

# 1 C1.1 GRADING & DRAINAGE

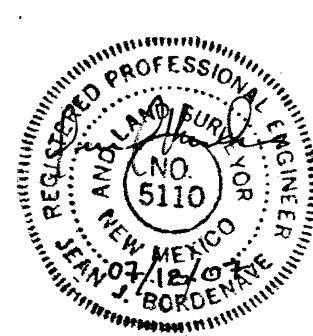
SCALE: 1" = 20'

0 10' 20' 40' 80'

SEE SHEET C1.2 (CIVIL DETAILS) FOR 'OFFSITE DRAINAGE' AND 'DRAINAGE DATA'.  
SEE ARCHITECTURAL SHEETS FOR DEMO ITEMS.  
NEW TC AND TS SHALL BE 6" ABOVE ADJACENT TA.

## ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09/18/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF IT'S ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



## LEGEND

TBM	TEMPORARY BENCHMARK	LP	LIGHT POLE
NG	NATURAL GROUND	PP	POWER POLE
FF	FINISH FLOOR	CW	GUY WIRE
FG	FINISH GRADE	PED	ELEC. OR TEL. PEDESTAL
FL	FLOWLINE	RD	ROOF DRAINAGE POINT
TA	TOP OF ASPHALT		
TCP	TOP OF CONCRETE		
TC	TOP OF CURB		
TS	TOP OF SIDEWALK		
TW	TOP OF WALL	XX.XX	EXISTING CONTOUR
FH	FIRE HYDRANT	XX.XX	PROPOSED CONTOUR
WM	WATER METER	XX.XX	EXISTING SPOT ELEVATION
WV	WATER VALVE	XX.XX	PROPOSED SPOT ELEVATION
MH	MANHOLE	XX.XX	RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		
GM	GAS METER		
GV	GAS VALVE		

## SITE CONDITIONS

**EXISTING CONDITION**  
THE SITE IS PRESENTLY DEVELOPED WITH ONE BUILDING, WITH SEVERAL OUTDOOR EQUIPMENT FACILITIES AND PARKING LOT. THE WESTERLY HALF OF THE ROOF, THE EQUIPMENT AREA AND THE PARKING AREA DRAIN TO AN EXISTING SIDEWALK CULVERT TO EUBANK AT THE SOUTHWEST CORNER OF THE SITE AND THE EASTERLY HALF OF THE ROOF AND SIDE YARD DRAIN TO A SIDEWALK CULVERT TO RESEARCH AT THE SOUTHEAST CORNER OF THE SITE. OFFSITE FLOWS ARE LIMITED TO THE LOT EAST OF THE SITE WHICH IS PRESENTLY UNDEVELOPED. THIS REPORT ASSUMES THE OFFSITE AREA WILL CONTINUE TO ENTER THE SITE UNTIL THE LOT IS DEVELOPED.

**PROPOSED CONDITION**  
THE EXISTING BUILDING AND THE SOUTHERLY PORTION OF THE PARKING AREA WILL REMAIN. THE OUTDOOR EQUIPMENT AREA WILL BE REPLACED BY A BUILDING ADDITION AND THE NORTHERLY PORTION OF THE PARKING LOT WILL BE RECONFIGURED TO INCLUDE AN OUTDOOR EMPLOYEE AREA AND BUILDING ENTRY AREA. EXISTING WATER, SANITARY SEWER AND GAS SERVICE ARE TO REMAIN AND ALTERED AS SHOWN ON THIS SHEET. THE NEW BUILDING ADDITION AND A PORTION OF THE OUTDOOR EMPLOYEE AREA ARE TO BE ROUTED TO EUBANK VIA A NEW SIDEWALK CULVERT AT THE NORTHWEST CORNER OF THE SITE.

## KEYED NOTES

1. TURNDOWN SIDEWALK. SEE DETAIL SHEET C1.2.
2. HEADER CURB. SEE DETAIL SHEET C1.2.
3. CURB & GUTTER. SEE DETAIL SHEET C1.2.
4. NEW ASPHALT (HATCHED AREA). SEE DETAIL SHEET C1.2.
5. REMOVE EXISTING DRIVEPAD. BUILD 30 FOOT WIDE DRIVEPAD DETAIL. SEE CITY OF ALBUQUERQUE STD. DWG. 2425, SECTION E-E.
6. 12" DRY STREAM. SEE DETAIL SHEET C1.2.
7. 2-3" PVC PIPES THRU WALL OR 2 CMU'S ON EDGE AT GROUND LEVEL TO PROVIDE FOR DRAINAGE.
8. 1 BARREL 18" WIDE SIDEWALK CULVERT. SEE CITY OF ALBUQUERQUE STD. DWG. 2236.
9. EXTEND 3/4" WATER LINE INTERNALLY FROM EXISTING SPIGOT, TO BUILDING CONNECTIONS. SEE PLUMBING DRAWINGS.
10. EXTEND 4" SANITARY SEWER SERVICE FROM EXISTING CLEANOUT TO NEW BUILDING CONNECTIONS & REFUSE AREA. SEE PLUMBING DRAWINGS.
11. SANITARY SEWER CLEANOUT. SEE DETAIL SHEET C1.2.
12. RELOCATE GAS METER TO NORTH SIDE OF NEW BUILDING. SEE MECHANICAL DRAWINGS.
13. REFUSE ENCLOSURE w/8"x8" AREA DRAIN & 3" PVC OUTLET TO SANITARY SEWER SERVICE. AREA DRAIN GRATE ELEV. 69.85. SEE ARCHITECTURAL DRAWINGS.
14. CONCRETE PARKING BUMPERS.

## SO19 NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL AT 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE SIDEWALK CULVERT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

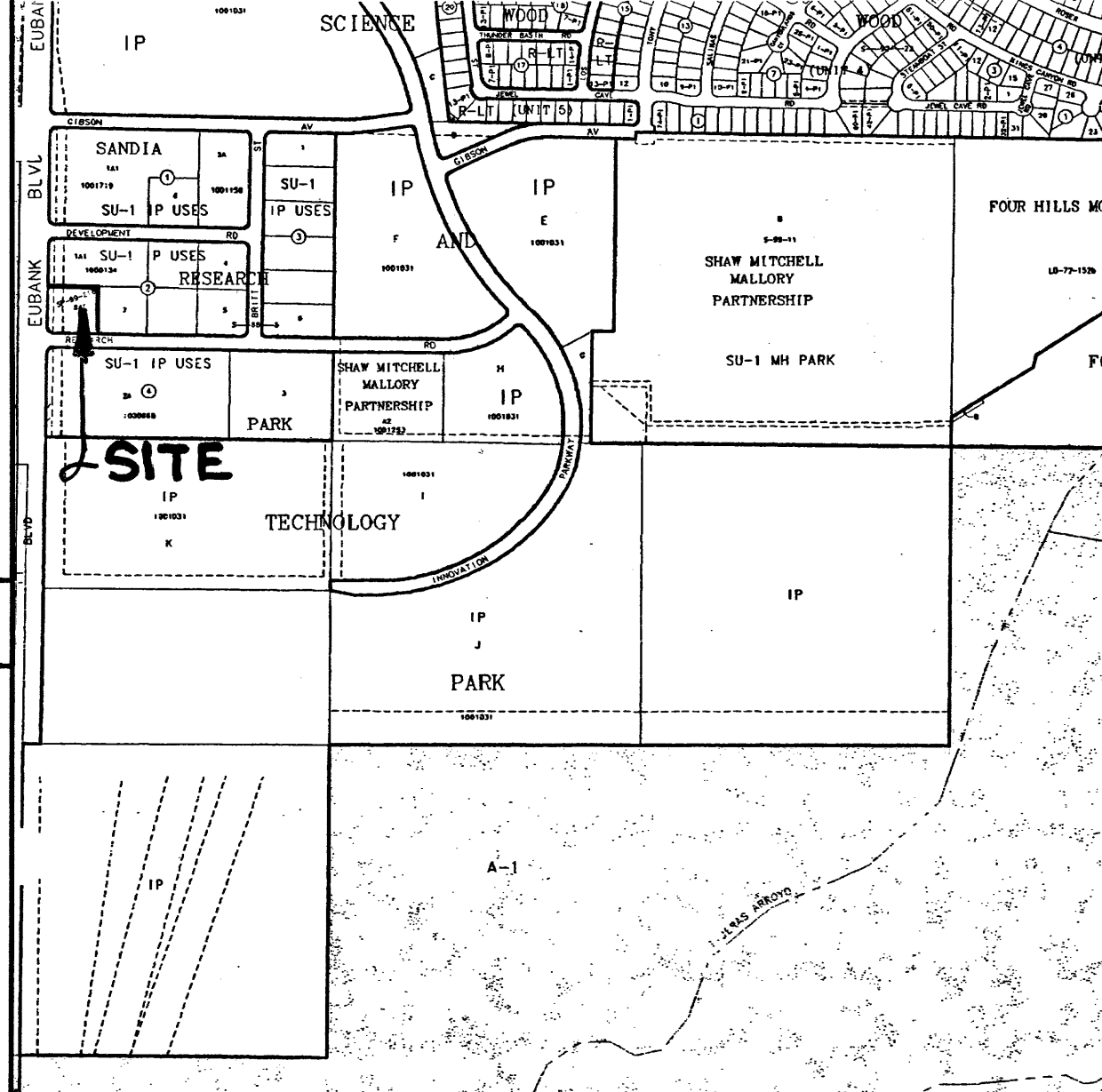
## GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

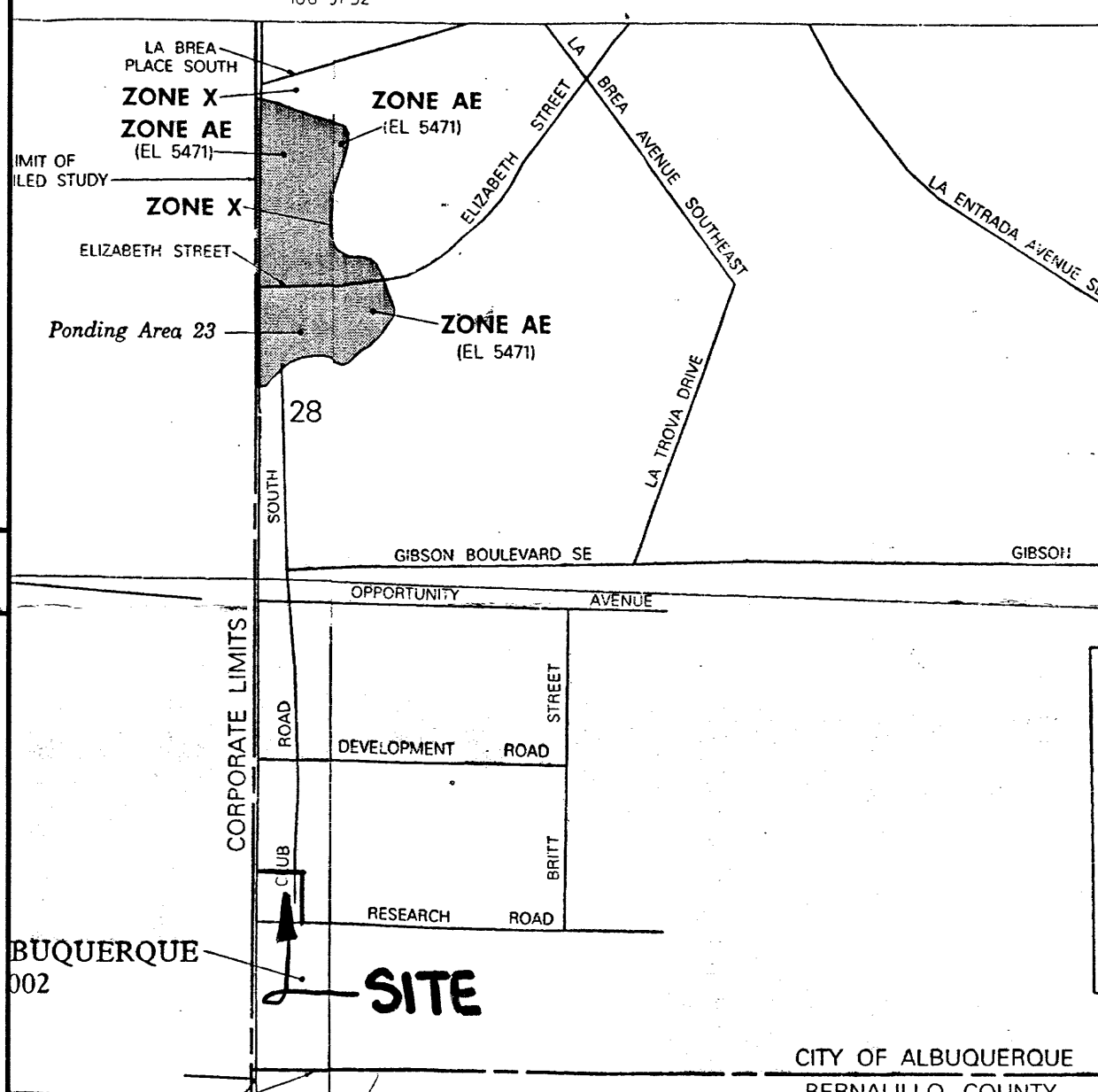
## EROSION NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

## VICINITY MAP NO. M-21



## FEMA FIRM MAP NO. 366/367



## LEGAL DESCRIPTION

LOT 8-A, BLOCK 2, SANDIA RESEARCH PARK

## PERMANENT BENCHMARK

ACS 10-L21 ELEVATION 5466.64 (NGVD 1929)

## ANALYTICAL SOLUTIONS

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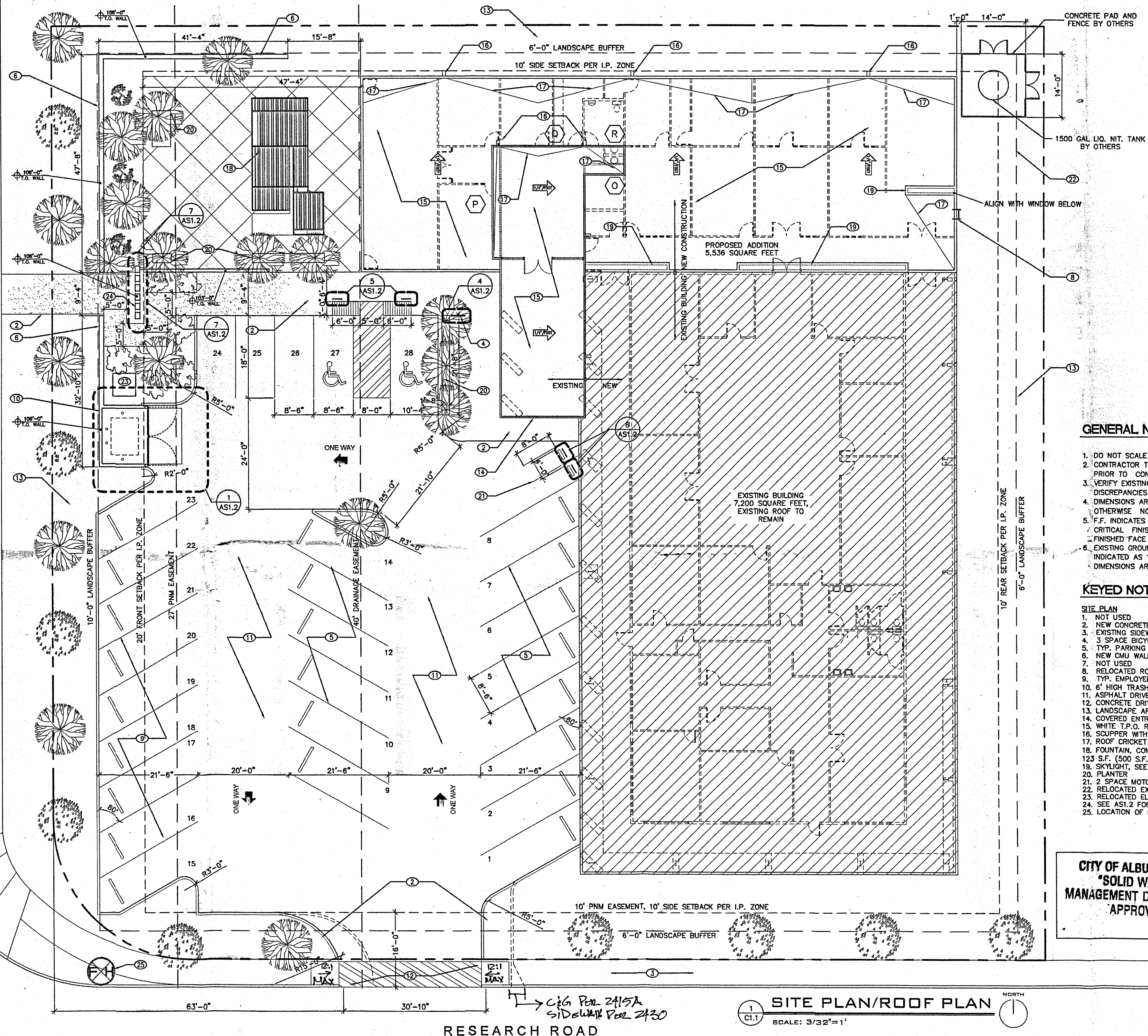
date: August 8, 2006  
drawn by: GDD, eh, std

C1.1

sequence no. 01



EUBANK BLVD.  
11' ROW



RESEARCH ROAD

SITE PLAN/ROOF PLAN

SCALE: 3/32"=1'



CONCRETE PAD AND  
FENCE BY OTHERS

1500 GAL LIQ. NIT. TANK  
BY OTHERS

ALIGN WITH WINDOW BELOW

PROPOSED ADDITION  
5,536 SQUARE FEET

EXISTING BUILDING  
NEW CONSTRUCTION

EXISTING NEW

EXISTING BUILDING  
7,200 SQUARE FEET,  
EXISTING ROOF TO  
REMAIN

### GENERAL NOTES

- DO NOT SCALE DRAWINGS
- CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
- VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT
- DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
- F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
- EXISTING GROUND FLOOR SLAB ELEVATION INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

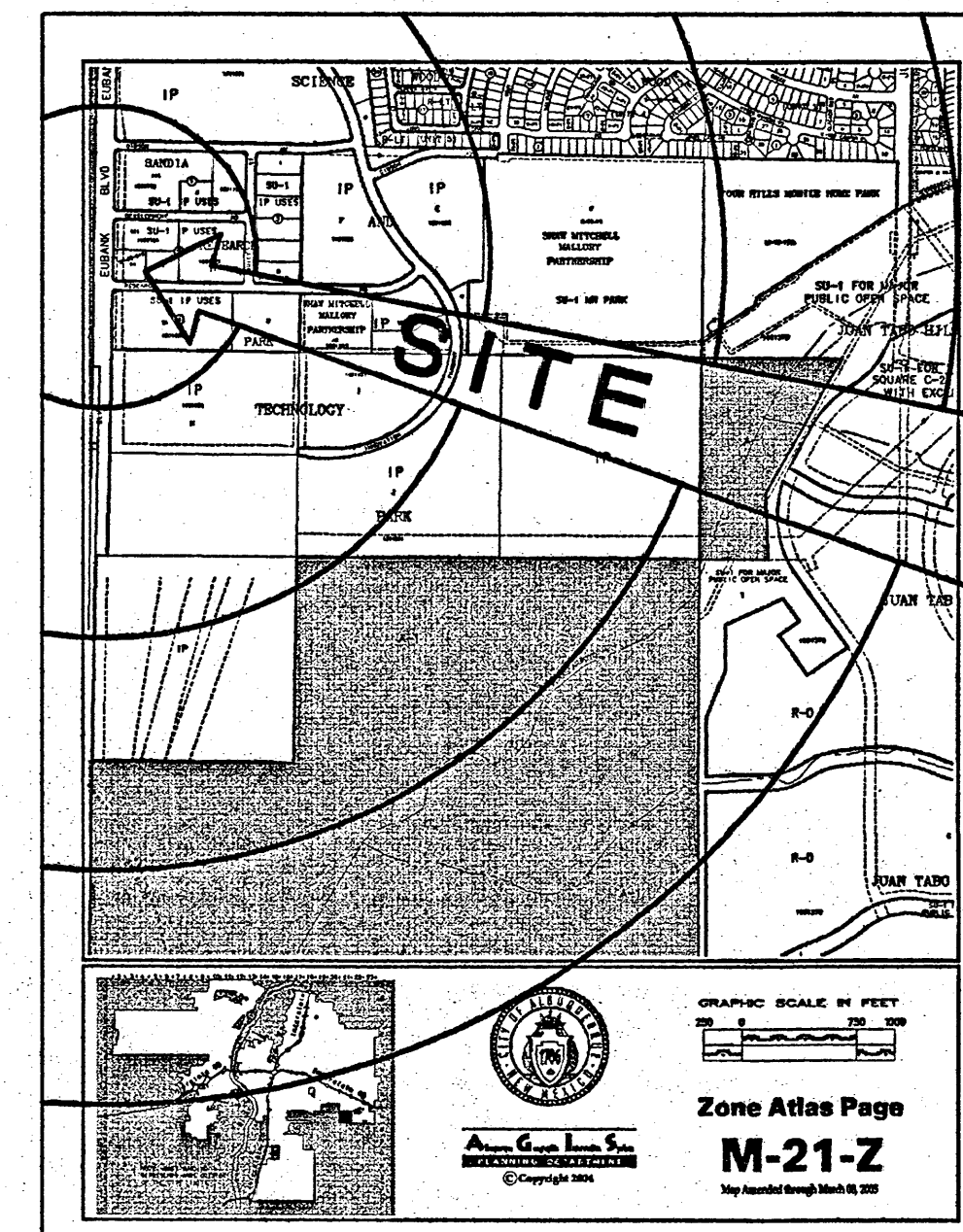
### KEYED NOTES

#### SITE PLAN

- NOT USED
- NEW CONCRETE SIDEWALK
- EXISTING SIDEWALK TO REMAIN
- 3 SPACE BICYCLE RACK
- TYP. PARKING STALL
- NEW CMU WALL, STUCCO
- NOT USED
- RELOCATED ROOF LADDER
- TYP. EMPLOYEE PARKING STALL
- 6" HIGH TRASH ENCLOSURE
- ASPHALT DRIVE LOT
- CONCRETE DRIVE APRON PER COA STD DWG 2425
- LANDSCAPE AREA
- COVERED ENTRY
- WHITE T.P.O. ROOFING
- SCUPPER WITH SPLASHBLOCK BELOW
- ROOF CRICKET
- FOUNTAIN, COMPLIES WITH § 6-1-1-9(1) [AREA IS 123 S.F. (500 S.F. MAX)]
- SKYLIGHT, SEE A4.1
- PLANTER
- 2 SPACE MOTORCYCLE PARKING STALL
- RELOCATED EXISTING LIQUID NITROGEN EQUIPMENT.
- RELOCATED ELECTRICAL TRANSFORMER.
- SEE ASI.2 FOR WALL ELEVATION.
- LOCATION OF EXISTING FIRE HYDRANT

### PARKING CALCULATIONS:

PARKING REQUIRED PER  
CITY ZONING CODE:  
MANUFACTURING AND WHOLESALE: 1  
SPACE PER 1,000 SQUARE FEET OF  
NET LEASABLE AREA  
11,656 NET LEASABLE AREA,  
12 PARKING SPACES REQUIRED  
28 PARKING SPACES PROVIDED



ZONE ATLAS MAP

SCALE: N.T.S.

CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED 7/20/06  
M.H.

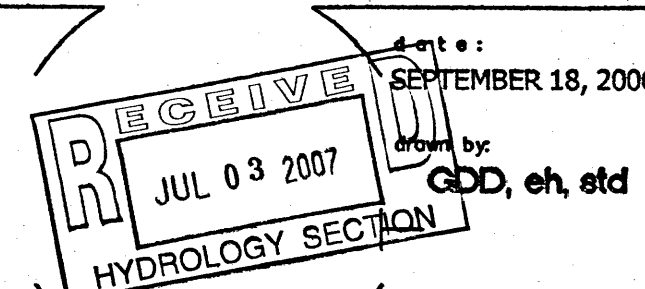
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ASI.1

sequence no. 01