

CALCULATIONS

Ground Cover Information

From SCS Bernalillo County Soil Survey, Plate 31: WaB - Wink Fine Sandy Loam
 Hydrologic Soil Group: B
 Existing Pervious CN = 82 (DPM Plate 22.2 C-2; "Dirt")
 Developed Pervious CN = 82 (DPM Plate 22.2 C-2; "Dirt")

Time of Concentration/Time to Peak

$$T_c = 0.0078 L^{0.77} / S^{0.385} \text{ (Kirpich Equation)}$$

$$T_p = T_c = 10 \text{ min.}$$

Point Rainfall

$$P_6 = 2.34 \text{ in. (DPM Plate 22.2 D-1)}$$

Rational Method

$$\text{Discharge: } Q = C i A$$

where C varies

$$i = P_6 (6.84) T_c^{-0.51} = 4.95 \text{ in/hr}$$

$$P_6 = 2.34 \text{ in (DPM Plate 22.2D-1)}$$

$$T_c = 10 \text{ min (minimum)}$$

$$A = \text{area, acres}$$

SCS Method

$$\text{Volume: } V = 3630 (\text{DRO}) A$$

$$\text{Where DRO} = \text{Direct runoff in inches}$$

$$A = \text{area, acres}$$

Existing Condition

Atotal = 34,800 sf = 0.80 Ac
 Roof area = 7850 sf (0.23)
 Unpaved area = 26,950 sf (0.77)
 $C = 0.52$ (Weighted average per Emergency Rule, 1/14/86)
 $Q_{100} = C i A = 0.52 (4.95) (0.80) = 2.1 \text{ cfs}$
 % impervious = 23%
 Composite CN = 85 (DPM Plate 22.2 C-3)
 DRO = 1.1 in (DPM Plate 22.2 C-4)
 V100 = 3630 (DRO) A = 3190 cf

Developed Condition

Atotal = 34,800 sf = 0.80 Ac
 Roof area = 9500 sf (0.27)
 Unpaved area = 25,300 sf (0.73)
 $C = 0.54$ (Weighted average per Emergency Rule, 1/14/86)
 $Q_{100} = C i A = 0.54 (4.95) (0.80) = 2.1 \text{ cfs}$
 % impervious = 27%
 Composite CN = 86 (DPM Plate 22.2 C-3)
 DRO = 1.15 in (DPM Plate 22.2 C-4)
 V100 = 3630 (DRO) A = 3340 cf

Comparison

$$\Delta Q_{100} = 2.1 - 2.1 = 0 \text{ cfs (negligible change)}$$

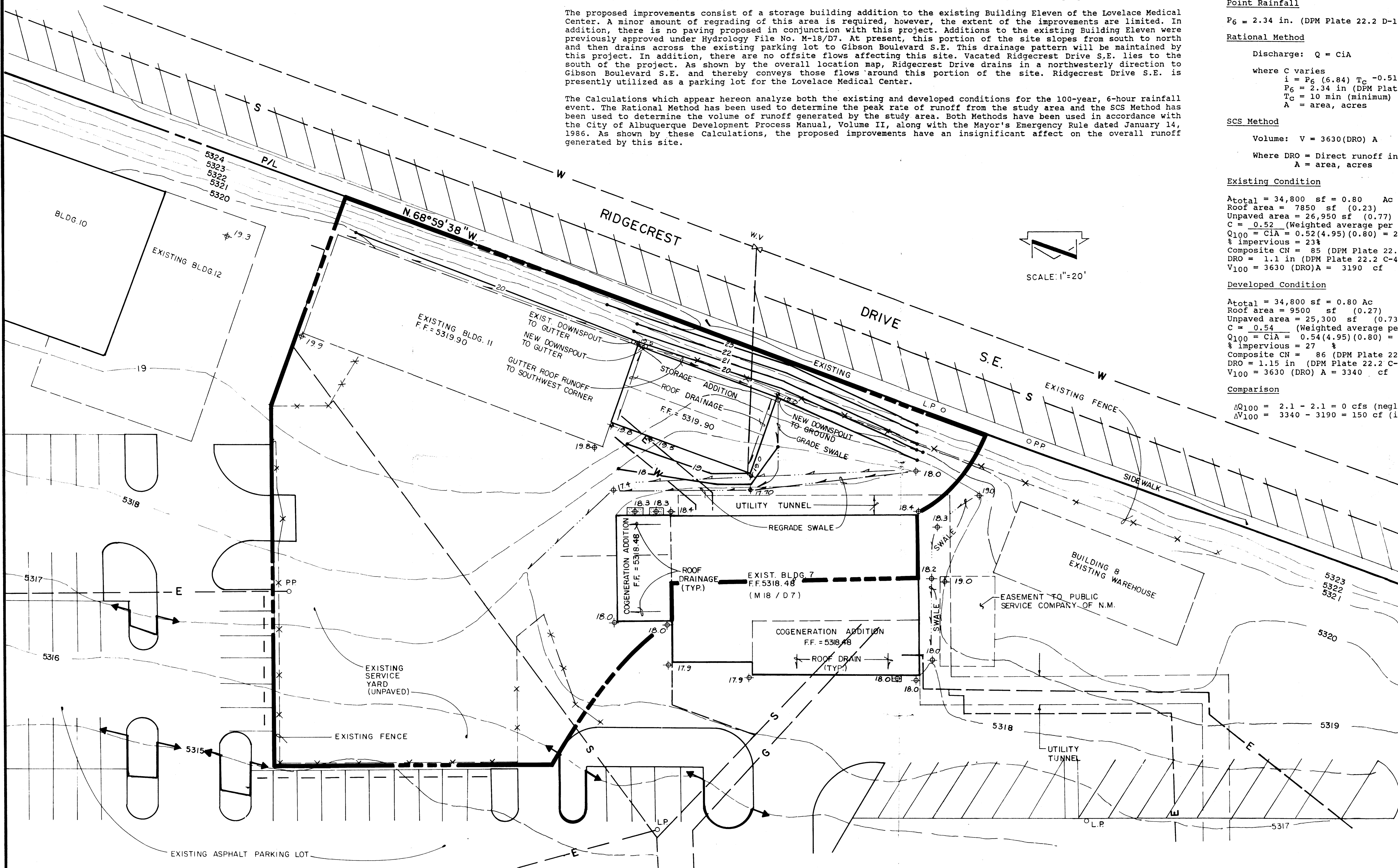
$$\Delta V_{100} = 3340 - 3190 = 150 \text{ cf (increase)}$$

CONSTRUCTION NOTES:

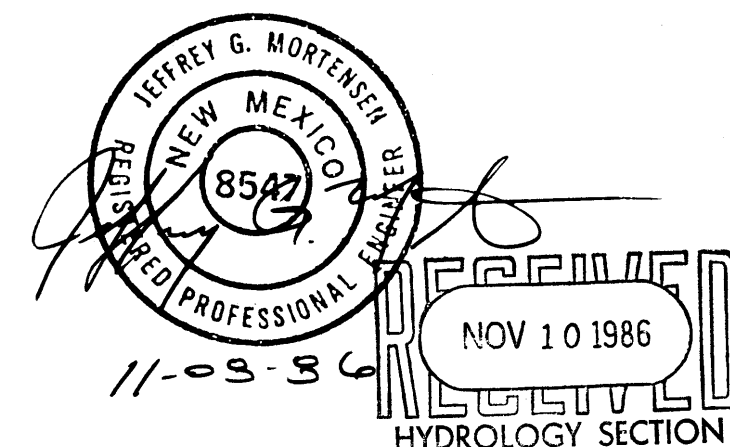
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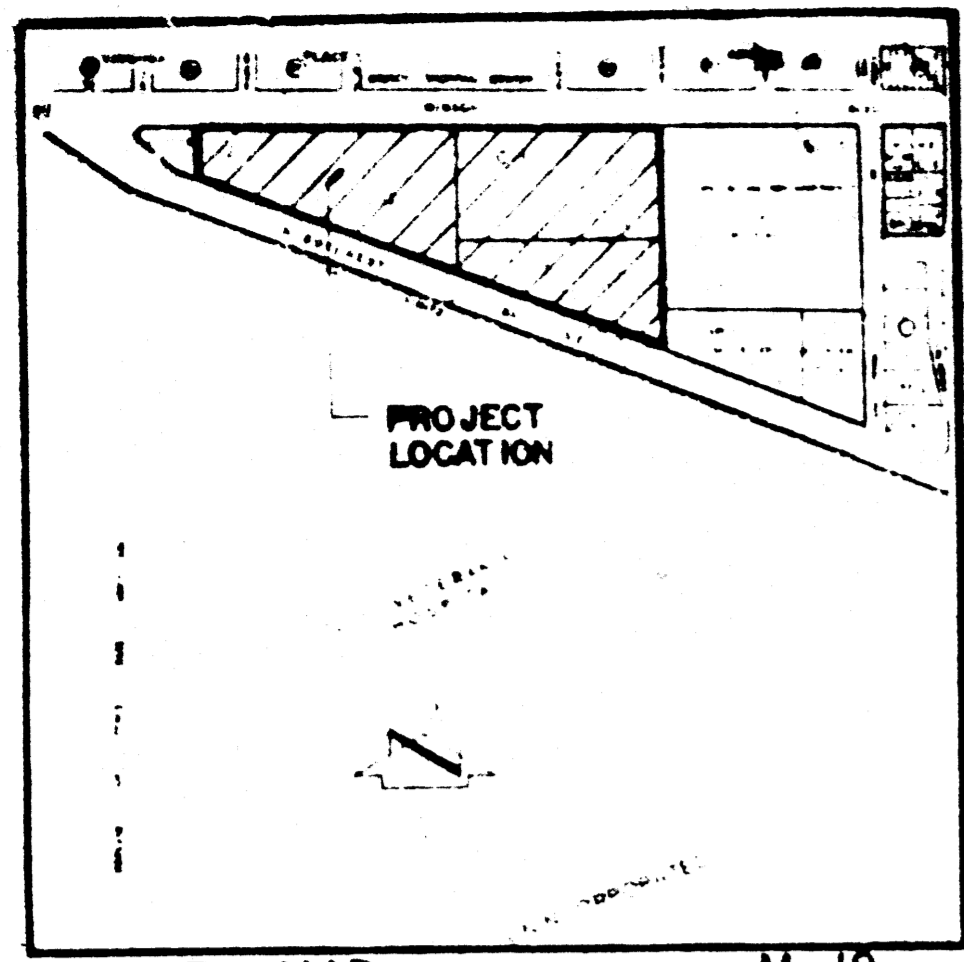
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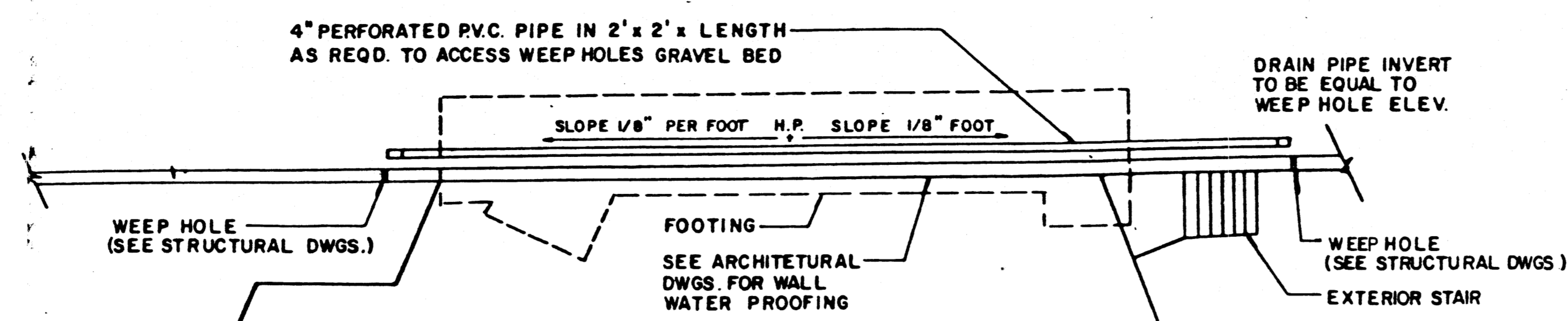


SCALE: 1"=20'

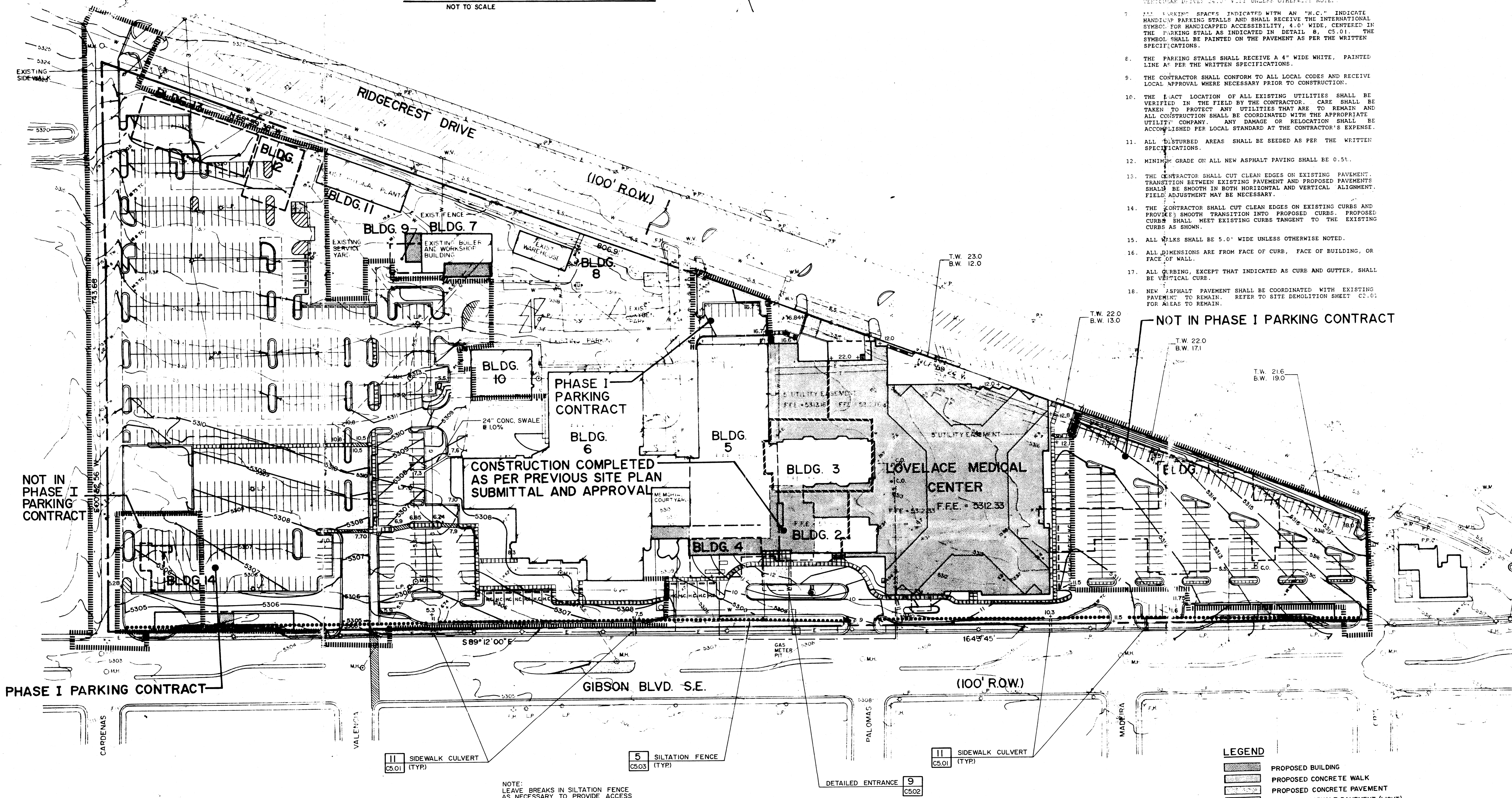




VICINITY MAP M-18



RETAINING WALL FOOTING DRAIN
NOT TO SCALE



BUILDING CODE

- 1 CLINIC
- 2 RADIATION THERAPY CENTER
- 3 LASSETTER MEMORIAL LABORATORY
- 4 OBSTETRICS AND GYNECOLOGY
- 5 W.R. LOVE
- 6 BATAAN HOSPITAL
- 7 BOILER
- 8 WAREHOUSE
- 9 CARPENTER AND PAINT SHOP
- 10 PURCHASING
- 11 PHYSICAL PLANT
- 12 TRAILER/TEMPORARY OFFICE
- 13 TRAILER/TEMPORARY OFFICE
- 14 M.R.I. CLINIC

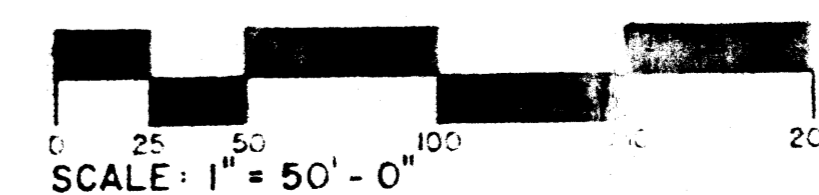
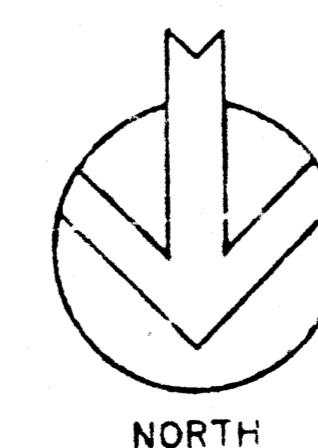
TYPICAL NOTES

1. BASE INFORMATION IS A COPY OF THE CONSTRUCTION DRAWINGS PREPARED BY KEVIN TUCKER AND ASSOCIATES, INC. FOR LOVELAKE MEDICAL CENTER DATED MARCH 5, 1986. GOLD TURNER GROUP, P.C., ANY OF THEIR CONSULTANTS, AND THE OWNER SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION. PHYSICAL FEATURES TO BE DEMOLISHED AS INDICATED ON SHEET C2.01 HAVE BEEN REMOVED FROM THE BASE SURVEY FOR CLARITY.
2. THE BUILDING LAYOUT SHALL BE BASED ON THE ARCHITECTURAL DRAWINGS AND COORDINATED WITH THE ARCHITECT AND EXISTING STRUCTURE TO REMAIN.
3. THE SITE LAYOUT SHALL BE BASED ON CONTROL POINTS AS NOTED. MINOR ADJUSTMENTS TO THE LAYOUT MAY BE NECESSARY IN THE FIELD TO MAINTAIN THE EXISTING TREES AND ACHIEVE THE DESIRED ALIGNMENT WITH EXISTING FEATURES TO REMAIN.
4. THE CONTRACTOR SHALL CHECK ALL GRADES AND FINAL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES TO THE OWNER IMMEDIATELY FOR A DECISION.
5. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS AS PER THE WRITTEN SPECIFICATION TO MAINTAIN THE EXISTING TREES AS INDICATED.
6. ALL PARKING SPACES ARE 9.0' X 19.0' TYPICAL, WITH VERTICAL DRIVEWAYS 14.0' WIDE UNLESS OTHERWISE NOTED.
7. ALL PARKING SPACES INDICATED WITH AN "H.C." INDICATE HANDICAPPED PARKING SPACES AND SHALL RECEIVE THE INTERNATIONAL SYMBOL FOR HANDICAPPED ACCESSIBILITY, 4.0' WIDE, CENTERED IN THE PARKING SPOT AS INDICATED IN DETAIL 8, C5.01. THE SYMBOL SHALL BE PAINTED ON THE PAVEMENT AS PER THE WRITTEN SPECIFICATIONS.
8. THE PARKING STALLS SHALL RECEIVE A 4" WIDE WHITE, PAINTED LINE AS PER THE WRITTEN SPECIFICATIONS.
9. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE LOCAL APPROVAL WHERE NECESSARY PRIOR TO CONSTRUCTION.
10. THE EXISTING LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES THAT ARE TO REMAIN AND ALL CONSTRUCTION SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. ANY DAMAGE OR RELOCATION SHALL BE ACCOMPLISHED PER LOCAL STANDARD AT THE CONTRACTOR'S EXPENSE.
11. ALL DISTURBED AREAS SHALL BE SEEDED AS PER THE WRITTEN SPECIFICATIONS.
12. MINIMUM GRADE ON ALL NEW ASPHALT PAVING SHALL BE 0.5%.
13. THE CONTRACTOR SHALL CUT CLEAN EDGES ON EXISTING PAVEMENT. TRANSITION BETWEEN EXISTING PAVEMENT AND PROPOSED PAVEMENTS SHALL BE SMOOTH IN BOTH HORIZONTAL AND VERTICAL ALIGNMENT. FIELD ADJUSTMENT MAY BE NECESSARY.
14. THE CONTRACTOR SHALL CUT CLEAN EDGES ON EXISTING CURBS AND PROVIDE SMOOTH TRANSITION INTO PROPOSED CURBS. PROPOSED CURBS SHALL MEET EXISTING CURBS TANGENT TO THE EXISTING CURBS AS SHOWN.
15. ALL WALKS SHALL BE 5.0' WIDE UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, OR FACE OF WALL.
17. ALL CURBING, EXCEPT THAT INDICATED AS CURB AND GUTTER, SHALL BE VERTICAL CURB.
18. NEW ASPHALT PAVEMENT SHALL BE COORDINATED WITH EXISTING PAVEMENT TO REMAIN. REFER TO SITE DEMOLITION SHEET C2.01 FOR AREAS TO REMAIN.

NOT IN PHASE I PARKING CONTRACT

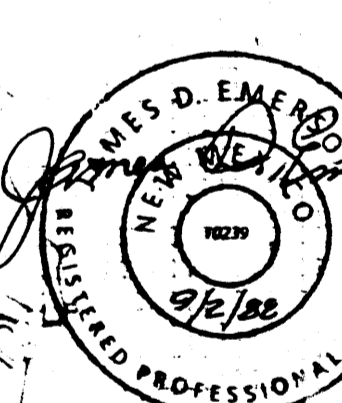
LEGEND

- PROPOSED BUILDING
- PROPOSED CONCRETE WALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT (LIGHT)
- CENTER LINE
- PROPERTY LINE
- PROPOSED CONTOUR LINE
- W.M. WATER METER
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- GAS LINE
- WATER MAIN
- OVERHEAD ELECTRIC
- SANITARY SEWER
- STORM SEWER
- MANHOLE - STORM SEWER
- MANHOLE - SANITARY SEWER
- EXISTING BUILDING
- LIGHT POLE
- PROPOSED SPOT ELEV
- EXISTING SPOT ELEV
- CONTRACT LIMIT LINE



SITE GRADING AND DRAINAGE

LOVELACE MEDICAL CENTER
Albuquerque, New Mexico



GOLD TURNER GROUP, P.C.
architects-planners
1801 West 2nd Ave.
Albuquerque, NM 87102
NOV 04 1988
U.S.C. PLAN CHECK SECTION