

CITY OF ALBUQUERQUE



January (MA)

~~December~~ 9, 2018

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

Re: NAVIN Properties LLC, 1400 Britt, SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 2-2-17 (M21D005D)
Certification dated 1-3-18

Dear Mr. Biazar,

Based upon the information provided in your submittal received 1-5-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505)924-3630.

Albuquerque

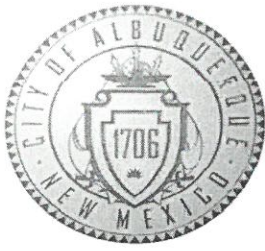
Sincerely,

NM 87103

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

MA/LP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: NAVIN PROPERTIES LLC, 1400 BRITT, SE Building Permit #: _____ Hydrology File #: M21-D005D
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 4, BLOCK 3, SANDIA RESEARCH PARK
City Address: 1400 BRITT ST., SE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____



TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 1-04-2018 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

SBS CONSTRUCTION AND ENGINEERING, LLC

DECEMBER 26, 2017

TRAFFIC ENGINEERING, PLANNING DEPT.
DEVELOPMENT AND BUILDING PERMIT
600 2nd STREET, SW ALBUQUERQUE, NM 87102

RE: 1400 BRITT, SE, NAVIN PROPERTIES
FINAL CERTIFICATE OF OCCUPANCY (M21-D005D)

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN PORTION COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT. I HAVE VISITED THE SITE AND ALL THE CURB & GUTTERS, PAVING, DRIVEWAYS, PONDS AND LANDSCAPING ARE COMPLETED. THERE ARE SOME CHANGES TO THE ORIGINAL APPROVED SITE PLAN FOR BUILDING PERMIT THAT IT IS REFLECTED IN THE ATTACHED DRAWING.

I AM REQUESTING FINAL CERTIFICATE OF OCCUPANCY FOR THE BURGER KING AND STARBUCKS STORE. IF YOU SHOULD HAVE ANY QUESTIONS REGARDING THIS CERTIFICATION, DO NOT HESITATE TO CALL ME AT 505-804-5013.



REZA AFAGHPOUR, PE

1/3/2018

DATE



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed 3/13/17
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

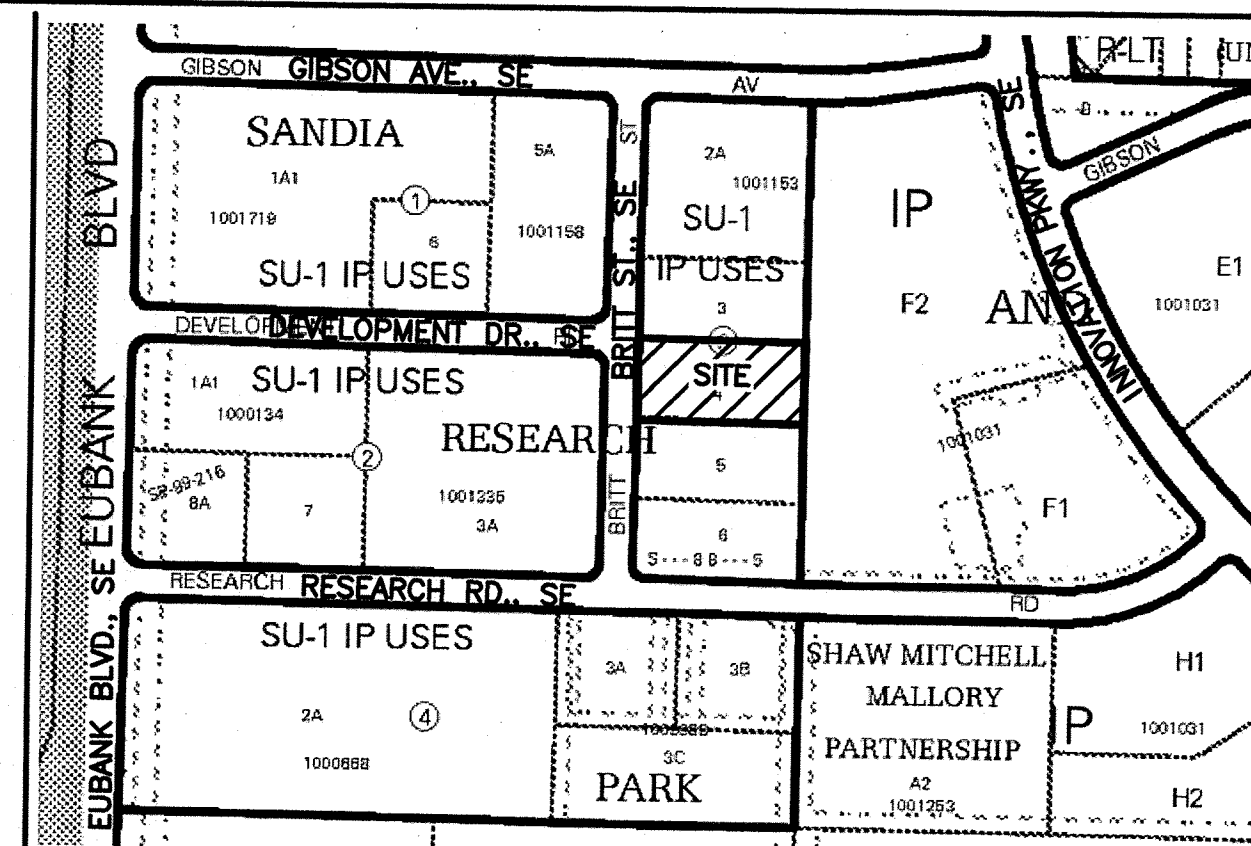
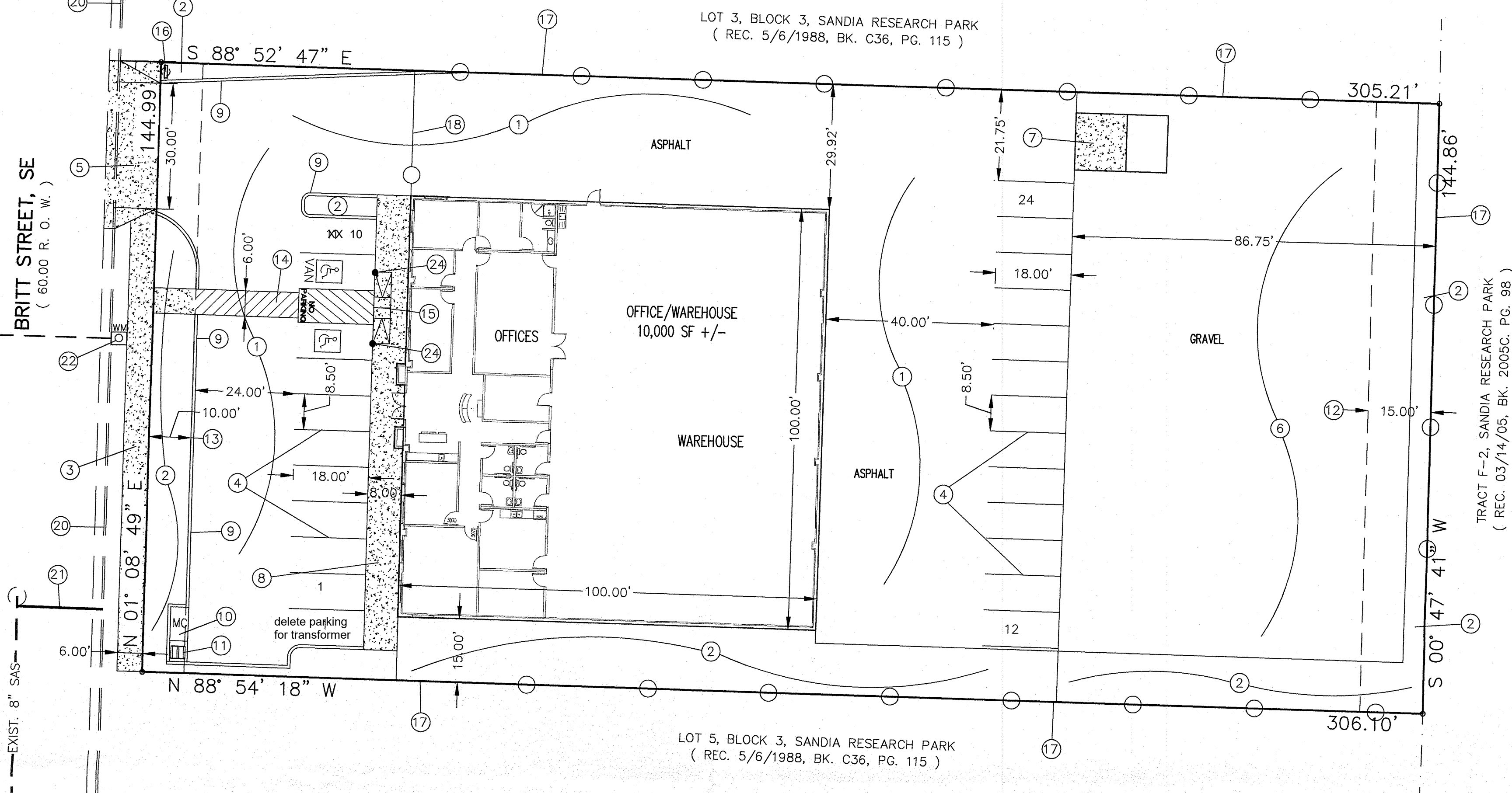
DEVELOPMENT DR., SE
(60.00 R. O. W.)

LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING CURB & GUTTER
- CHAIN LINK FENCE
- EXISTING SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING DROP INLET
- PROPOSED SIDEWALK

BRITT STREET, SE
(60.00 R. O. W.)

EXIST. 8" SAS

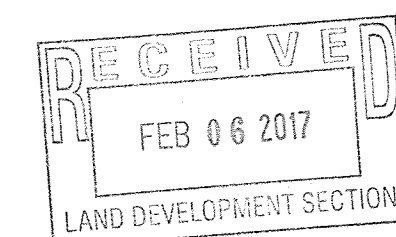


VICINITY MAP:

M-21-Z

LEGAL DESCRIPTION:

LOT 4, BLOCK 3, SANDIA RESEARCH PARK
CONTAINING 1.0169 ACRE
ZONING: SU-1 FOR IP USES
ADDRESS: 1400 BRITT ST., SE



SITE DATA

PROPOSED USAGE: OFFICE/WAREHOUSE
LOT AREA: 44,297.47 S.F. (1.0169 ACRE)

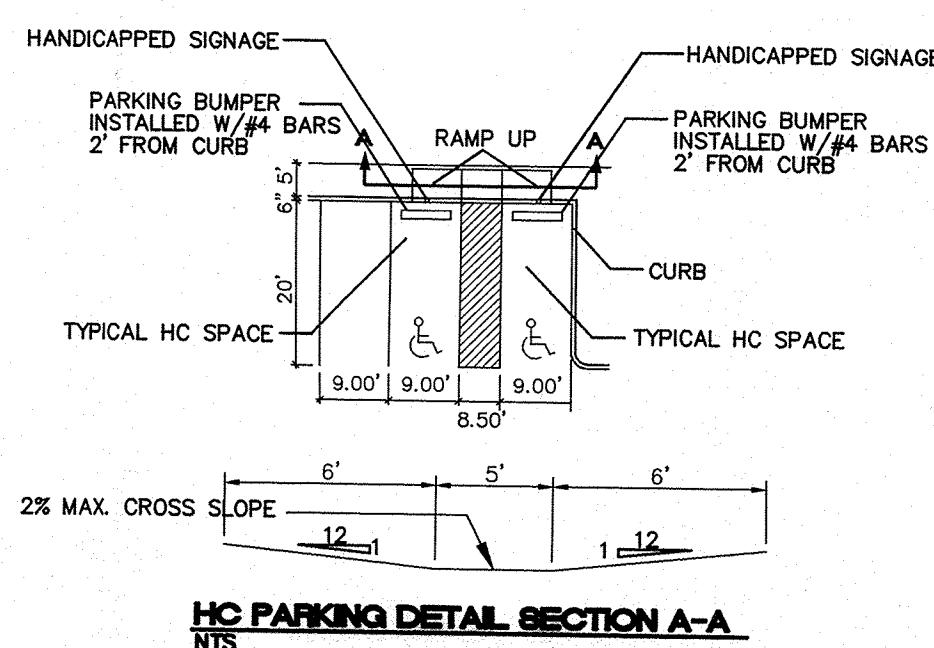
TOTAL BUILDING AREA: 10,000.00 S.F.

PARKING CALCULATIONS:

PARKING REQUIRED:		
OFFICE (3,492 S.F.)	3,492 S.F./200 S.F.	= 18 SPACES
WAREHOUSE (6,508 S.F.)	6,508/2,000 S.F.	= 4 SPACES
TOTAL		22 SPACES
TOTAL PARKING REQUIRED:		22 SPACES
TOTAL PARKING PROVIDED:	23	24 SPACES
HC PARKING REQUIRED:		1 SPACES (1 VAN)
HC PARKING PROVIDED:		2 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:		1 SPACES
MOTORCYCLE SPACES PROVIDED:		1 SPACES
BICYCLE SPACES REQUIRED:		1 SPACES
BICYCLE SPACES PROVIDED:		2 SPACES

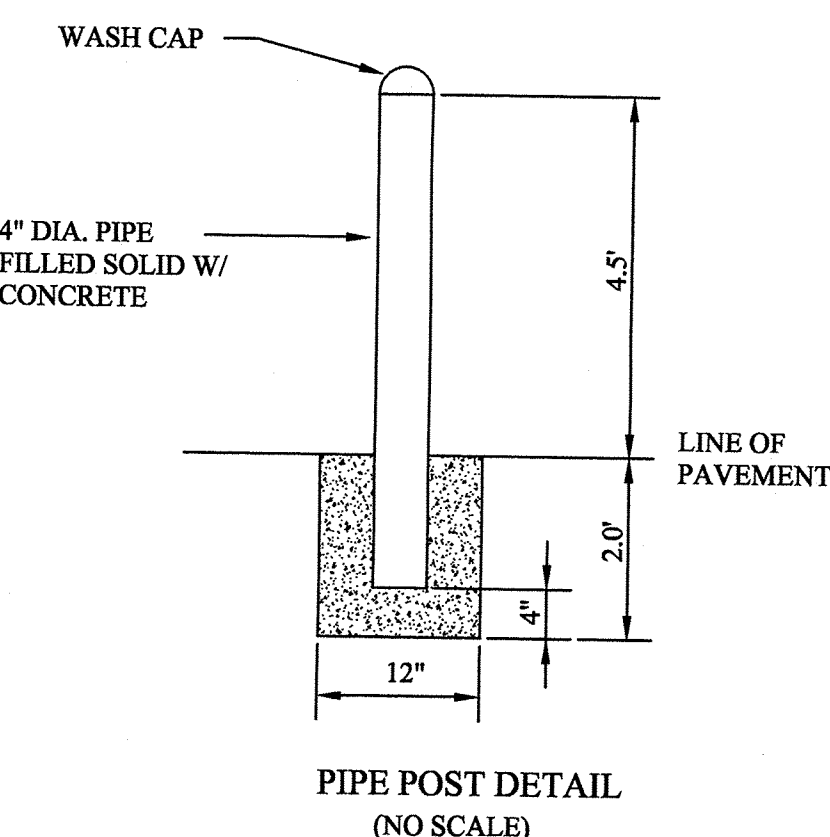
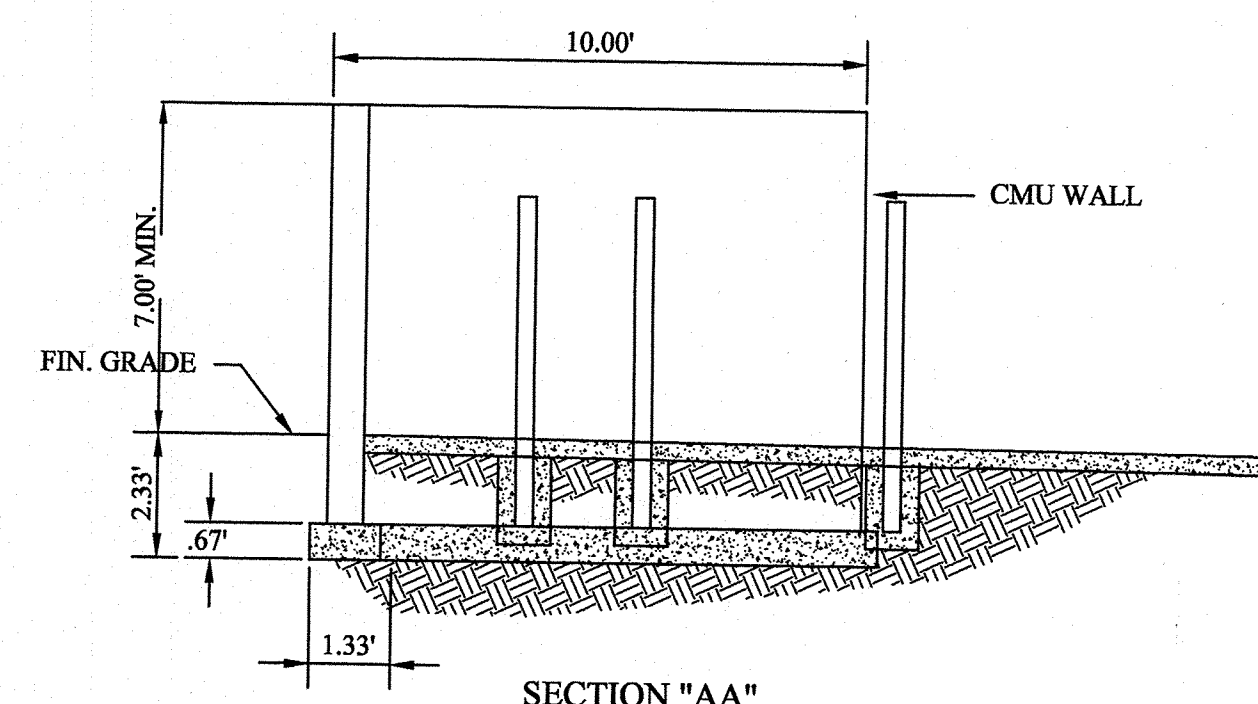
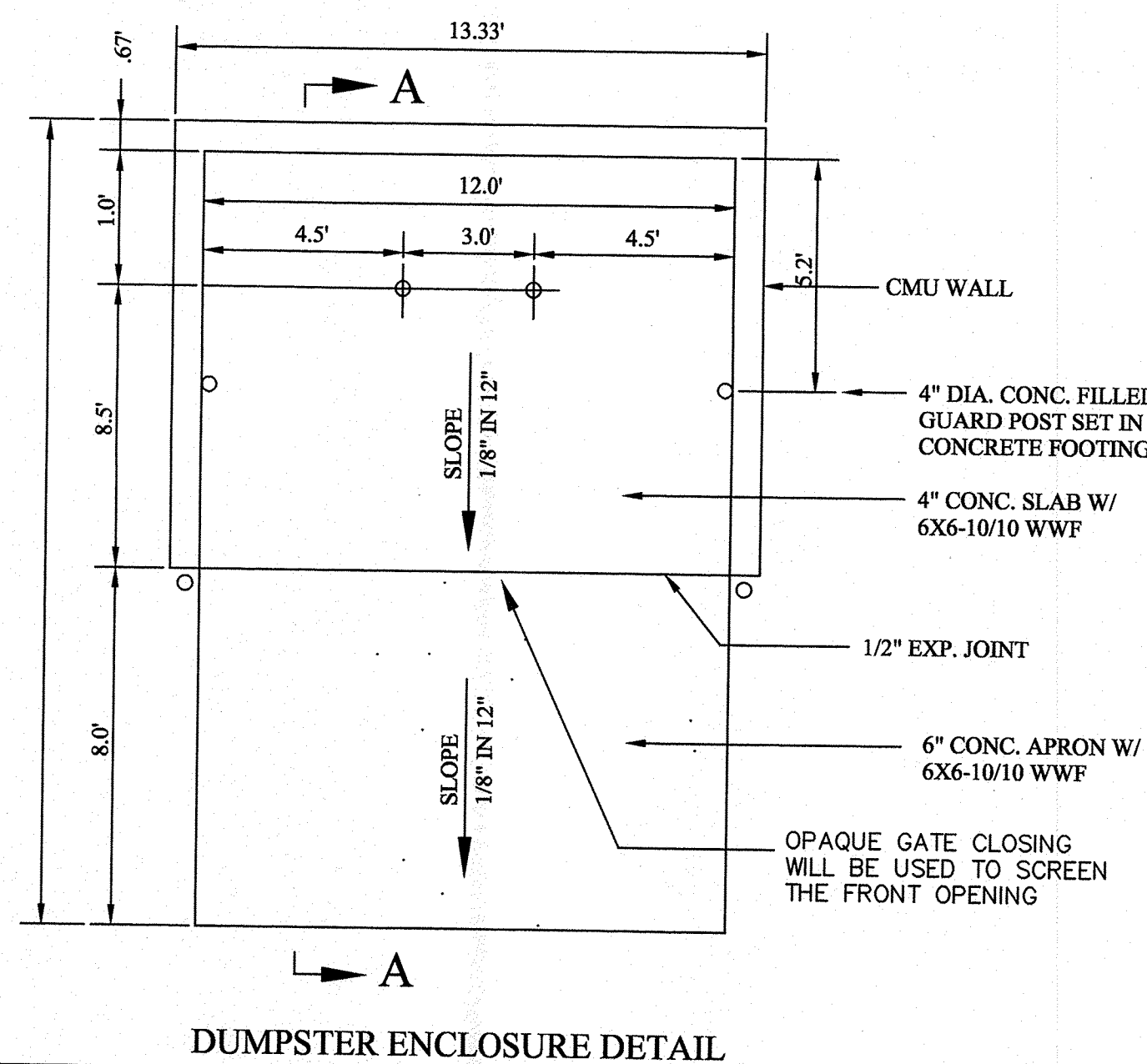
OKEYED NOTES:

- ASPHALT PAVING AREA, TYP., ASPHALT OVER COMPACTED SUBGRADE.
- LANDSCAPING AREA, TYP.
- NEW 6" SIDEWALK, PER CITY STD. DWG.#2430
- PROPOSED 8.50' WIDE X 18' DEEP PARKING SPACES, TYP.
- NEW DRIVEWAY PER COA STD DWG.#2425
- PROPOSED GRAVEL.
- NEW TRASH ENCLOSURE PER COA STANDARDS, SEE DETAIL THIS SHEET.
- NEW 6" SIDEWALK, 6" ABOVE ASPHALT.
- PROPOSED 8" CURB, TYP.
- NEW MOTORCYCLE PARKINGS (4'X8' MIN.)
- BICYCLE RACK (2 BICYCLES).
- EXISTING 15' TELEPHONE EASEMENT (C36-115, 5/6/88).
- EXISTING 10' PMM AND MNT. BELL EASEMENT (C36-115, 5/8/88)..U.E.
- 6' WIDE HATCHED PEDESTRIAN CROSSING.
- WC RAMP PER COA STANDARD & ADA COMPLIANT.
- PROPOSED STOP SIGN.
- PROPOSED 6" HIGH CHAIN LINK FENCE.
- PROPOSED GATE.
- PROPOSED FIRST FLUSH PONDING.
- EXISTING CURB & GUTTER, TYP.
- EXISTING 4" SANITARY SEWER SERVICE.
- EXISTING 1" WATER SERVICE.
- EXISTING FIRE HYDRANT.
- HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"



GENERAL NOTES:

- SITE LIGHTING WILL BE BUILDING-MOUNTED, LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES.
- THE SIGNAGE WILL CONSIST OF BUILDING MOUNTED SIGN. SEE DETAIL ON THE ELEVATION PLAN, SHEET 4 OF 4. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE ZONING CODE SEC. 14-16-3-5 AND IP ZONE SIGNAGE REQUIREMENT.
- THIS SITE PLAN CONFORMS WITH THE REQUIREMENTS OF THE IP, INDUSTRIAL PARK ZONE.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- BUILDINGS:
BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT.
BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEET 4 OF 4.



REZA AFAGHPOUR
P.E. #11814

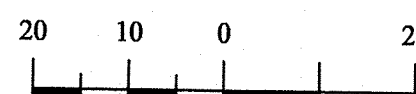
**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

NAVIN PROPERTIES, LLC
1400 BRITT ST., SE
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201632-SITE-GD.DWG	SH-B	12-20-2016	1

GRAPHIC SCALE



SCALE: 1"=20'

LAST REVISION: 12-27-16