

CITY OF ALBUQUERQUE



March 13, 2017

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

Re: Navin Properties LLC
1400 Britt SE
Traffic Circulation Layout
Engineer's Stamp dated 02-02-17 (M21-D005D)

Dear Mr. Biazar,

The TCL submittal received 02-06-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: NAVIN PROPERTIES LLC, 1400 BRITT, SE Building Permit #: _____ Hydrology File #: M210050

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 4, BLOCK 3, SANDIA RESEARCH PARK

City Address: 1400 BRITT ST., SE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____



TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 2-06-2017 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed *[Signature]* Date 3/13/17

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

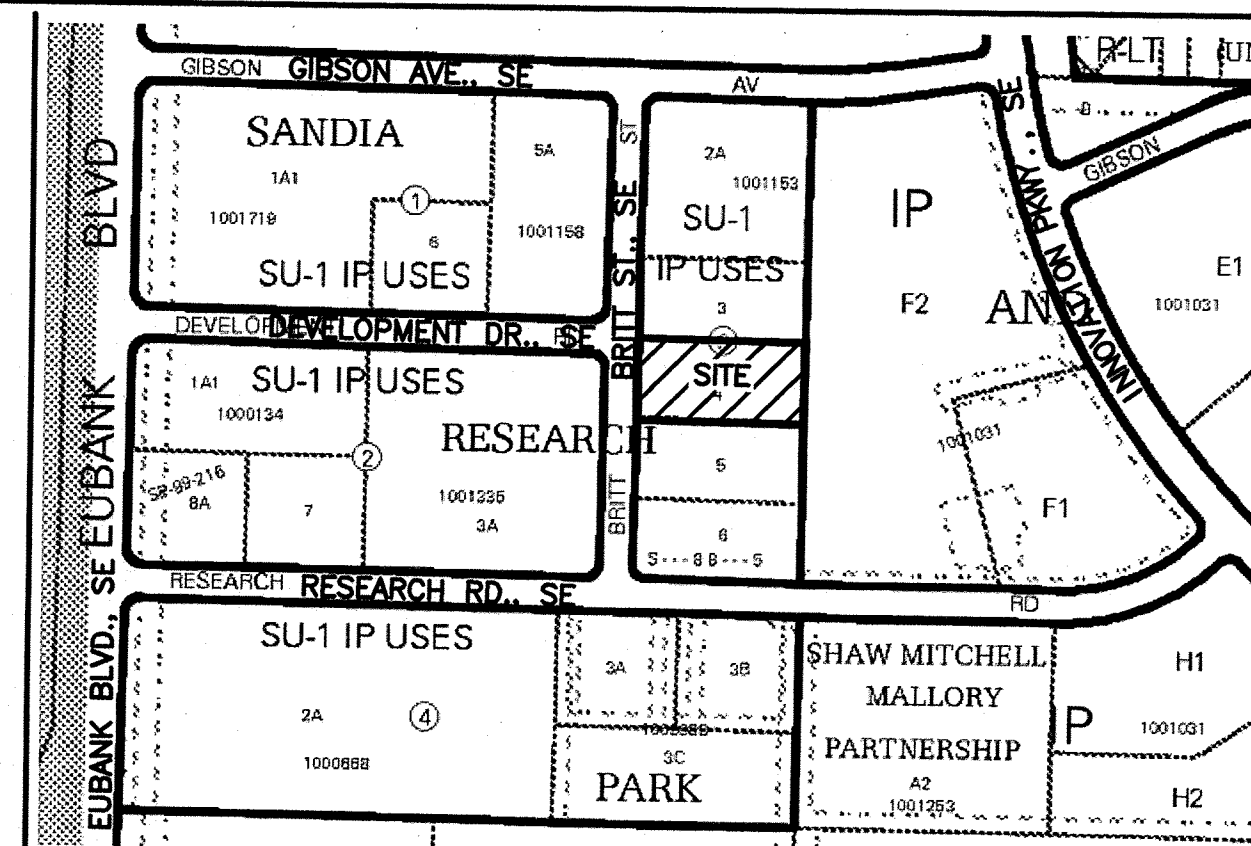
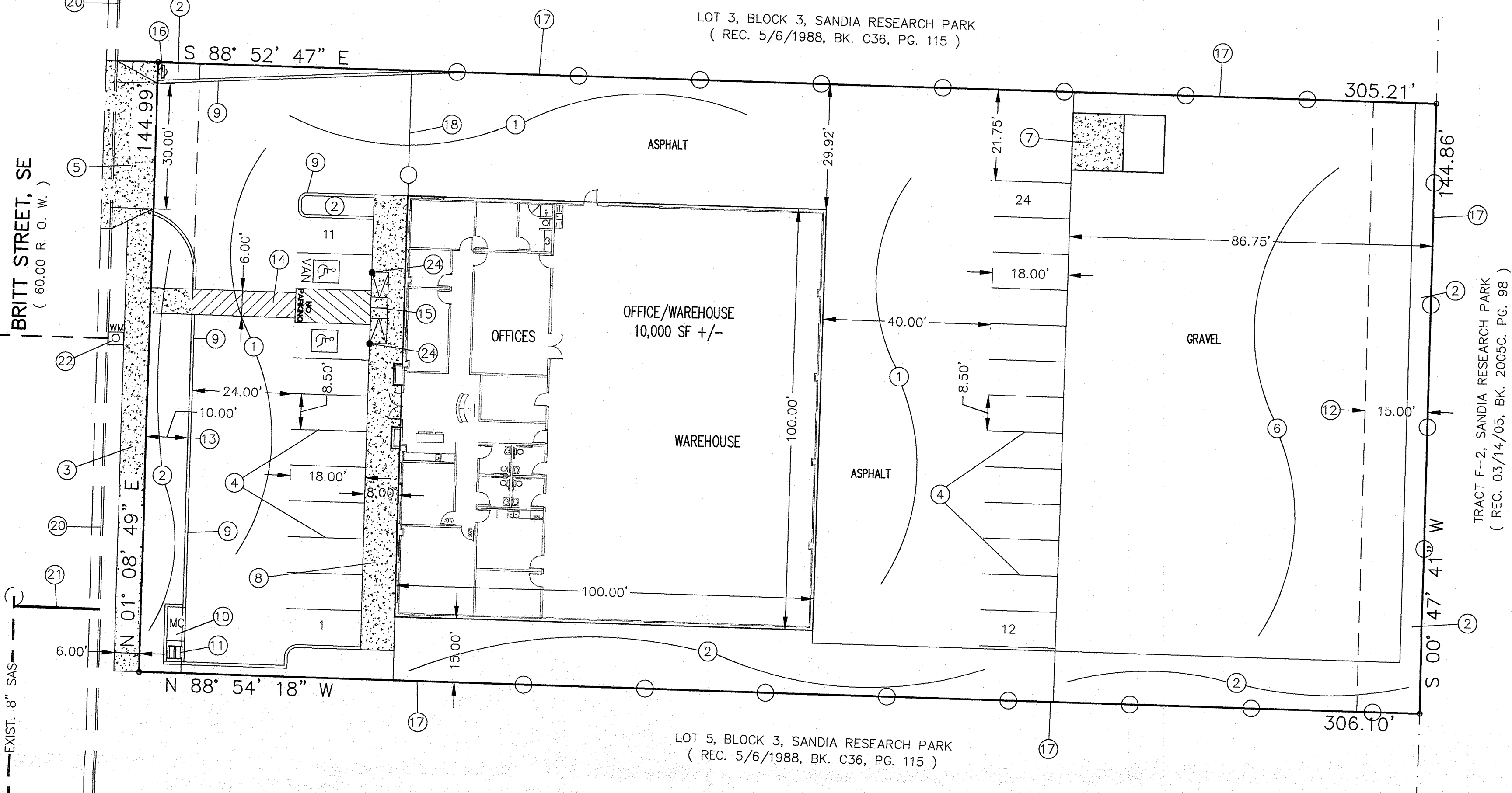
DEVELOPMENT DR., SE
(60.00 R. O. W.)

LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING CURB & GUTTER
- CHAIN LINK FENCE
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING DROP INLET
- PROPOSED SIDEWALK

BRITT STREET, SE
(60.00 R. O. W.)

EXIST. 8" SAS

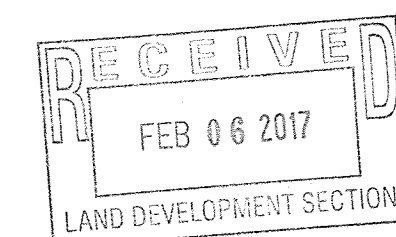


VICINITY MAP:

M-21-Z

LEGAL DESCRIPTION:

LOT 4, BLOCK 3, SANDIA RESEARCH PARK
CONTAINING 1.0169 ACRE
ZONING: SU-1 FOR IP USES
ADDRESS: 1400 BRITT ST., SE



SITE DATA

PROPOSED USAGE: OFFICE/WAREHOUSE
LOT AREA: 44,297.47 S.F. (1.0169 ACRE)

TOTAL BUILDING AREA: 10,000.00 S.F.

PARKING CALCULATIONS:

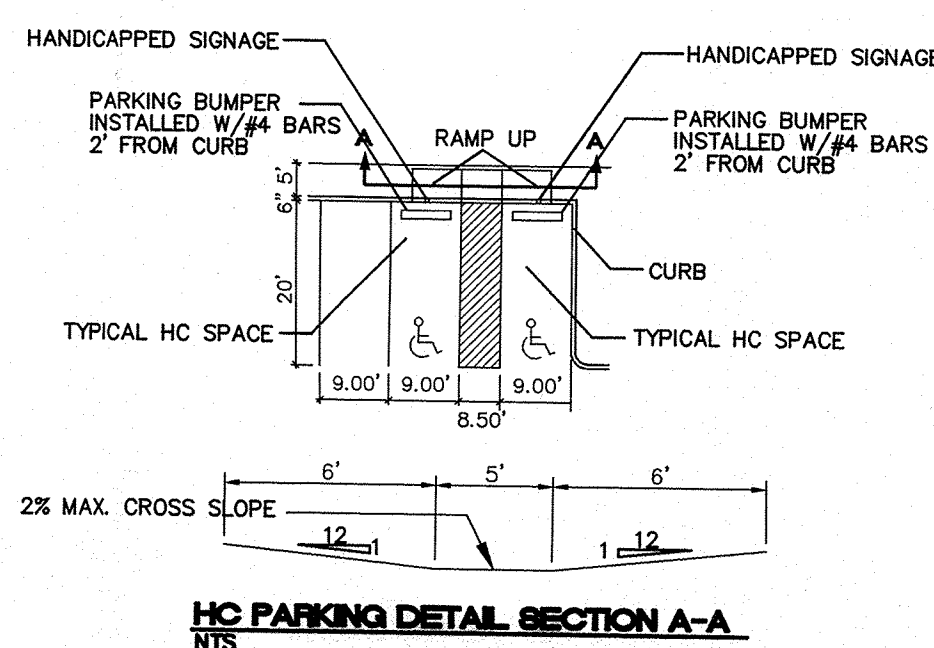
PARKING REQUIRED:
OFFICE (3,492 S.F.) 3,492 S.F./200 S.F. = 18 SPACES
WAREHOUSE (6,508 S.F.) 6,508/2,000 S.F. = 4 SPACES

TOTAL 22 SPACES

TOTAL PARKING REQUIRED: 22 SPACES
TOTAL PARKING PROVIDED: 24 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
HC PARKING PROVIDED: 2 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED: 1 SPACES
MOTORCYCLE SPACES PROVIDED: 1 SPACES
BICYCLE SPACES REQUIRED: 1 SPACES
BICYCLE SPACES PROVIDED: 2 SPACES

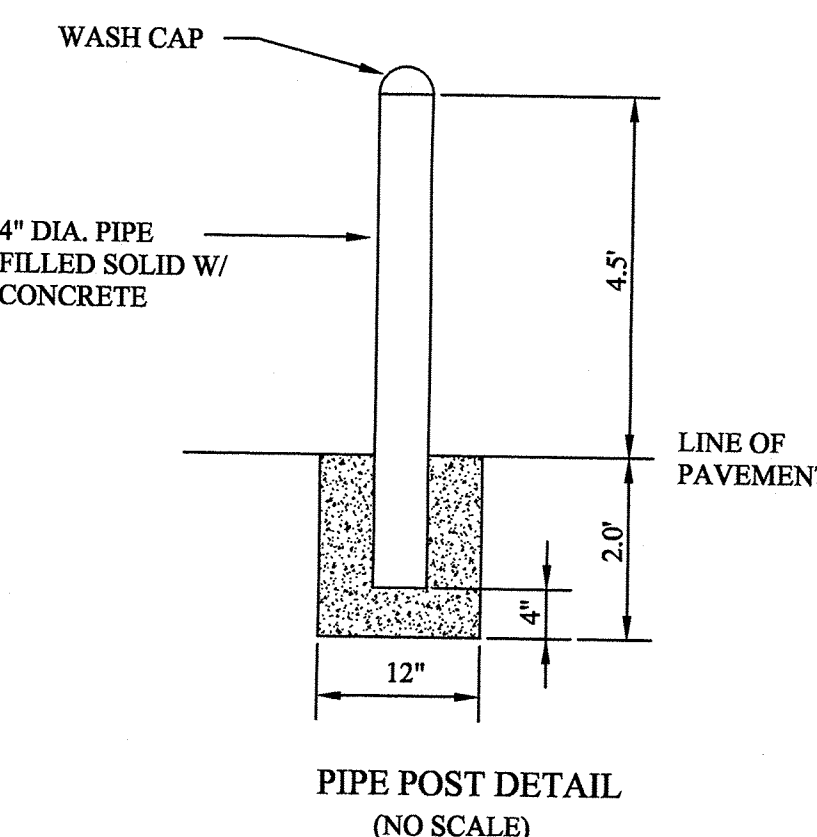
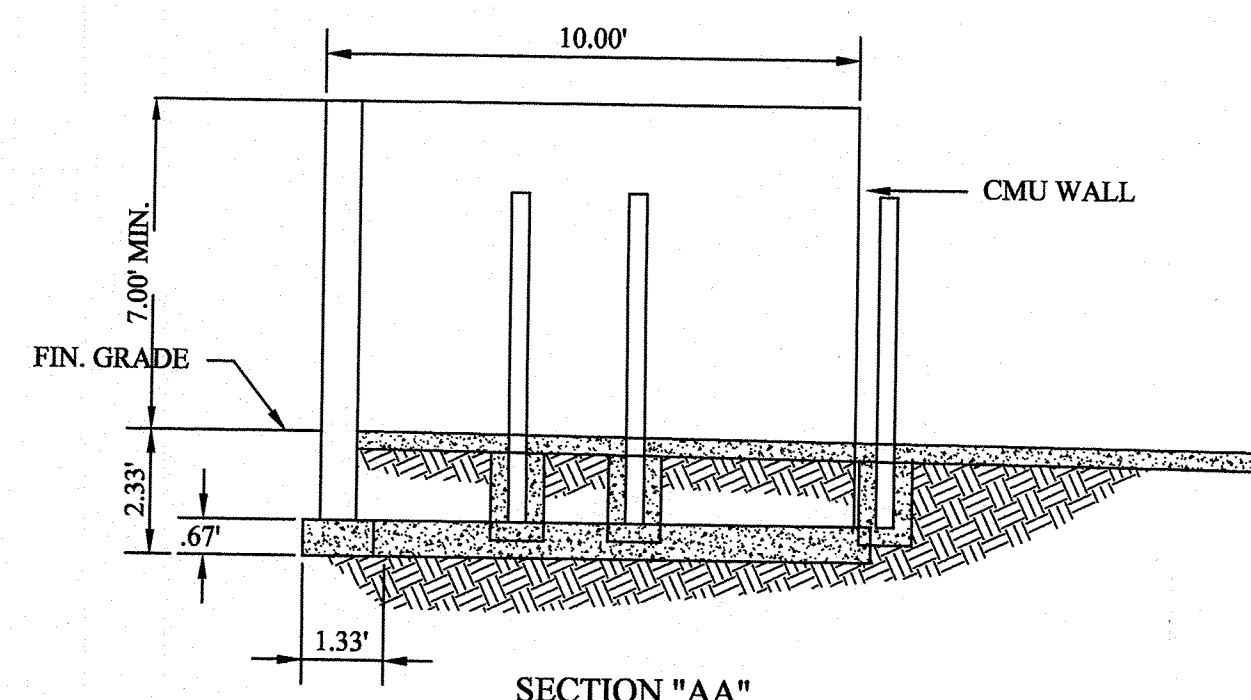
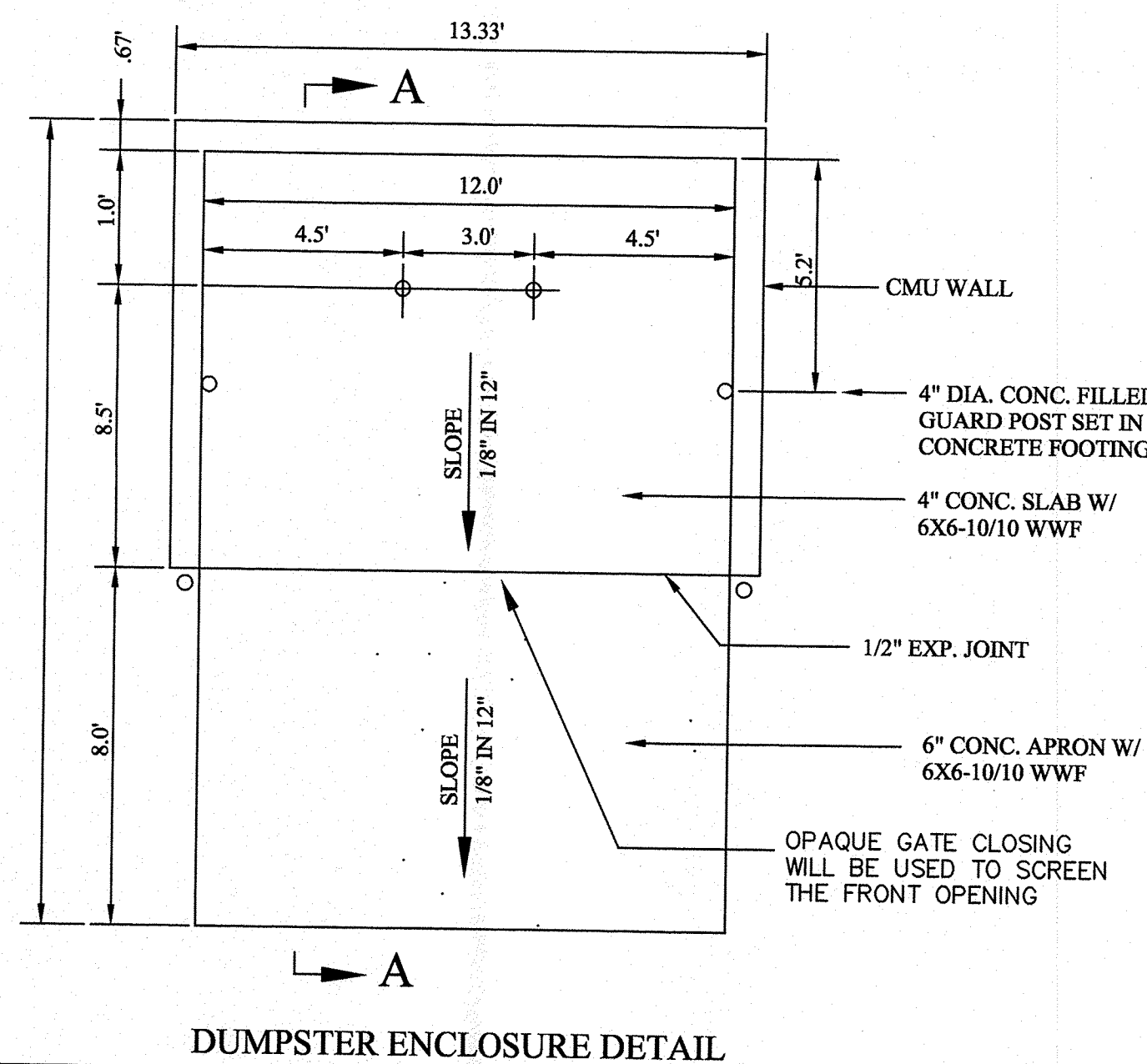
OKEYED NOTES:

1. ASPHALT PAVING AREA, TYP., ASPHALT OVER COMPACTED SUBGRADE.
2. LANDSCAPING AREA, TYP.
3. NEW 6" SIDEWALK, PER CITY STD. DWG.#2430
4. PROPOSED 8.50' WIDE X 18' DEEP PARKING SPACES, TYP.
5. NEW DRIVEWAY PER COA STD DWG.#2425
6. PROPOSED GRAVEL.
7. NEW TRASH ENCLOSURE PER COA STANDARDS, SEE DETAIL THIS SHEET.
8. NEW 6" SIDEWALK, 6" ABOVE ASPHALT.
9. PROPOSED 8" CURB, TYP.
10. NEW MOTORCYCLE PARKINGS (4'X8' MIN.)
11. BICYCLE RACK (2 BICYCLES).
12. EXISTING 15' TELEPHONE EASEMENT (C36-115, 5/6/88).
13. EXISTING 10' PMM AND MNT. BELL EASEMENT (C36-115, 5/8/88)..U.E.
14. 6' WIDE HATCHED PEDESTRIAN CROSSING.
15. WC RAMP PER COA STANDARD & ADA COMPLIANT.
16. PROPOSED STOP SIGN.
17. PROPOSED 6" HIGH CHAIN LINK FENCE.
18. PROPOSED GATE.
19. PROPOSED FIRST FLUSH PONDING.
20. EXISTING CURB & GUTTER, TYP.
21. EXISTING 4" SANITARY SEWER SERVICE.
22. EXISTING 1" WATER SERVICE.
23. EXISTING FIRE HYDRANT.
24. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"



GENERAL NOTES:

1. SITE LIGHTING WILL BE BUILDING-MOUNTED, LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES.
2. THE SIGNAGE WILL CONSIST OF BUILDING MOUNTED SIGN. SEE DETAIL ON THE ELEVATION PLAN, SHEET 4 OF 4. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE ZONING CODE SEC. 14-16-3-5 AND IP ZONE SIGNAGE REQUIREMENT.
3. THIS SITE PLAN CONFORMS WITH THE REQUIREMENTS OF THE IP, INDUSTRIAL PARK ZONE.
4. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
5. BUILDINGS:
BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT.
BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEET 4 OF 4.



REZA AFAGHPOUR
P.E. #11814

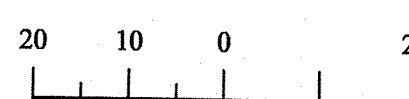
**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

NAVIN PROPERTIES, LLC
1400 BRITT ST., SE
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201632-SITE-GD.DWG	SH-B	12-20-2016	1

GRAPHIC SCALE



SCALE: 1"=20'

LAST REVISION: 12-27-16