



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 23, 2003

Joe Towner, P.E.
Towner Engineering Services
8205 Spain NE Suite 205
Albuquerque, New Mexico 87109

RE: FAMILY DOLLAR STORE- GIBSON BLVD SE (M-18/D10)
(5950 Gibson Blvd SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 5/15/2003
ENGINEERS CERTIFICATION DATED 5/19/2003

Dear Mr. Towner:

Based upon the information provided in your Engineers Certification submittal dated 5/19/2003, the above referenced site is approved for a Permanent Certificate of Occupancy.

Please Note: In future submittals for Engineer Certifications, the Certification must be included on the actual grading and drainage plan, and not on a separate sheet. Also, finished floor elevations must be included in the asbuilt elevations.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Ser. Division

C: Certificate of Occupancy Clerk, COA
approval file
✓ drainage file

TES

Towner Engineering Services, Inc.

DRAINAGE CERT W/VERIFICATION BY ENGINEER OF RECORD**5/15/03****DRAINAGE CERIFICATION**

I, Joe Towner, NMPE 10592, of the firm TES, herby certify that the project named Family Dollar store at 5950 Gibson SE, Albuquerque, NM has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 02/27/03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The recorded information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



ok for Hydro . C.O.
However, Trans needs Cert⁺
too

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 7-30-02)

M-18/D10

PROJECT TITLE: Family Dollar - Gibson ZONE MAP/DRG. FILE #: _____
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 5950 Gibson St

ENGINEERING FIRM: TES
 ADDRESS: 8205 SPAIN NE #205
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: Aoe Dwyer
 PHONE: 505-1930
 ZIP CODE: 87109

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: Express Development
 ADDRESS: 1524 Subank NE #5
 CITY, STATE: Albuquerque, NM

CONTACT: Howard McCall
 PHONE: 379-4333
 ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER _____

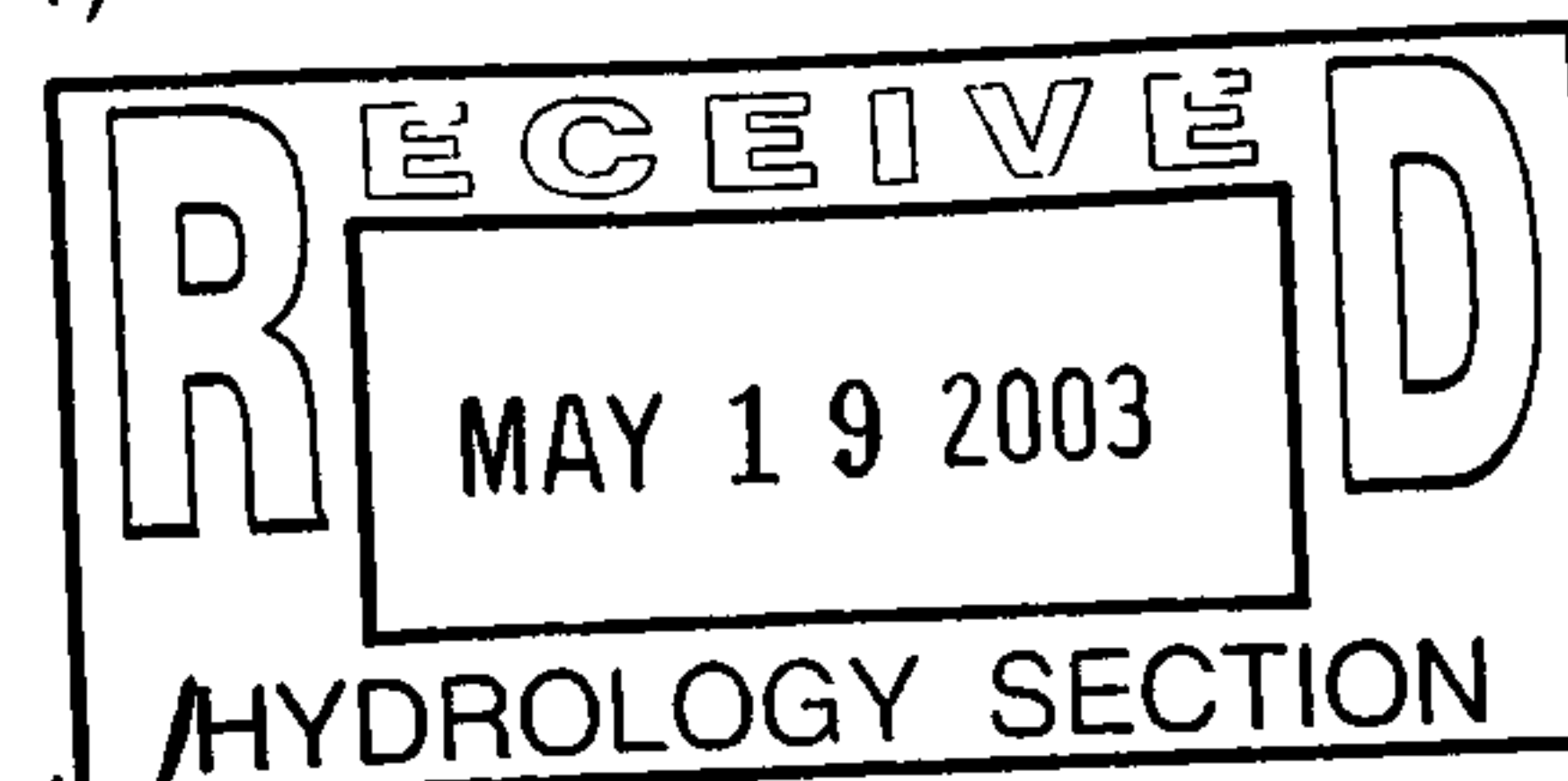
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/16/03 BY: Karen Darni



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec Committee revisions of June 5, 2002, July 10, 2002

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-18/D10

PROJECT TITLE: FAMILY DOLLAR STORE - GIBSON ZONE MAP/DRG. FILE #: M-18
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 90, H-2-A-1 Siest Hills #2, Bernalillo County, NM
CITY ADDRESS: 5950 GIBSON AVE SE 87104

ENGINEERING FIRM: TOWNER ENGINEERING SERVICES CONTACT: JOE TOWNER
ADDRESS: 8205 SPAIN NE SUITE 205 PHONE: 828 1930
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: FAMILY DOLLAR STORES CONTACT: MIKE MALONEY
ADDRESS: 1040 MONROE ROAD PHONE: 704-814-3429
CITY, STATE: MATTHEWS, NC ZIP CODE: 28201-1107

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: EXPRESS DEVELOPEMENT CONTACT: HOWARD MCCALL
ADDRESS: 1524 EUBANK NE, STE 5 PHONE: 296-3434
CITY, STATE: ALBUQ, NM ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

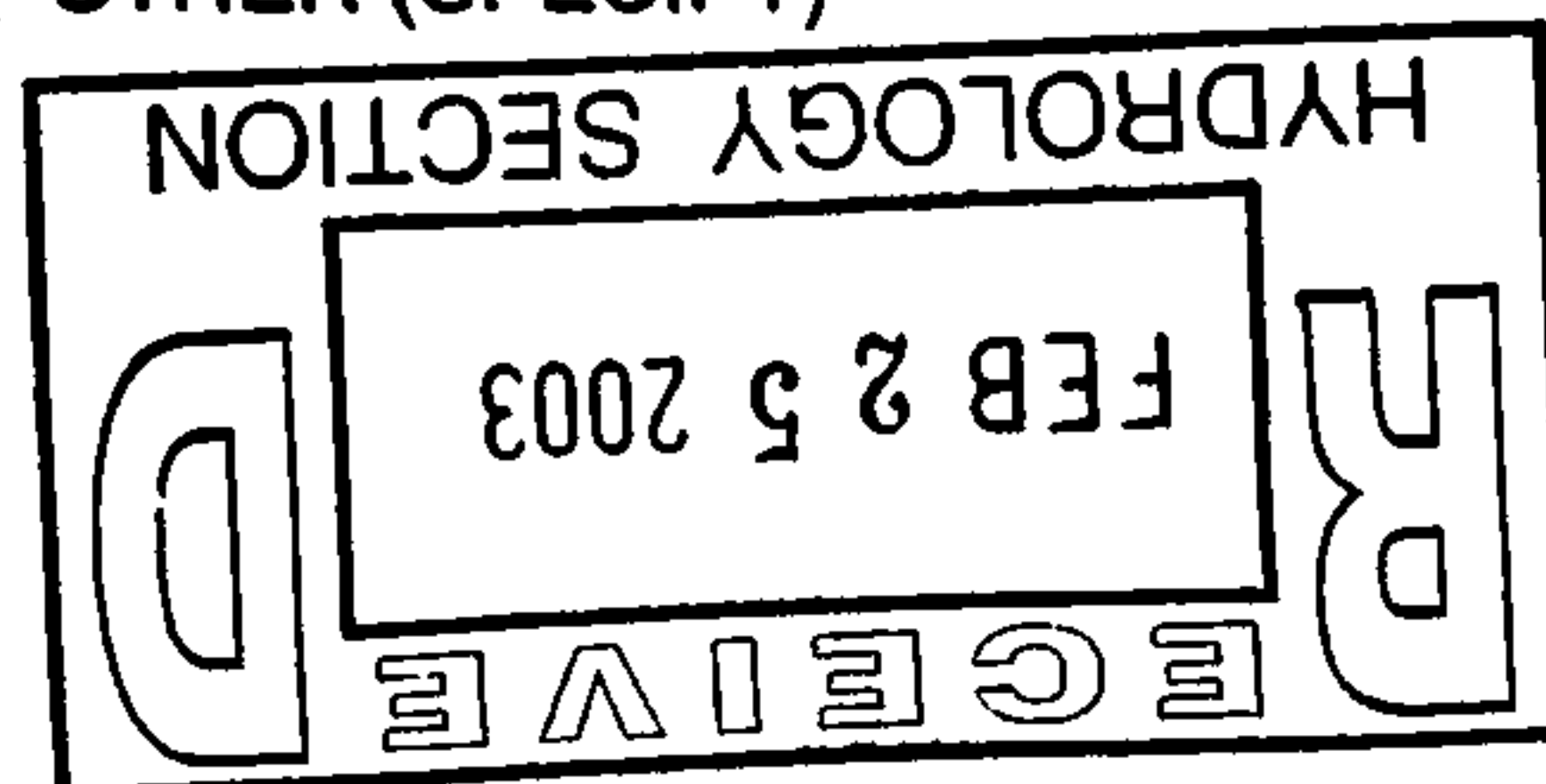
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☒ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB/APPR. SITE PLAN)
☐ OTHER

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
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☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

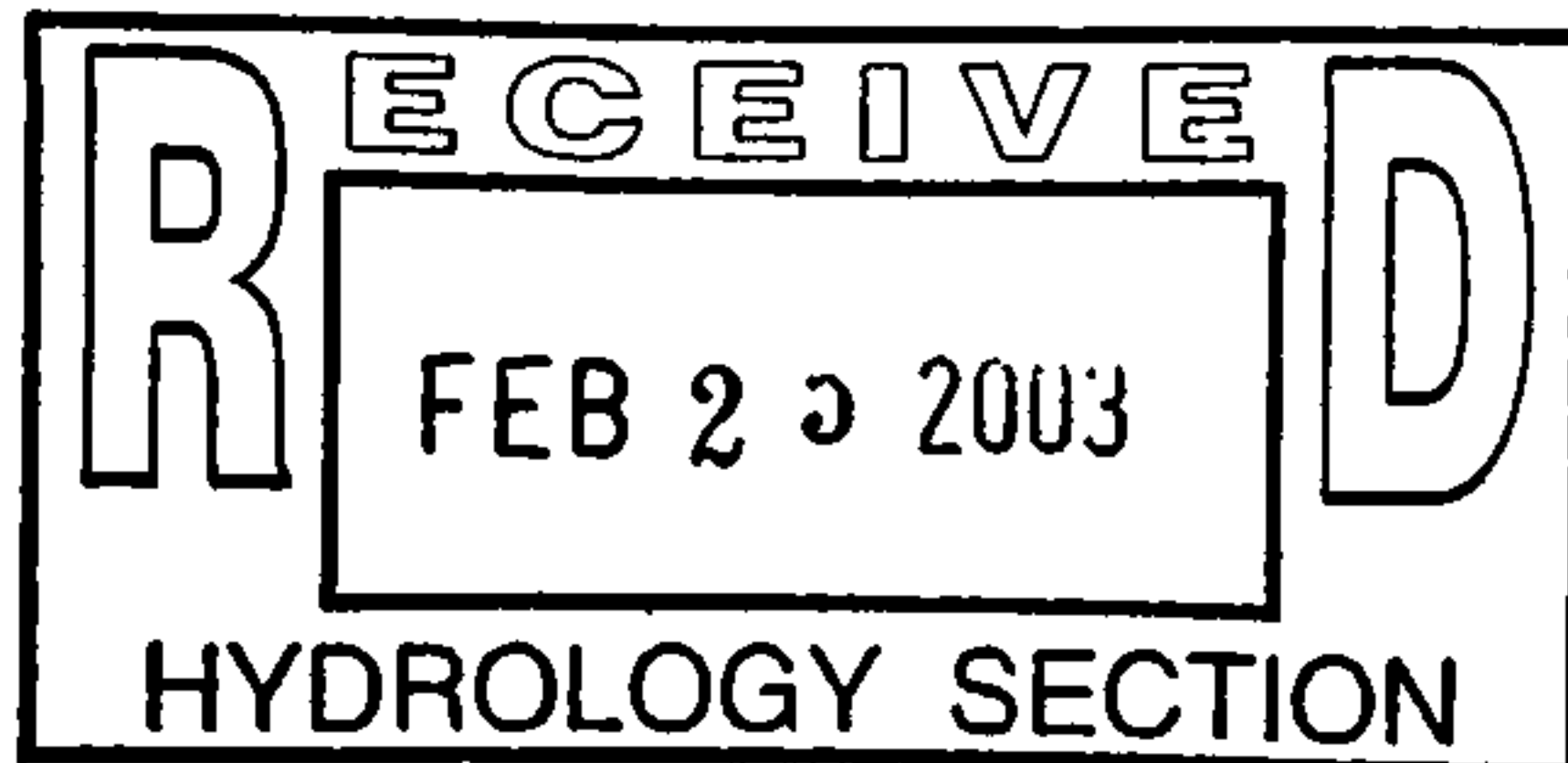
- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 2/25/03 BY: Karen & Daniel

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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TES

Towner Engineering Services, Inc.

February 24, 2003

Transportation Department
Development and Building Services
Albuquerque City Government

RE: Dollar Store, 5950 Gibson Ave SE, Albuquerque, NM 87104

We would like to submit our application for Transportation approval. We have attempted to address all of the concerns in the Transportation application. The following addresses those concerns.

Project Name: Family Dollar Store, 5950 Gibson Ave SE, Albuquerque, NM 87104

Engineering Firm: Towner Engineering Services, 8205 Spain Ave NE, Suite 205,
Albuquerque, NM 87109

Attached: Plan drawings with Engineer's stamp

Location: The site is in the Near Heights Neighborhood within the Albuquerque City Limits in Siesta Hills Subdivision #2 on Gibson Ave east of Lovelace Hospital and the Veteran's Administration Hospital. The site is just west of the Kirtland Air Force Base's Gibson Gate. The area is zoned C-1 and can be seen on the zoning map M-18. We have included a vicinity map for easier location.

Legal Description: The site is located on a portion of tract 90, H-2-A-1 within the subdivision of Siesta Hills #2, Bernalillo County, NM

Existing conditions – The proposed project site is located on the South side of Gibson SE on an existing paved parking lot. No grading is required, and the only dirt work to be performed is to prepare for the foundation of the facility. An 8000 square foot one story mercantile with incidental storage is planned.

Proposed Conditions – site is already graded for a parking lot. No changes to the slope are required. Parking stall sizes range from 8'0"x15'0" for compact to 9' x 18' and 9'x20' for larger cars. Handicapped are 9'6" x 20' with a 9'9" ramp for discharge. There are 32 spaces where 27 are required for the occupancy. There is a 52' x 76' bay for deliveries with no dock. There is a minimum of 27'9" width for the service aisle for 2-way traffic. One landscape island is used to protect the dumpster location. There is one entrance/ exit to the site to the north, located off of Gibson. California Street is across Gibson from the entrance to the site. Gibson has existing eastbound and westbound turn lanes to turn onto California and to the site and the site has a turn lane to head westbound

TES

Towner Engineering Services, Inc.

onto Gibson. Sidewalks connect the parking close to the building. Sidewalks crossing the parking lot will be concrete so as to delineate the surface.

TES

Towner Engineering Services, Inc.

February 24, 2003

Hydrology Department
Development and Building Services
Albuquerque City Government

RE: Dollar Store, 5950 Gibson Ave SE, Albuquerque, NM 87104

We would like to submit our application for Hydrology approval. We have attempted to address all of the concerns in the Hydrology application. The following addresses those concerns.

Engineering Firm: Towner Engineering Services, 8205 Spain Ave NE, Suite 205,
Albuquerque, NM 87109

Development concept: The proposed project is located on the South side of Gibson SE on an existing paved parking lot. No grading is required, and the only dirt work to be performed is to prepare for the foundation of the facility. An 8000 square foot one story mercantile with incidental storage is planned.

Drainage Concept: The area is currently paved and discharges on the NW corner through a curb cut channel that currently drains onto Gibson. The project does not add further hard surface than currently exists, so discharge amounts wouldn't change. The onsite flows would be directed through the existing channel which travels west on Gibson to the flood control channel at Cardenas and Gibson, roughly three blocks away. Addressing the offsite flows, currently a 10' drainage easement from the property to the east exists, and is not disrupted by the building site. Our building slab is on a high spot of the area. The property to the east is lower than the building slab and the original asphalt height, and normally drains from the southeast of the property to the northwest, based on elevations, so it would normally only enter the new property except at the established drainage easement. Our plans show the direction of the flow based on elevations noted on the plan. The site to the west is 2' lower than our property, so it would not drain onto our property. We have a gutter on the east side which would capture the flow from the downspouts and direct the water to the north side of the building where it would collect and flow down the drainage easement. The downstream capacity does not change from existing capacities, and should not have further impact on jurisdictions. The estimated flood level at the center of the building is 2'2" below the slab, so there is no estimated flood damage to the building.

Approvals pending on this submittal: We are in the process of applying for a building permit in conjunction with this submittal. Traffic also requires this approval for their submittal.

TES

Towner Engineering Services, Inc.

Location: The site is in the Near Heights Neighborhood within the Albuquerque City Limits in Siesta Hills Subdivision #2 on Gibson Ave east of Lovelace Hospital and the Veteran's Administration Hospital. The site is just west of the Kirtland Air Force Base's Gibson Gate. The area is zoned C-1 and can be seen on the zoning map M-18. We have included a vicinity map for easier location.

Legal Description: The site is located on a portion of tract 90, H-2-A-1 within the subdivision of Siesta Hills #2, Bernalillo County, NM

Flood Hazard Zone: The building site is not in a flood zone, but the north edge of the property along the street is in zone AO, which is expected to have flood depths of 1-3' deep in 100 year flood, based on FEMA Map 35001C0328/ Sept 1996. We have addresses this issue with a slab that is over 2 feet higher than the flood depth at the entrance to the property, based on our estimate of the levels at the center front of the building. A concrete sidewalk is adjacent to the street in the AO flood zoned area of Gibson and landscaping is just south of the sidewalk. Much of the landscaping exists, but we are also adding additional landscaping to meet the current requirements of the city codes. We have included copies of the flood zone area downloaded from your web site.

If there is any other information we can provide to you, please let us know.

Sincerely,



Karen S. Daniel
for Joe Towner
Joe Towner Engineering Services



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 27, 2003

Joe Towner
T.E.S.
8205 Spain NE Suite 205
Albuquerque, New Mexico 87109

M-18/D10

**RE: Grading and Drainage Plan for Family Dollar Store (~~G11-D40~~) Dated
January 9, 2003**

Dear Mr. Towner:

The above referenced drainage plan received on February 25, 2003 is approved for Building Permit. Upon completion of the project the engineer will need to certify the project per the DPM for release of the Certificate of Occupancy.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department

Transportation Development Services Section

February 28, 2003

Joe Towner, PE
8205 Spain NE,
Suite 205
Albuquerque, NM 87109

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Family Dollar Store, [M18/D10]
5950 Gibson Ave. SE
Engineer's Stamp Dated 2-27-03

Dear Mr. Towner:

The TCL submittal dated Feb. 28, 2003 is approved, stamped and signed as such. The three stamped approved copies should be used in the following manner: one for each of the two building permit plans and one to be used for certification of the site for final C.O. for Transportation.

A copy of the approved TCL marked up showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O.

When site is complete and a Final C.O. is needed, a letter of certification stating site was built in substantial compliance needs to be attached to your stamped, approved TCL or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. Submit this package with a completed Drainage Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. to confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

Sincerely,

Richard Dourte, PE
Development and Building Services
Planning Department

c: file
Hydrology file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar Stores ZONE MAP/DRG. FILE #: M-18 / D10
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 90, H-2-A-1, Siesta Hills #2, Bernalillo County, NM
CITY ADDRESS: 5450 Gibson Ave SE

ENGINEERING FIRM: TOWNER ENGINEERING
ADDRESS: 8205 SPAIN NE, STE 205
CITY, STATE: ALBUQUERQUE, NM 87109

CONTACT: JOE TOWNER
PHONE: 505 828 1930
ZIP CODE: 87109

OWNER: FAMILY DOLLAR STORES
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: HOWARD MCCALL
HOWARD MCCALL
PHONE: 379-4333
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

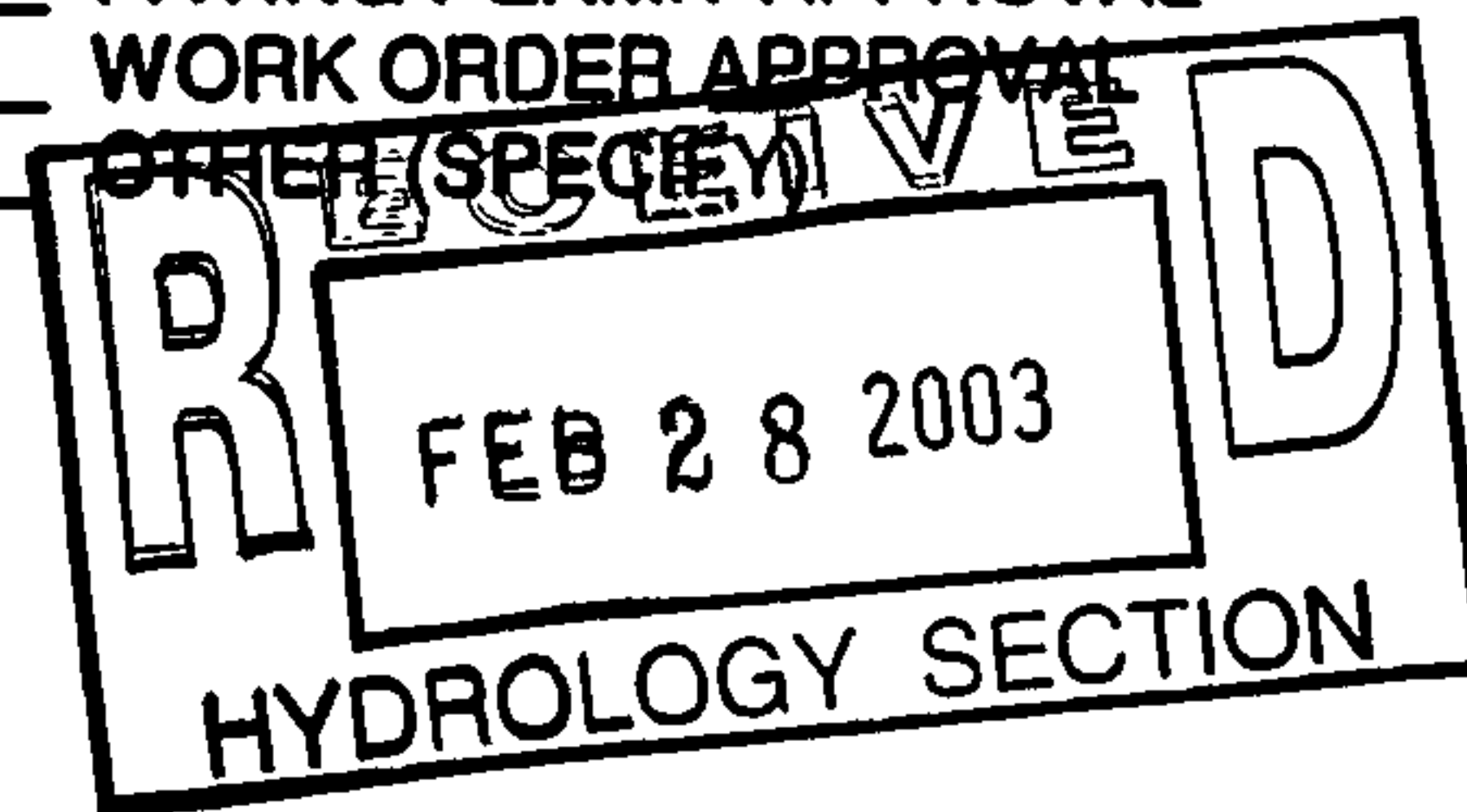
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
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- ☒ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 2-28-03 BY: Karen S Daniel

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 14, 2003

Joe Towner
T.E.S.
8205 Spain NE Suite 205
Albuquerque, New Mexico 87109

**RE: Grading and Drainage Plan for Family Dollar Store (G11-D40) Dated
January 9, 2003**

Dear Mr. Towner:

I have attached a checklist for a drainage plan submittal. Please review the list and set up a meeting with me and we can discuss the submittal. Also, on the cabq.gov internet site the DPM is available.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

M-18/D10

PROJECT TITLE: Family Dollar Store ZONE MAP/DRG. FILE #: M-18
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract H-2-A, Siesta Hills Subdivision No. 2
CITY ADDRESS: 6000 Gibson Blvd. S.E., Albuquerque, New Mexico

ENGINEERING FIRM: T.E.S.
ADDRESS: 8205 Spain N.E., Ste 205
CITY, STATE: Albuquerque, New Mexico

CONTACT: Joe Towner
PHONE: (505) 620-9183
ZIP CODE: 87109

OWNER: Family Dollar Stores, Inc.
ADDRESS: 10401 Monroe Road
CITY, STATE: Mathews, North Carolina

CONTACT: Mike Maloney
PHONE: (704) 814-3429
ZIP CODE: 28105

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Express Development
ADDRESS: 1524 Eubank N.E., Ste 5
CITY, STATE: Albuquerque, New Mexico

CONTACT: Howard McCall
PHONE: (505) 296-3434
ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

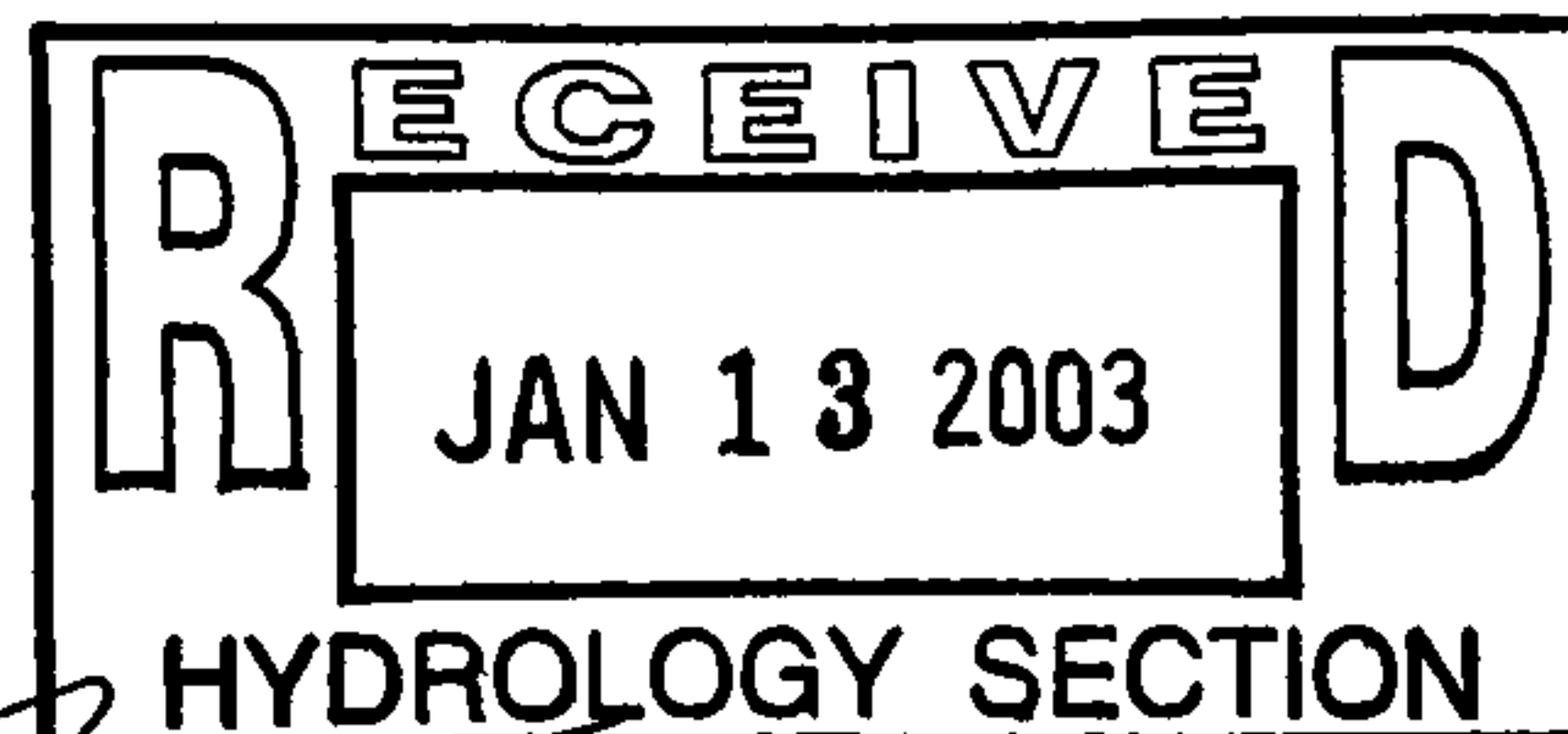
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
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- ☐ CLOMR/LOMR
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- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 01/09/03 BY: Joe Towner

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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DRAINAGE INFORMATION SHEET

970611

PROJECT TITLE: LOVELACE HOSP. STAFF SHUTTLE LOT ZONE ATLAS/DRNG. FILE #: M18/D10

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACTS G-2-A & H-2-A, SIESTA HILLS SUBD. No. 2

CITY ADDRESS: _____

ENGINEERING FIRM: Jeff Mortensen & Assoc., Inc. CONTACT: Gary BittnerADDRESS: 6010-B Midway Park Blvd. N.E. PHONE: 345-4250OWNER: LOVELACE HEALTH SYSTEMS CONTACT: ENG. Firm

ADDRESS: _____ PHONE: _____

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: JMA. CONTACT: CHUCK CALAADDRESS: 6010-B MIDWAY PARK BLVD. N.E. PHONE: 345-4250CONTRACTOR: UNIVERSAL CONSTRUCTORS CONTACT: PAUL FISHERADDRESS: _____ PHONE: 884-0400

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

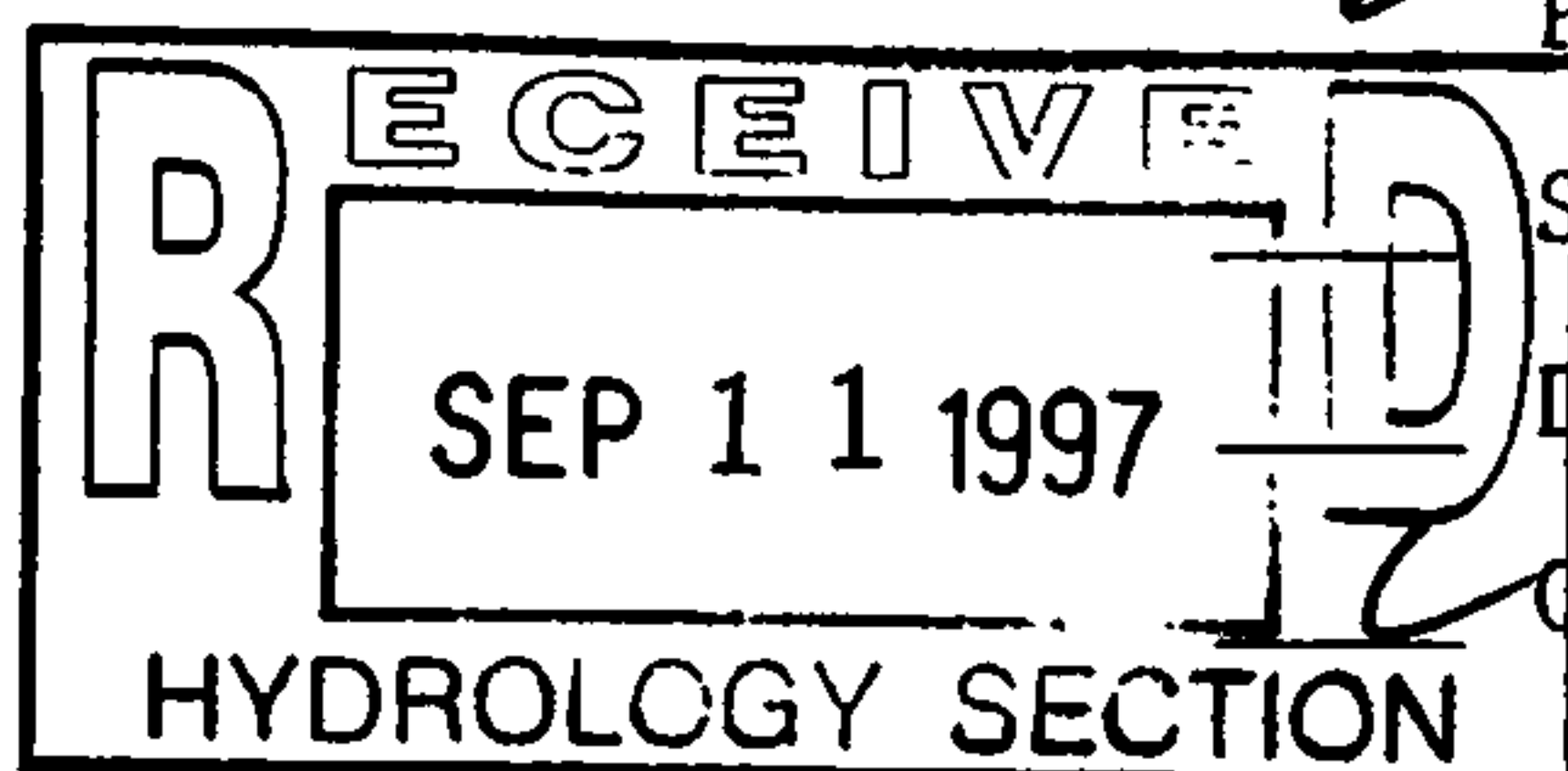
PRE-DESIGN MEETING:

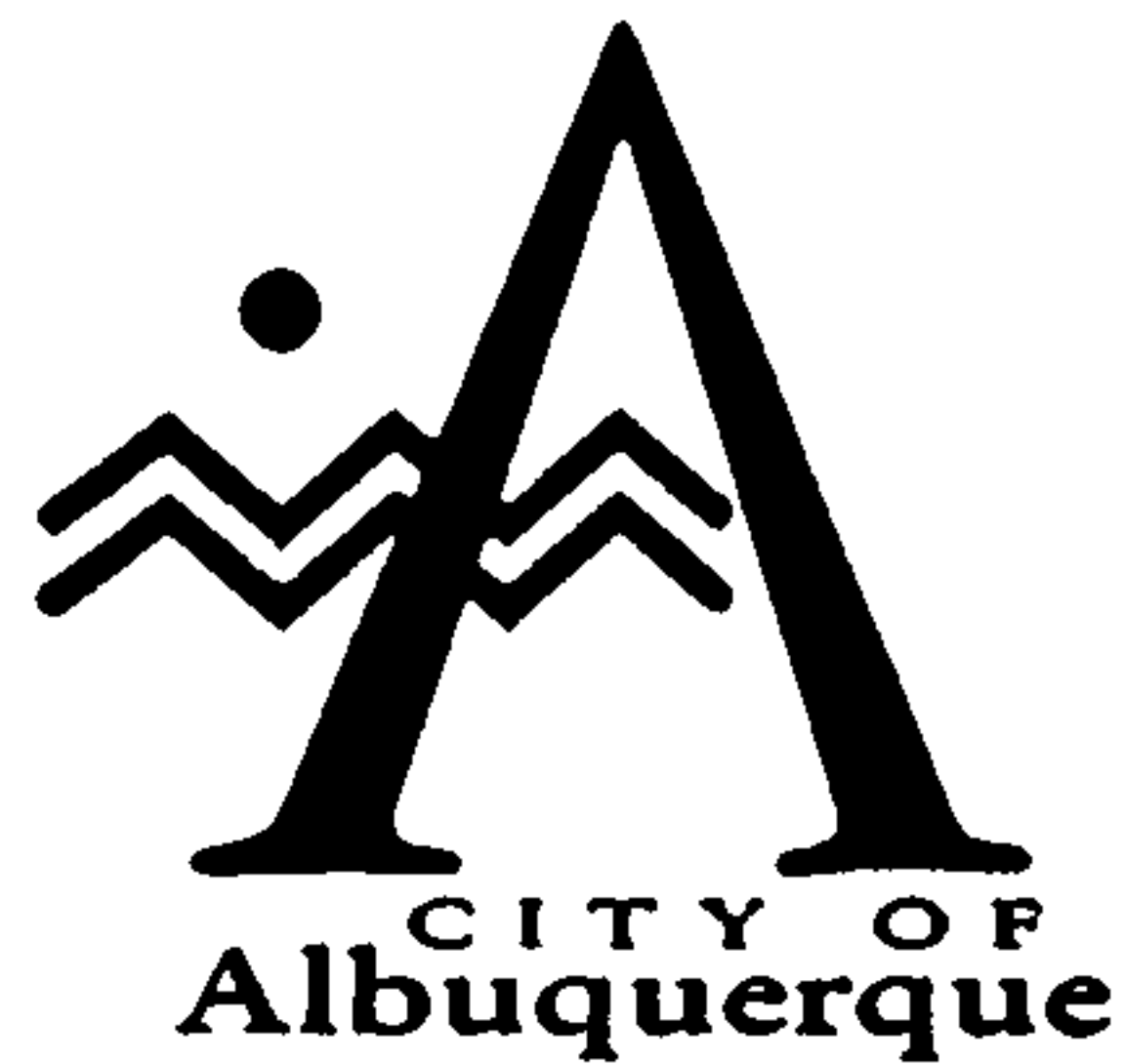
- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER S.O. #19 (SPECIFY)

DATE SUBMITTED: 9/10/97BY: Gary R. Bittner *GBB*



May 22, 1998

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, New Mexico 87109

RE: ENGINEER CERTIFICATION FOR LOVELACE HOSPITAL STAFF SHUTTLE LOT
(M18-D10) CERTIFICATION STATEMENT DATED 4/23/98

Dear Mr. Mortensen:

Based on the information provided on your April 24, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

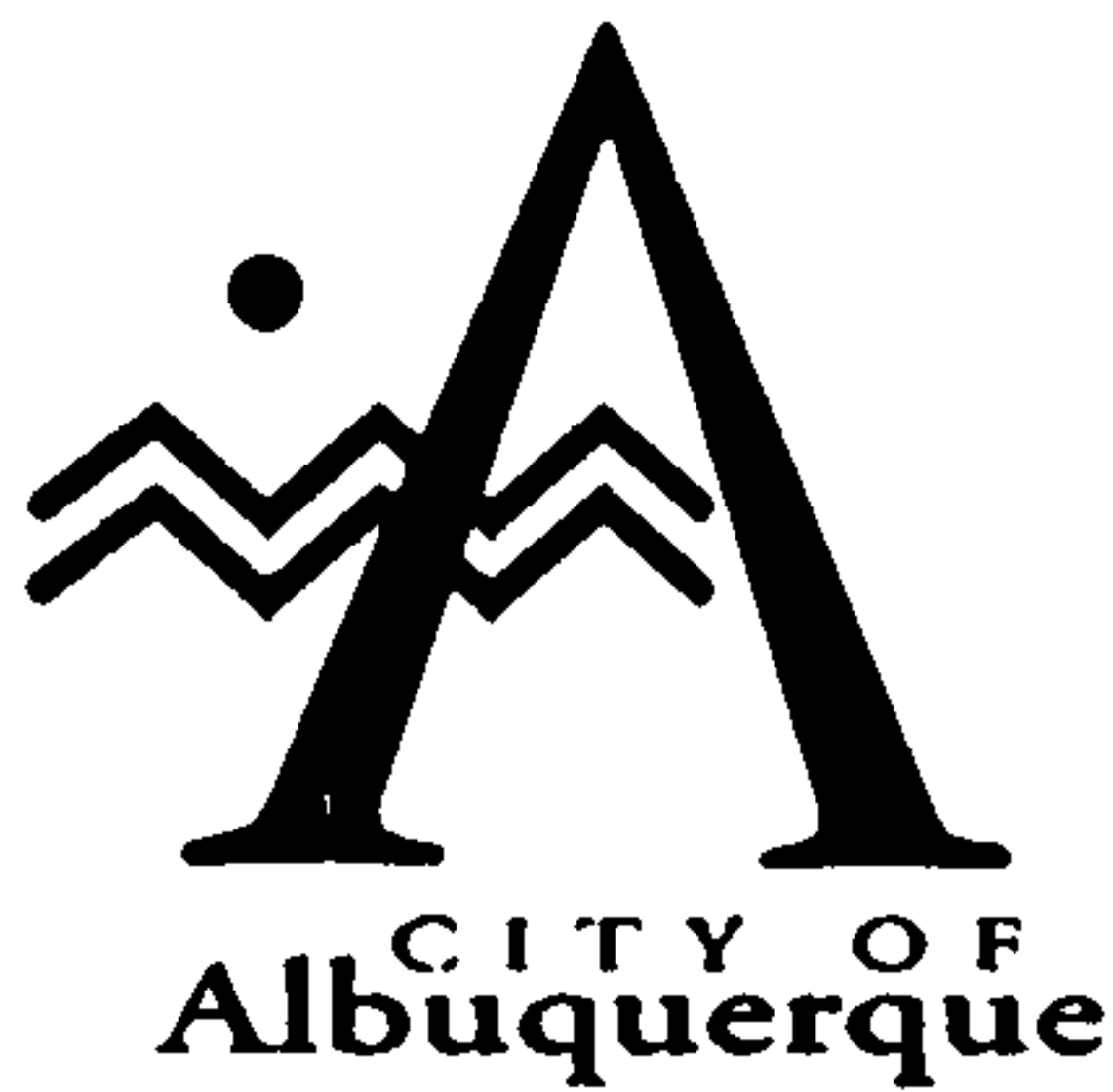
File

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!





Martin J. Chávez, Mayor
September 30, 1997

Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, New Mexico 87109

RE: REVISED DRAINAGE PLAN FOR LOVELACE HOSPITAL STAFF SHUTTLE LOT
(M18-D10) REVISION DATED 9/10/97

Dear Mr Mortensen:

Based on the information provided on your September 11, 1997 resubmittal, the above referenced site is approved for Grading/Paving and SO19 Permit.

Please be advised that a separate permit is required for construction within City R/W. A copy of this letter must be on hand when applying for the excavation permit.

Also, Engineer Certification per the DPM checklist will be required after construction is completed.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

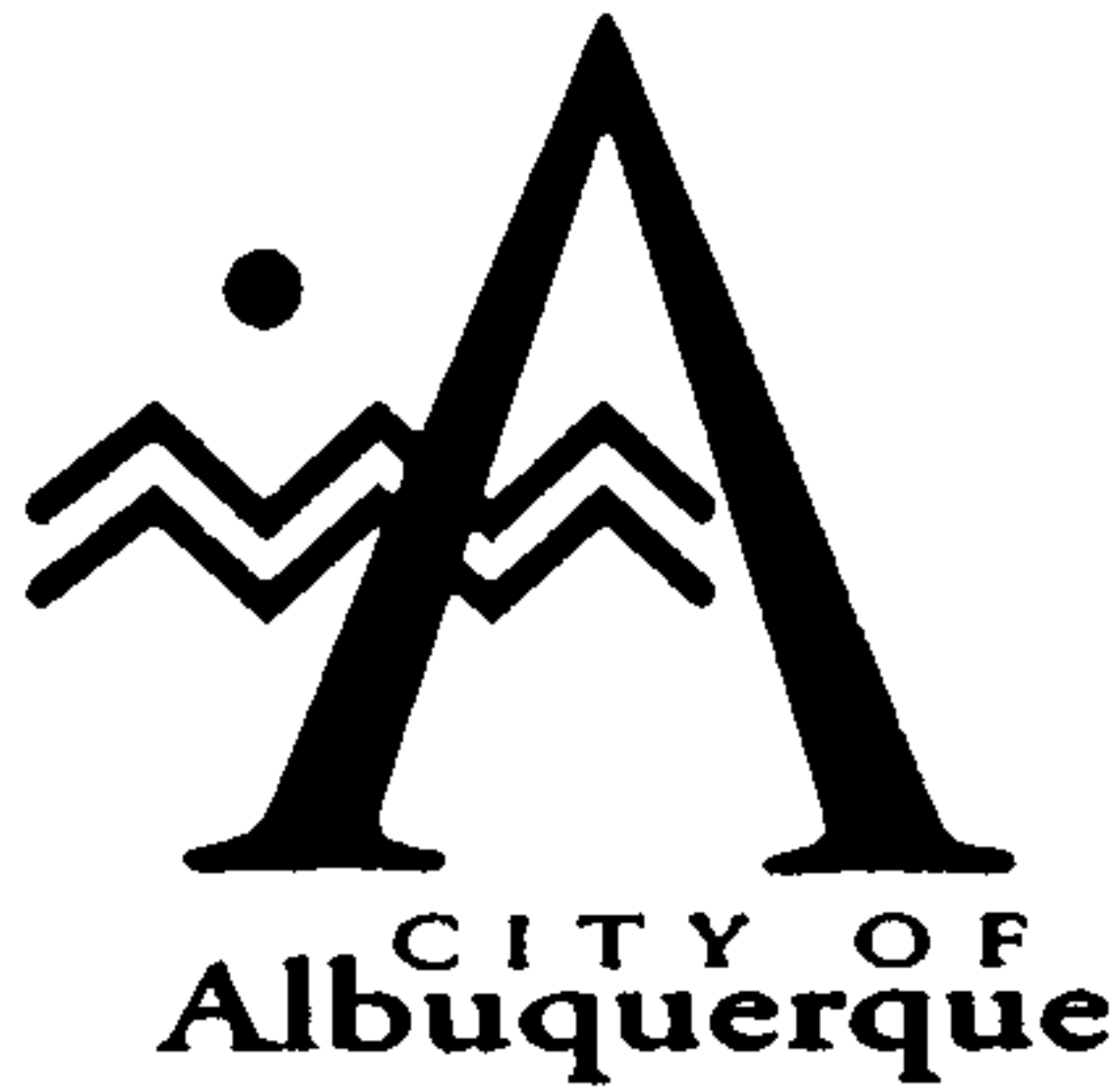
File

Arlene Portillo

Sincerely

Bernie J. Montoya CE
Associate Engineer





Martin J. Chávez, Mayor

August 5, 1997

Jeff Mortensen
Jeff Mortensen & associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque New Mexico 87109

RE: DRAINAGE PLAN FOR LOVELACE HOSPITAL STAFF SHUTTLE LOT (M18-D10)
ENGINEER'S STAMP DATED 8/28/97

Dear Mr. Mortensen:

Based on the information provided on your August 29, 1997 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. Concrete curb along the west property line to assure that the developed run-off will not jump onto the adjacent property.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

97

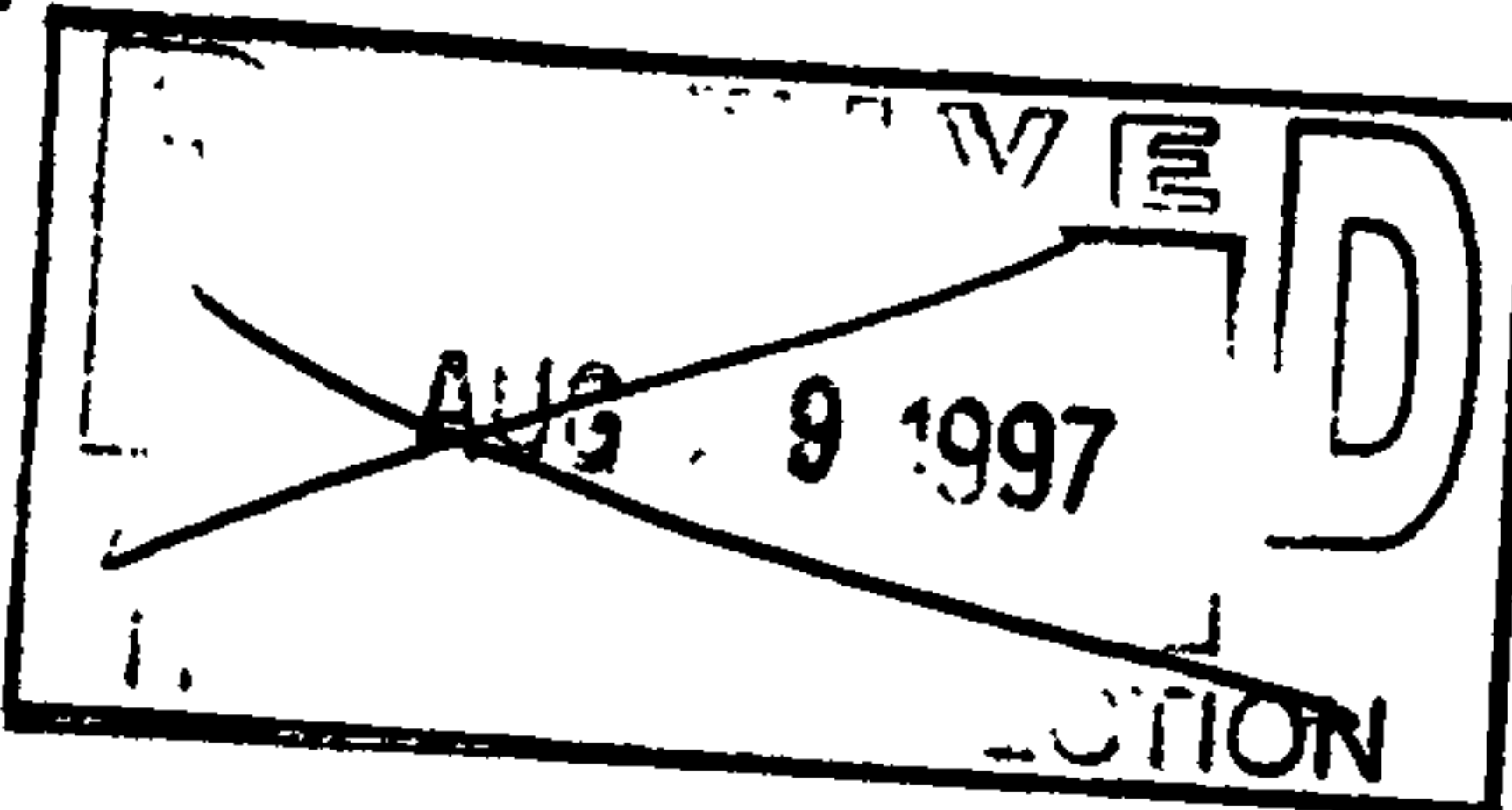
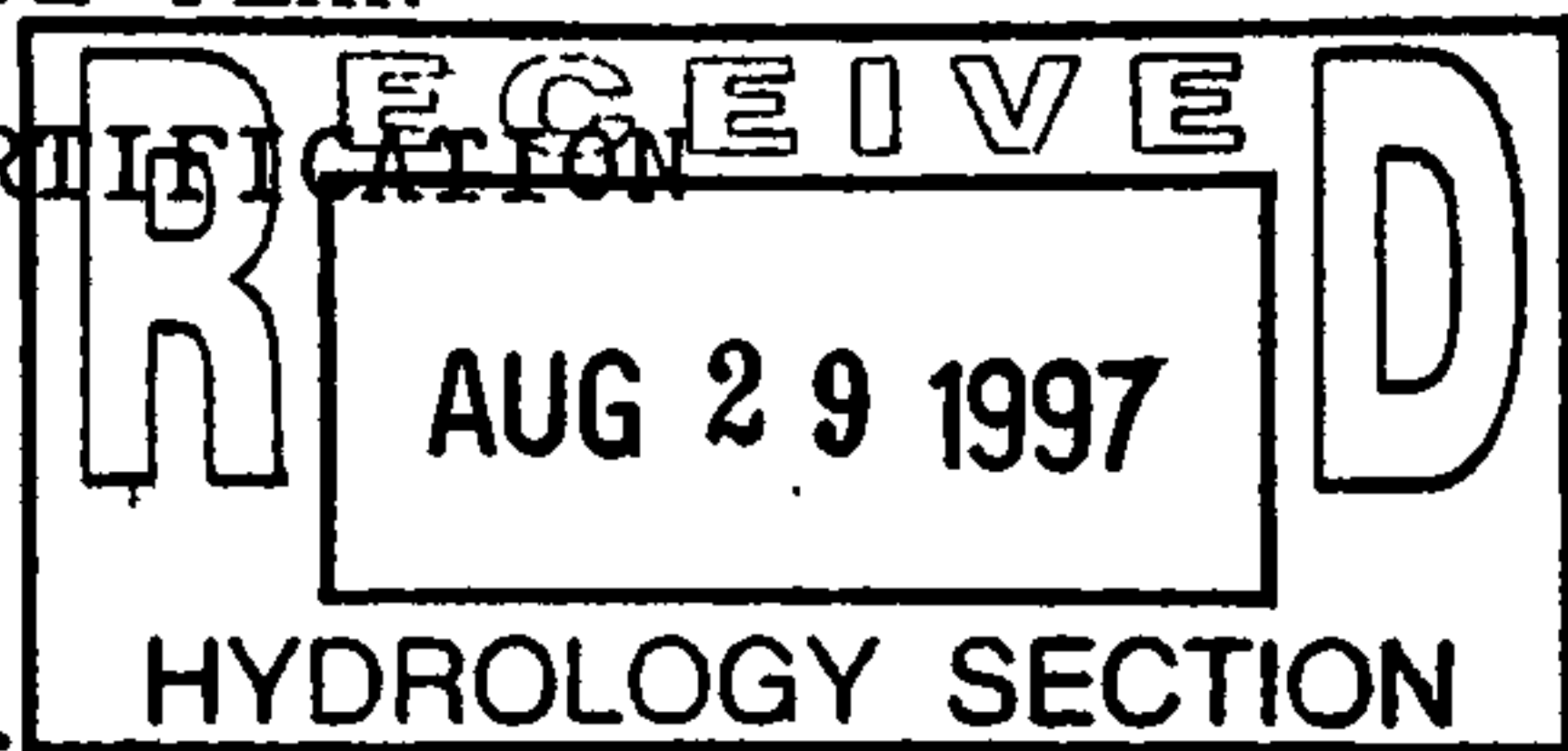
PROJECT TITLE: LOVELACE STAFF LOT ZONE ATLAS/DRNG. FILE #: M18 10
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: TRACTS G-2A & H-2-A SIESTA HILLS SUBDIVISION
CITY ADDRESS: S.W. CORNER GIBSON BLVD S.E. & DAKOTA STREET S.E.
ENGINEERING FIRM: Jeff Mortensen & Assoc., Inc. CONTACT: Gary Bittner
ADDRESS: 6010-B Midway Park Blvd. N.E. PHONE: 345-4250
OWNER: LOVELACE HOSPITAL CONTACT: JIM WELBY
ADDRESS: _____ PHONE: _____
ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: Chuck Cala
ADDRESS: 6010-B MIDWAY PARK BLVD. N.E. PHONE: 345-4250
CONTRACTOR: NOT SELECTED CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER SO19 (SPECIFY)

DATE SUBMITTED:

8/29/97

BY:

Gary R. Bittner



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 18, 2003

Joe Towner
T.E.S.
8205 Spain NE Suite 205
Albuquerque, New Mexico 87109

**RE: Traffic Circulation Plan for Family Dollar Store (G11-D40) Dated
January 9, 2003**

Dear Mr. Towner:

I have attached a checklist for a TCL submittal. Please review the list and set up a meeting with me and we can discuss the submittal. Also, on the cabq.gov internet site the DPM is available.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

M-18/D10

PROJECT TITLE: Family Dollar Store

ZONE MAP/DRG. FILE #: M-18

DRB #: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: Tract H-2-A, Siesta Hills Subdivision No. 2

CITY ADDRESS: 6000 Gibson S.E., Albuquerque, New Mexico

ENGINEERING FIRM: T.E.S.

ADDRESS: 8205 Spain N.E., Ste 205

CITY, STATE: Albuquerque, New Mexico

CONTACT: Joe Towner

PHONE: 620-9183

ZIP CODE: 87109

OWNER: Family Dollar Stores, Inc.

ADDRESS: 10401 Monroe Road

CITY, STATE: Mathews, North Carolina

CONTACT: Mike Maloney

PHONE: (704) 814-3429

ZIP CODE: 28105

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: Express Development

ADDRESS: 1524 Eubank N.E., Ste 5

CITY, STATE: Albuquerque, New Mexico

CONTACT: Howard McCall

PHONE: (505) 296-3434

ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

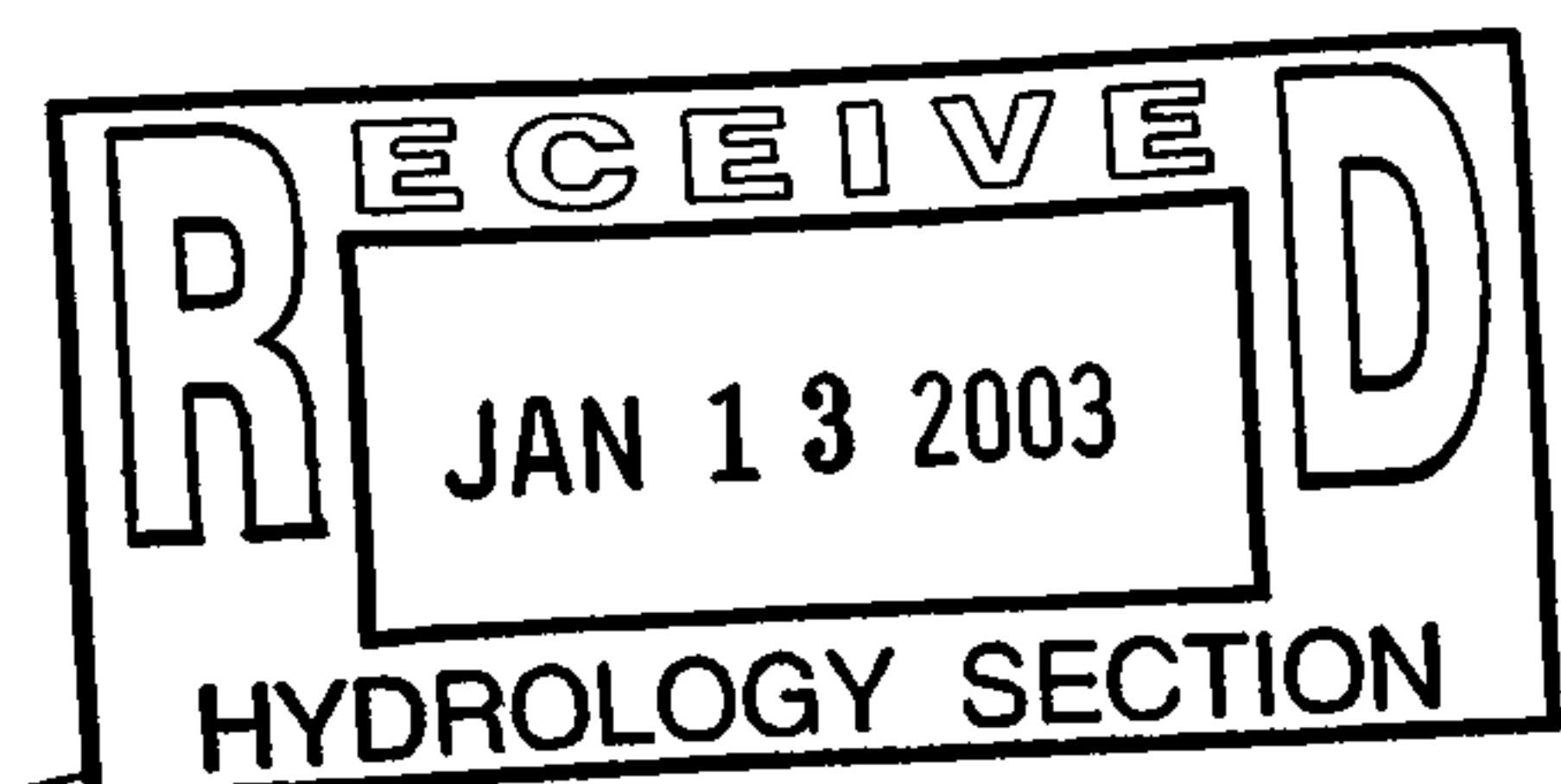
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 01/09/03

BY: Joe Towner

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

M18/D10

- ① How does the water come off the roof & where does it go?
- ② Is there curb along the west side of parking lot?
- ③ Need S.D. 19 for Sidewalk Grate Drain
- ④ In flood zone.
- ⑤ Need Encroachment Agreement? (V-75-9)

NEVIN

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

August 5, 1986

Chris Weiss
Weiss-Hines Engineering
1100 Alvarado Drive, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR WENDY'S AT GIBSON
(M-18/D10) RECEIVED AUGUST 1, 1986

Dear Chris:

Based on the information provided on your resubmittal of August 1, 1986, listed you will find certain items that will need to be addressed before final approval is given:

1. Please identify proposed curbs with Top of Curb elevations.
2. Before Building Permit is issued, the Utility easements must be prepared for sign-off from the appropriate utilities.

If I can be of further assistance, please feel free to call me at 766-7644.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

PROJECT TITLE: Wendy's @ Gibson ZONE ATLAS/DRAINAGE FILE # M18/D10LEGAL DESCRIPTION: Tracts C1 & H1, Siesta Hills SubdCITY ADDRESS: 6018 Gibson S.E.ENGINEERING FIRM: Weiss-Hines Engineering, Inc. CONTACT: ChrisADDRESS: 1100 Alvarado N.E.PHONE: 266-3444OWNER: Will Knox

CONTACT: _____

ADDRESS: 4600 Montgomery N.E. Ste 6PHONE: 883-5285ARCHITECT: William SheltonCONTACT: Bill WinklerADDRESS: 1113 Rhode Island N.E.PHONE: 262-2363SURVEYOR: Topo - John Armstrong
Replat - Ross Elder Surveying Co.

CONTACT: _____

ADDRESS: _____

PHONE: _____

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NORECEIVED
AUG 01 1986

DRB NO. _____

EPC NO. _____

☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

HYDROLOGY SECTION

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAIN PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☒ Resubmittal

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: Aug 1, 1986BY: Weiss-Hines Eng., Inc.

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

JUL 29, 1986

Chris Weiss
Weiss-Hines Engineering
1100 Alvarado, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR WENDY'S AT GIBSON
(M-18/D10) RECEIVED JULY 11, 1986

Dear Chris:

Based on the information provided on your July 11, 1986 submittal, listed you will find certain items that will need to be addressed before final approval may be granted:

1. New information sheet with resubmittal designation.
2. Please identify the limits of all the proposed curbs. (Plan indicates that curbs will be required to contain all flows within the asphalt area.)
3. The utility easements must be vacated or an encroachment agreement must be prepared for sign-off from the appropriate utilities.

If I can be of further assistance, please call me at 766-7644.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BCH/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

PROJECT TITLE: Wendy's @ Gibson ZONE ATLA... DRAINAGE FILE # M18/D10LEGAL DESCRIPTION: Tracts C1 and H1, Siesta Hills Subd.CITY ADDRESS: 6018 Gibson SEENGINEERING FIRM: Weiss-Hing Eng. Inc. CONTACT: ChrisADDRESS: 1100 Alvarado N.E. PHONE: 266-3444OWNER: W. H. Knox CONTACT: _____ADDRESS: 4600 Montgomery N.E. Stale PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

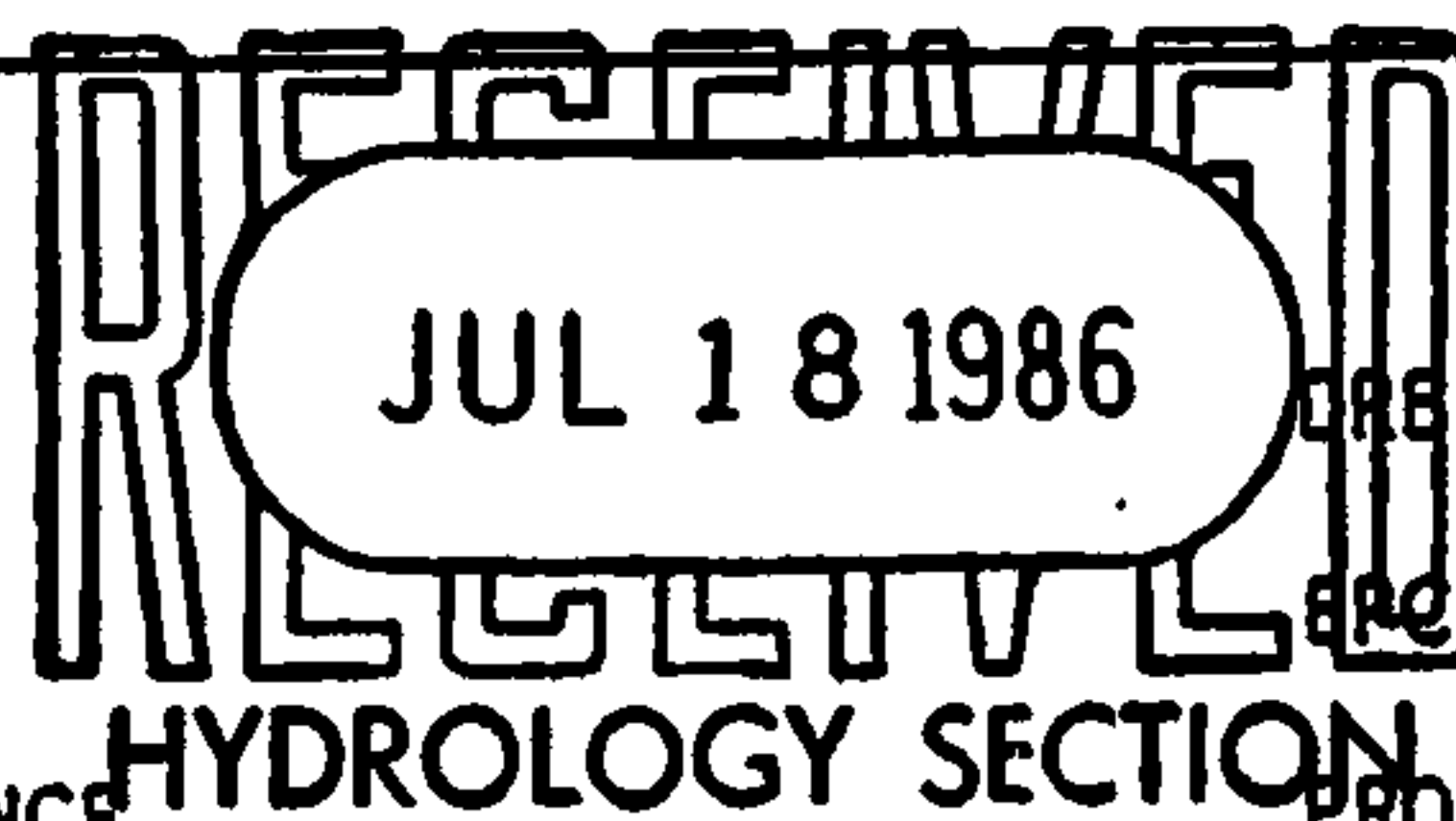
SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

DRE NO. _____

ERC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN *☐ CONCEPTUAL GRADING & DRAIN PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVALDATE SUBMITTED: 7-16-86BY: Weiss-Hing Eng. Inc. OTHER _____ (SPECIFY).

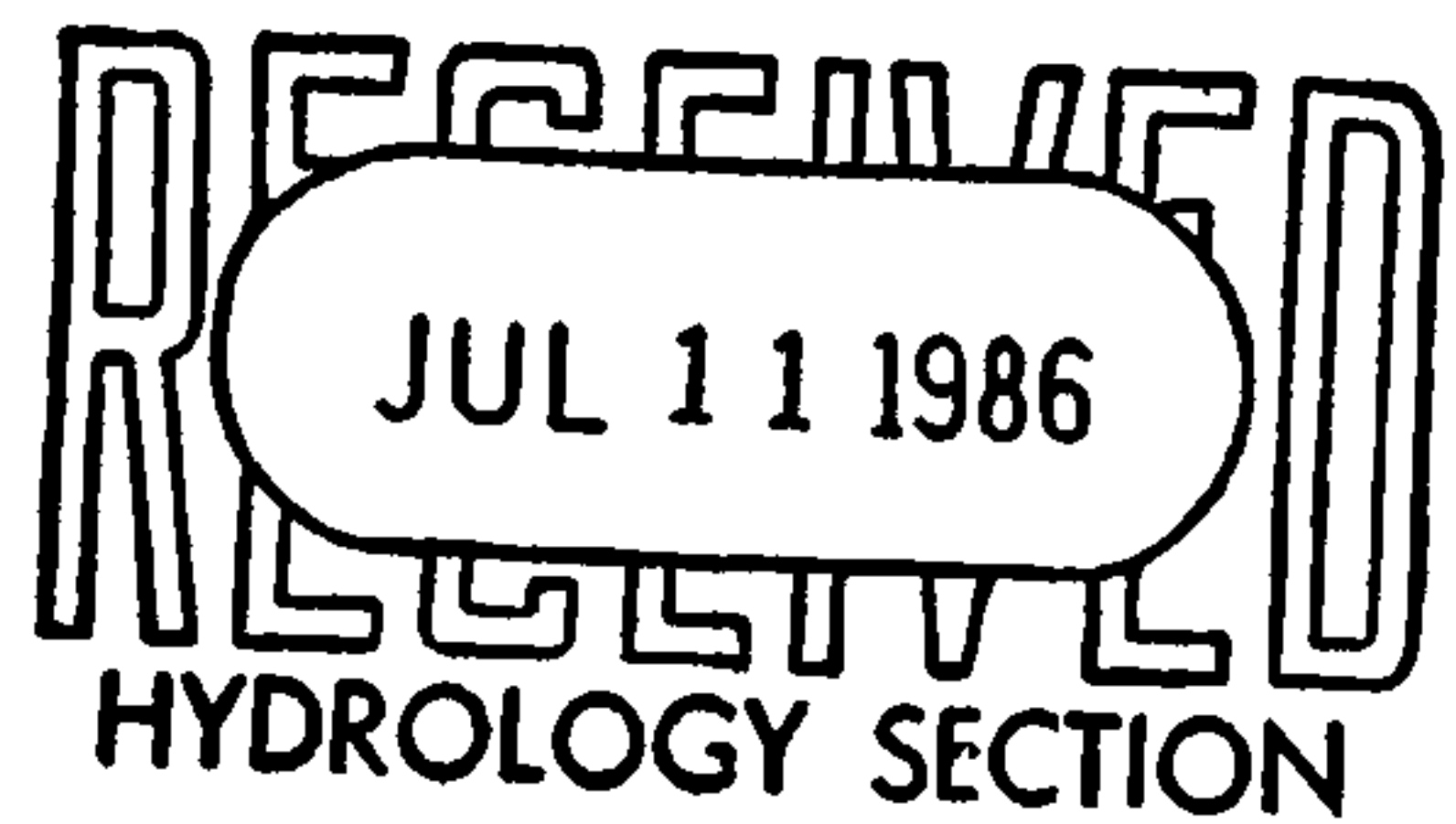
REV. 10/85

10

* Copy of replat as per request by Bernie Montoya
(6-23-86 letter)

7/18 RJ

Received By: _____
Date: _____



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Wendy's @ Gibson ZONE ATLAS/DRAINAGE FILE # M-18/D10
LEGAL DESCRIPTION: Tracts C-1 and H-1, Siesta Hills Subd.
CITY ADDRESS: Gibson Blvd. SE
ENGINEERING FIRM: Weiss-Hines Eng. CONTACT: Chris Weiss
ADDRESS: 1100 Alvarado NE PHONE: 266-3444
OWNER: Will Knox CONTACT: _____
ADDRESS: 4600 Mont. N.E. St. L. PHONE: 883-5285
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: Topo - Eohn Armstrong
Replat - Ross Elber Surveying Co. CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

____ YES ORB NO. _____
☒ NO EPC NO. _____
____ COPY OF CONFERENCE PROJECT NO. _____
RECAP SHEET PROVIDED

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAIN PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

____ SECTOR PLAN APPROVAL
____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ SITE DEVELOPMENT PLAN APPROVAL
____ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY APPROVAL
____ ROUGH GRADING PERMIT APPROVAL
____ GRADING/PAVING PERMIT APPROVAL
____ OTHER _____ (SPECIFY).

DATE SUBMITTED: Weiss-Hines Eng.

BY: July 11, 1986



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

June 23, 1986

FILE COPY

Chris Weiss
Weiss-Hines Engineering
1100 Alvarado, NE Suite A
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR WENDY'S & GIBSON (M-18/D10)
RECEIVED JUNE 17, 1986

Dear Chris:

A preliminary review of your submittal for Building Permit approval has shown that the following information is lacking for this section to begin the review process:

Information Needed:

1. Copy of replat needed to evaluate how the lot line change will affect the drainage plan.

PLAN DRAWING:

1. Location and direction of roof drains.
2. Swale detail at entry into the sidewalk culvert.
3. Evaluate the sidewalk culvert capacity using the weir formula or other appropriate formula.
4. No ponding allowed adjacent to building within the landscaped area.

Please provide this information so that we may process your request as expeditiously as possible.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJEC. FILE: Wendy's ZONE ATLAS/L AGE FILE # M-18/D10
LEGAL DESCRIPTION: Tract C-1 & H-1, Siesta Hills, Subd.
CITY ADDRESS: 6018 Gibson S.E
ENGINEERING FIRM: Weiss-Ames CONTACT: CHRIS

ADDRESS: _____ PHONE: 266-3444

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Ross Elder CONTACT: Ross Elder

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

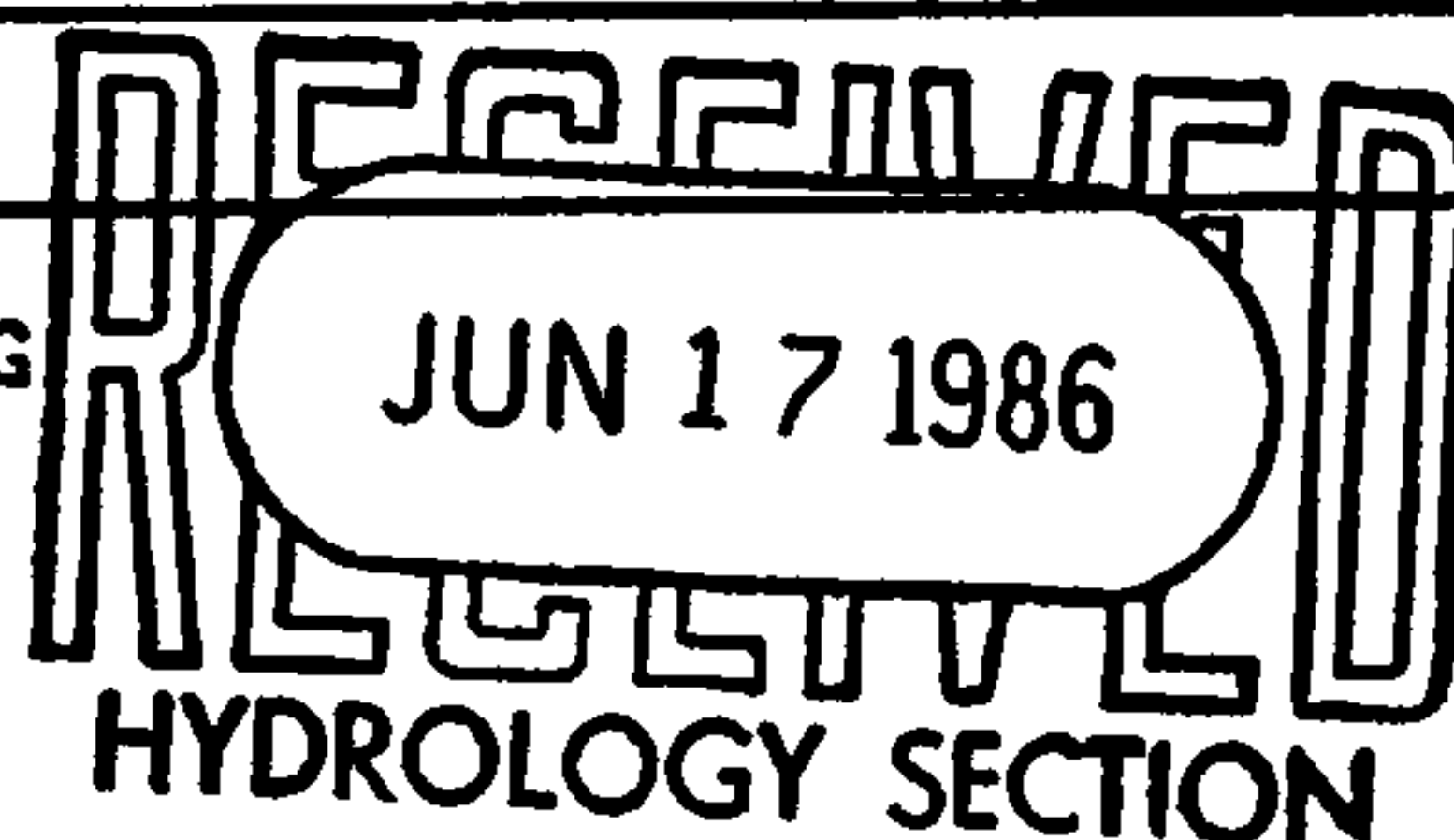
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING

____ YES

☒ NO

____ COPY OF CONFERENCE
RECAP SHEET PROVIDED



DRB NO. 84-468 713184

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

____ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAIN PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

____ SECTOR PLAN APPROVAL

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ SITE DEVELOPMENT PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ BUILDING PERMIT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY
APPROVAL

____ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

____ OTHER _____ (SPECIFY)

DATE SUBMITTED: 6-17-86

BY: Weiss-Ames



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

February 6, 1985

Chris Weiss
C.T.S., Inc.
1100-A Alvarado, NE
Albuquerque, New Mexico 87110

RE: WENDY'S ON GIBSON (M-18/D10)
ENGINEER'S STAMP DATED JANUARY 29, 1985

Dear Mr. Weiss:

Based on the information provided on your January 29, 1985 submittal, the referenced drainage plan is approved.

Please be advised that any roof runoff into landscaped areas will not be allowed to pond; provisions will need to be made for release of such waters. Also, please advise your client that raising the finish floor above the designated flood elevation will not remove the site from the flood hazard zone. Upon completion of the proposed development, finish floor elevation certification will be required by either a licensed surveyor or a registered engineer for compliance with the flood hazard ordinance.

Please attach a copy of this approved drainage plan along with the appropriately approved "Drainage Facilities Within City Right-of-Way" document to the construction sets before Hydrology will sign-off.

If you have any questions or comments regarding this project, please call me at 766-7644.

Cordially,

Billy J. Goolsby, P.E.
Design Hydrology Section

BJG:BJM/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: WENDYS RESTAURANT ZONE ATLAS/DRNG. FILE #: M-18/D10
 LEGAL DESCRIPTION: TRACTS G-1 & H-1, SIESTA HILLS SUB D.
 CITY ADDRESS: _____

ENGINEERING FIRM: C.T.S. Inc. CONTACT: _____
 ADDRESS: 1100 ALVARADO N.E. PHONE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

ARCHITECT: WILL KNOX CONTACT: _____
 ADDRESS: 4600 MONTGOMERY N.E. PHONE: 883-5285

SURVEYOR: JOHN ARMSTRONG CONTACT: JOHN
 ADDRESS: 3816 EDITH BLVD. PHONE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

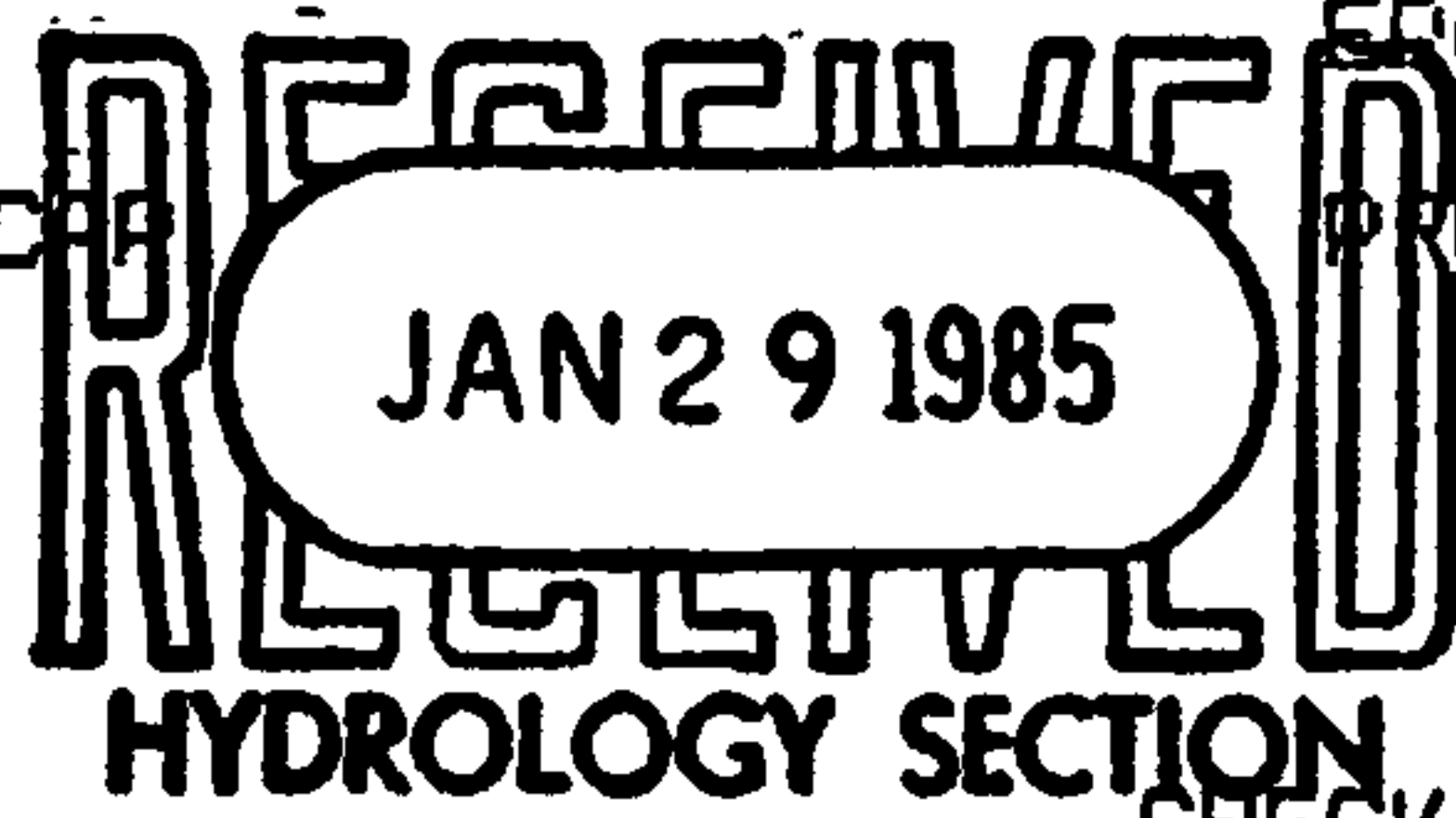
☐ NO

☒ COPY OF CONFERENCE RECORD SHEET PROVIDED

DRB NO. DRB 84-463 7/3/84

ECC NO. _____

PROJ. NO. _____



TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

BY: C.T.S. Inc.

Wendy

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

PRE-DESIGN CONFERENCE RECAP

HYDROLOGY SECTION PROJECT NO.: M-18 DATE: 11/16/84

PLANNING DIVISION NOS. EPC: _____ DRB: _____

SUBJECT: Wendy's on Gibson

LEGAL DESCRIP.: Tracts G-1 & H-1 Siesta Hills Sub'd

APPROVAL REQUESTED

<u> </u> PRELIMINARY PLAT <u> X </u> SITE DEVELOPMENT PLAN <u> </u> ROUGH GRADING	<u> </u> FINAL PLAT <u> X </u> BUILDING PERMIT
---	--

WHO:	REPRESENTING:
ATTENDANCE: <u>Chris Weiss</u> <u>Billy Goolsby</u> _____ _____	<u>CTS, Inc.</u> _____ _____

<u> </u> Conceptual Drainage Plan/Report required for Preliminary Plat and/or Site Development Plan sign-off.	
<u> X </u> Approved Drainage Plan/Report required for Final Plat and/or Building Permit sign-off.	
<u> </u> Subdivision Improvements Agreement or Financial Security required.	

FINDINGS: ① Discharge to be determined by analysis of downstream capacity
② Floodproofing required.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Billy G. Goolsby</u>	SIGNED: <u>Chris Weiss</u>
TITLE: <u>CE/Hydrology</u>	TITLE: <u>CTS Inc.</u>
DATE: <u>11/16/84</u>	DATE: <u>11/16/84</u>

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

May 19, 2003

Joe Towner, P.E.
8205 Spain NE, Ste. 205
Albuquerque, NM 87109-3148

Re: Certification Submittal for Final Building Certificate of Occupancy for
Family Dollar Store(Gibson), [M-187-D10]
5950 Gibson SE
Engineer's Stamp Dated 05/15/03

Dear Mr. Towner:

The TCL / Letter of Certification submitted on May 19, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
cHydrology-file>
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 7-30-02)

M-18/D10

PROJECT TITLE: Family Dollar - Gibson ZONE MAP/DRG. FILE #: _____
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 5950 Gibson St

ENGINEERING FIRM: TES
ADDRESS: 8205 SPAIN NE #205
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Joe Dwyer
PHONE: 505-1930
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Express Development
ADDRESS: 1524 Eubank NE #5
CITY, STATE: Albany, NY

CONTACT: Howard McNeil
PHONE: 379-4333
ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

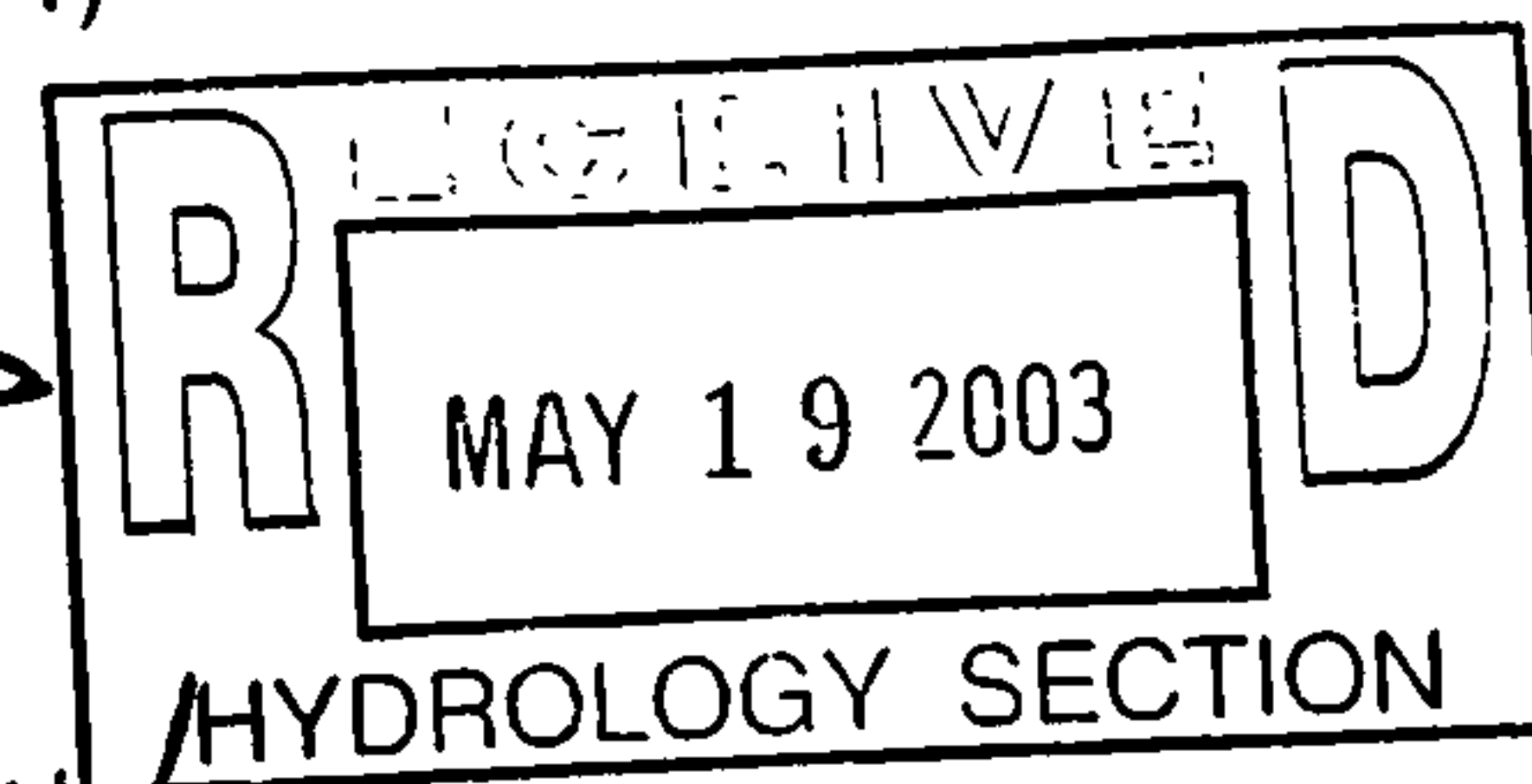
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/14/03 BY: Karen Dening



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002

3:30 pm; 5/19/03
G need the name of
project addressed in
certification letter
left message
w/ secretary

TES

Towner Engineering Services, Inc.

**TRAFFIC CERT W/VERIFICATION BY ENGINEER OF RECORD
5/15/03****TRAFFIC CERIFICATION**

I, Joe Towner, NMPE 10592, of the firm TES, herby certify that the project named Family Dollar store at 5950 Gibson SE, Albuquerque, NM has been striped and completed in substantial compliance with and in accordance with the design intent of the approved plan dated 02/27/03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The recorded information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



TES

Towner Engineering Services, Inc.

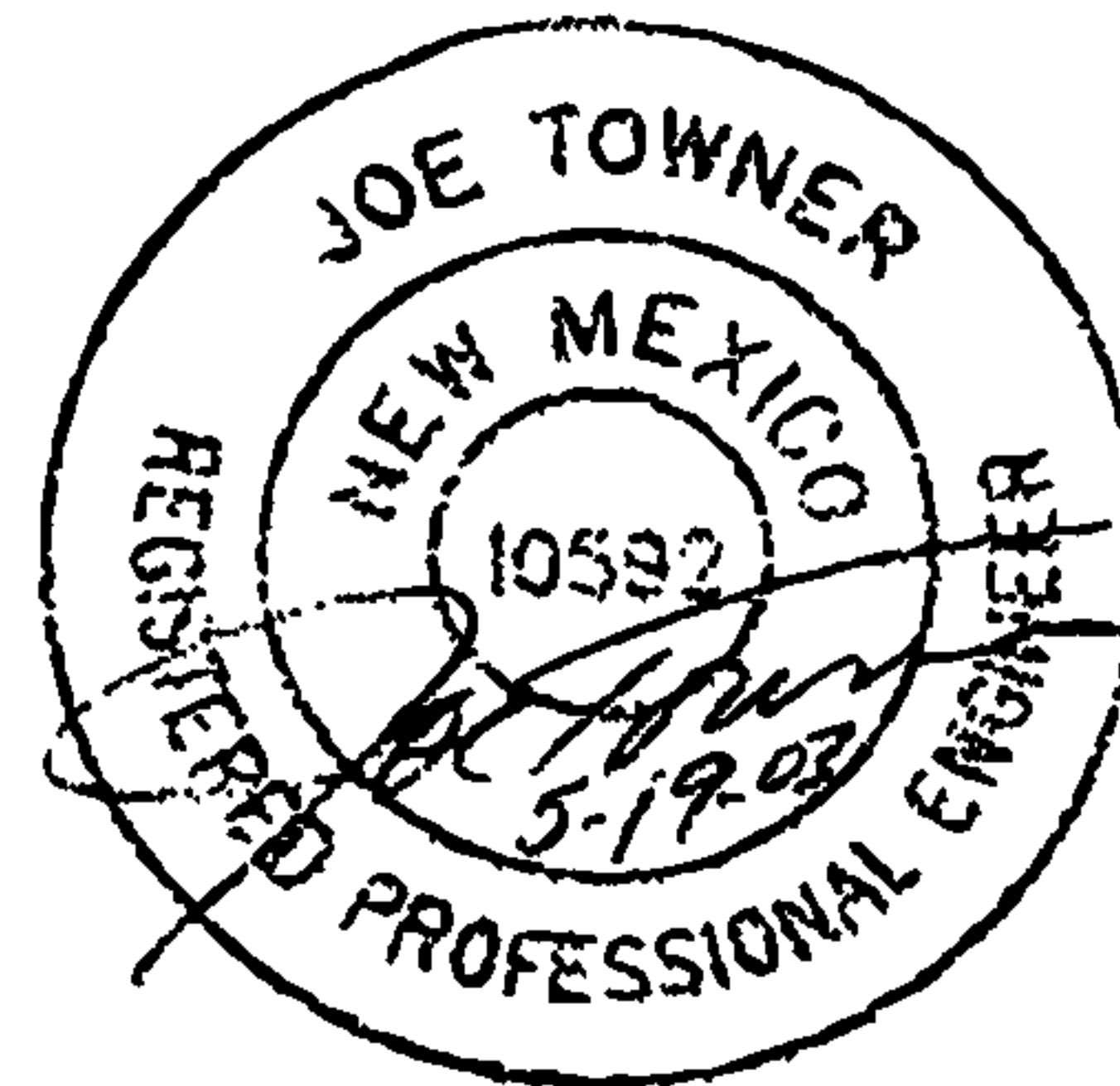
**TRAFFIC CERT W/VERIFICATION BY ENGINEER OF RECORD
5/15/03****TRAFFIC CERIFICATION**

I, Joe Towner, NMPE 10592, of the firm TES, herby certify that the project named the Family Dollar store at 5950 Gibson SE has been striped and completed in substantial compliance with and in accordance with the design intent of the approved plan dated 02/27/03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The recorded information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Joe Towner, NMPE 10592

May 15, 2003



TES
Towner Engineering Services
8205 Spain, NE, Ste. 205
Albuquerque, NM 87109

Facsimile Transmittal

To: Nilo Fax: 924-3864

From: Joe Towner Date: 05/20/2003

Re: Family Dollar Store Pages: 12

CC:

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

I have attached the revised traffic certification letter with the information on it. It is wet stamped. If you need the original, let me know.

Thank you for your help in this matter.

Karen S. Daniel for

Joe Towner

459-7504

TES
Towner Engineering Services
8205 Spain, NE, Ste 205
Albuquerque, NM 87109

facsimile transmittal

To: Nilo

Fax: 924-3864

From: Joe Towner

Date: 05/20/2003

Re: Family Dollar Store

Pages: 1

CC:

☐ Urgent

☐ For Review

☐ Please Comment

☐ Please Reply

☐ Please Recycle

The name of the project is the Family Dollar Store at 5950 Gibson SE. The contractor is Howard McCall.

Thank you for your help in this matter.

Karen S. Daniel for

Joe Towner

TES

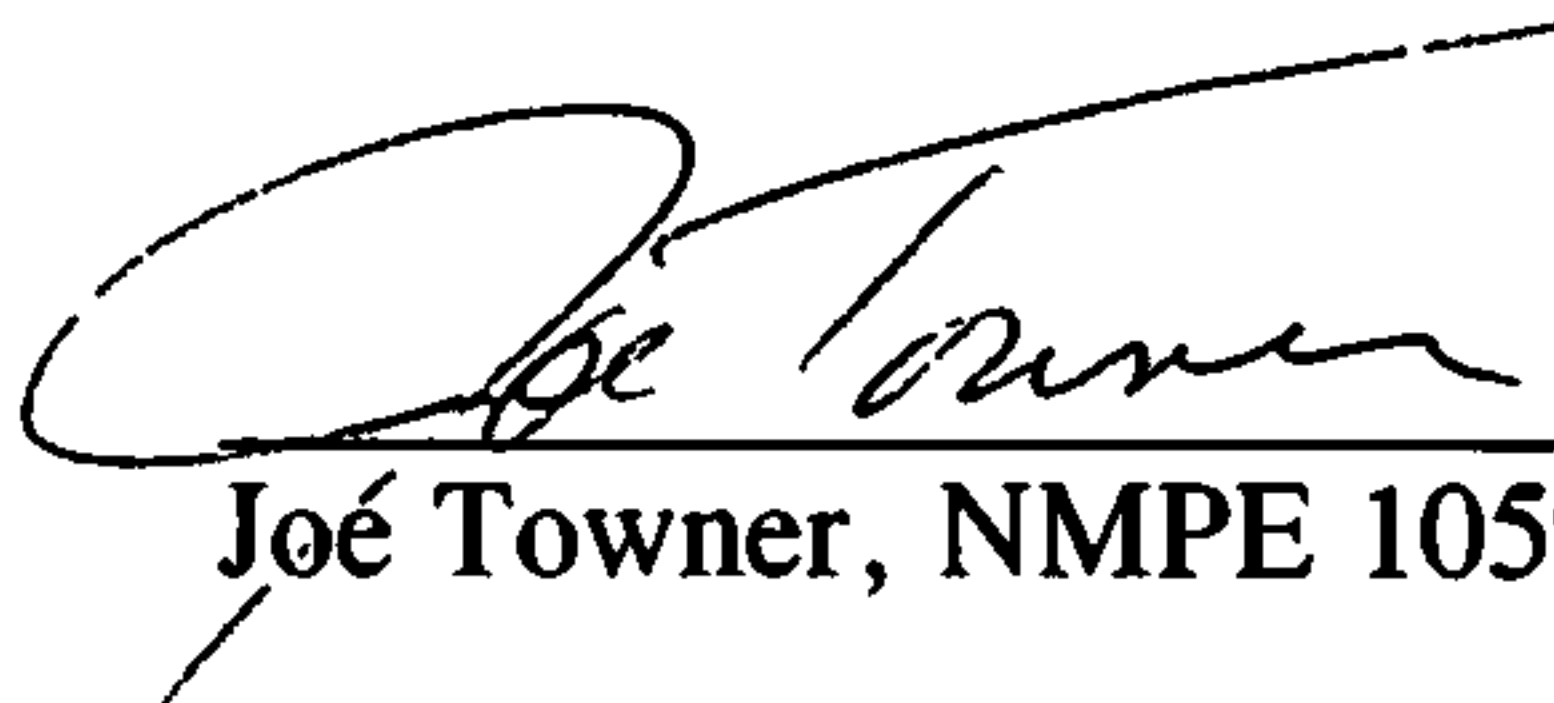
Towner Engineering Services, Inc.

TRAFFIC CERT W/VERIFICATION BY ENGINEER OF RECORD 5/15/03

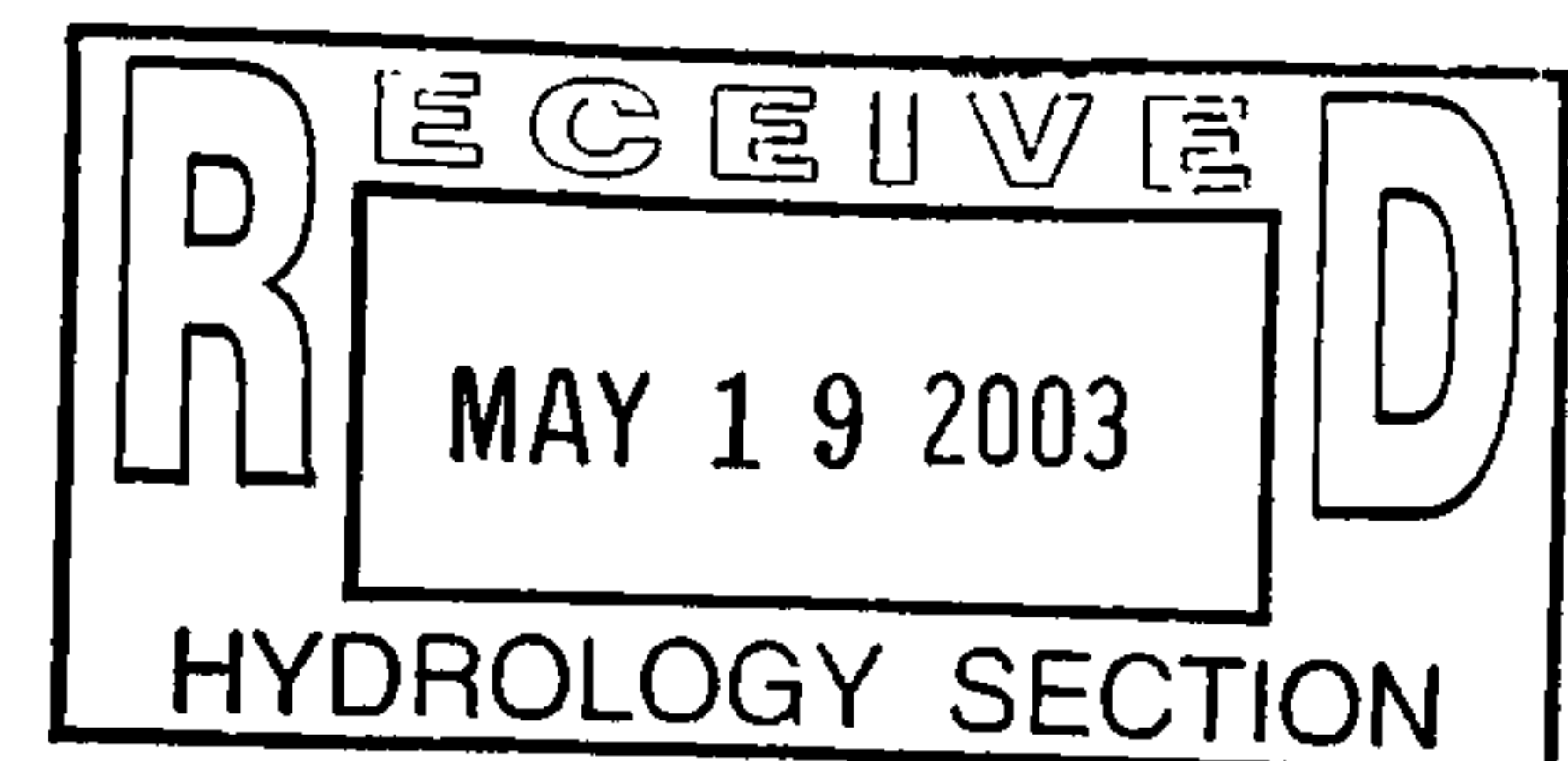
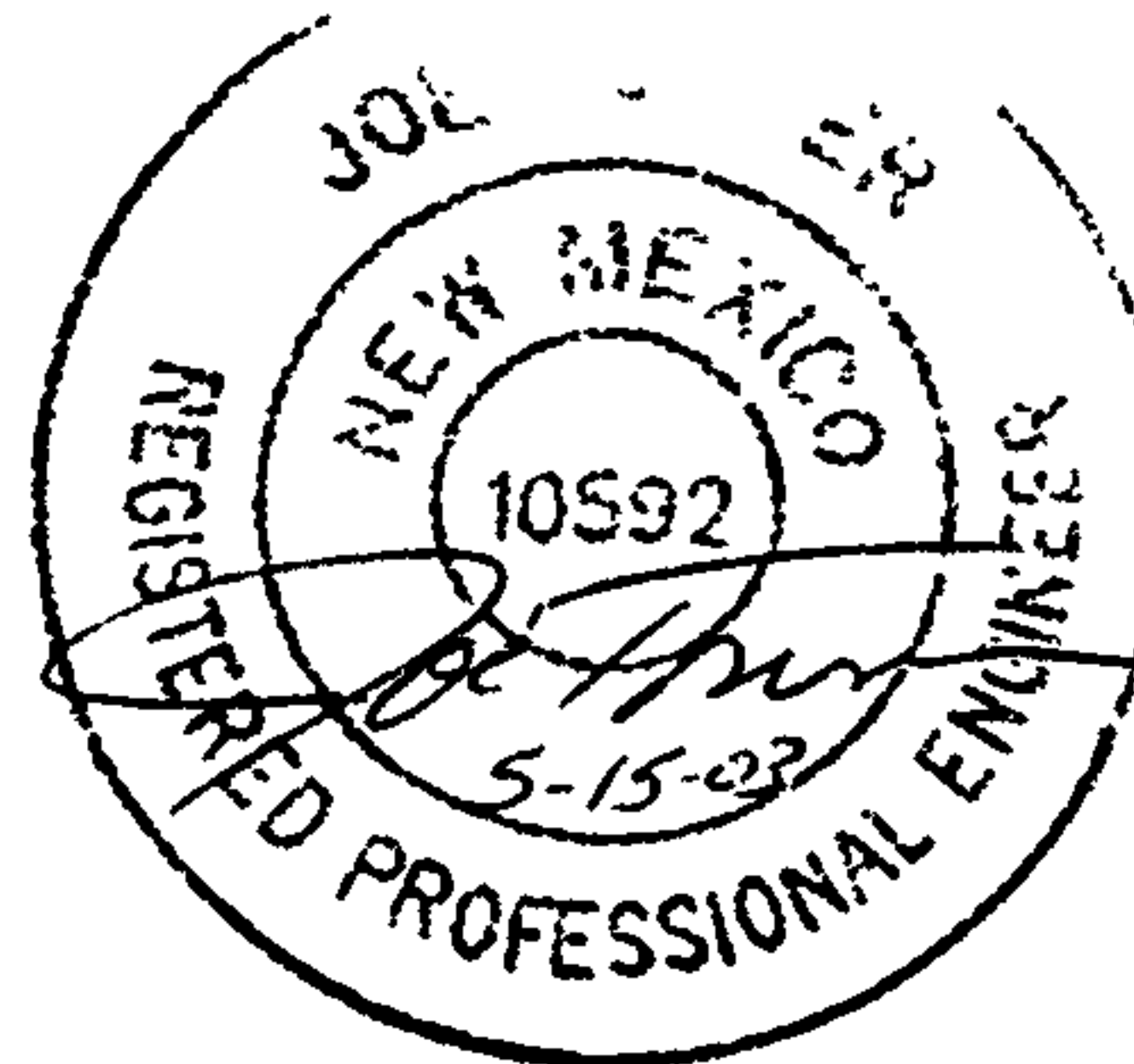
TRAFFIC CERIFICATION

I, Joe Towner, NMPE 10592, of the firm TES, herby certify that this project has been striped and completed in substantial compliance with and in accordance with the design intent of the approved plan dated 02/27/03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The recorded information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Joe Towner, NMPE 10592

May 15, 2003



PROJECT TITLE: LOVELACE SHUTTLE LOT ZONE ATLAS/DRNG. FILE #: MTB/D10
DRB #: _____ EPC #: _____ WORK ORDER #: 582681
LEGAL DESCRIPTION: TRACT G-2-A, SIESTA HILLS SUBD. No. 2.
CITY ADDRESS: _____
ENGINEERING FIRM: Jeff Mortensen & Assoc., Inc. CONTACT: Gary Bittner, PE
ADDRESS: 6010-B Midway Park Blvd. N.E. PHONE: 345-4250
OWNER: LOVELACE MEDICAL CENTER CONTACT: ENGINEER
ADDRESS: _____ PHONE: _____
ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: JEFF MORTENSEN & ASSOC. CONTACT: CHUCK CARR
ADDRESS: 6010-B MIDWAY PARK BLVD N.E. PHONE: 345-4250
CONTRACTOR: UNIVERSAL CONSTRUCTORS CONTACT: PAUL FISHER
ADDRESS: _____ PHONE: 881-0800

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

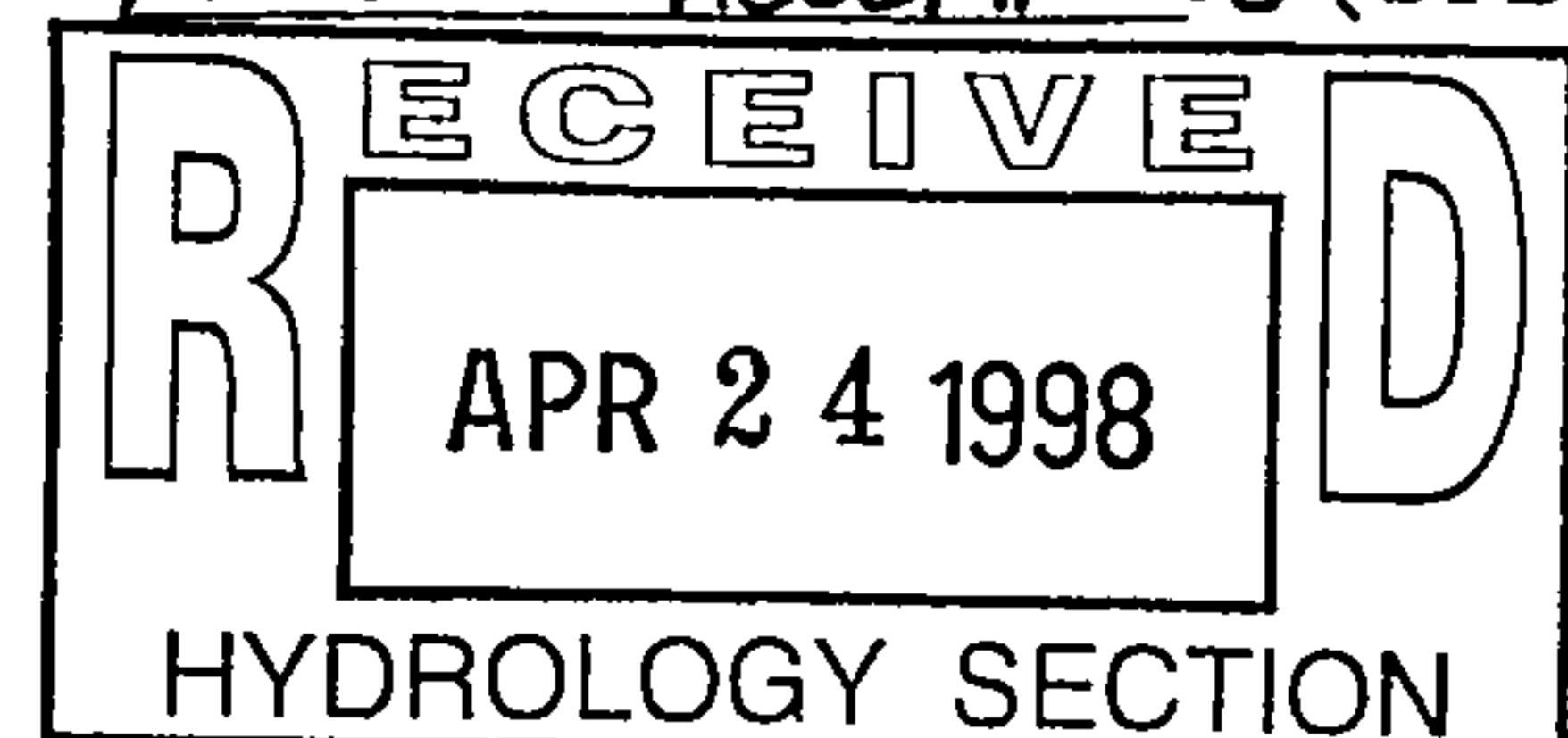
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☒ DRAINAGE REQUIREMENTS
☒ OTHER PROJECT ACCEPTANCE (SPECIFY)

DATE SUBMITTED:

4/23/98

BY:

Gary R. Bittner

TES

Towner Engineering Services, Inc.
8205 Spain NE, Suite 205
Albuquerque, New Mexico
USA 87109-3130

Joe Towner, PE
Consulting Engineer

Telephone: (505) 828-1930
Fax: (505) 828-1967
E-mail: Joetowner@aol.com
