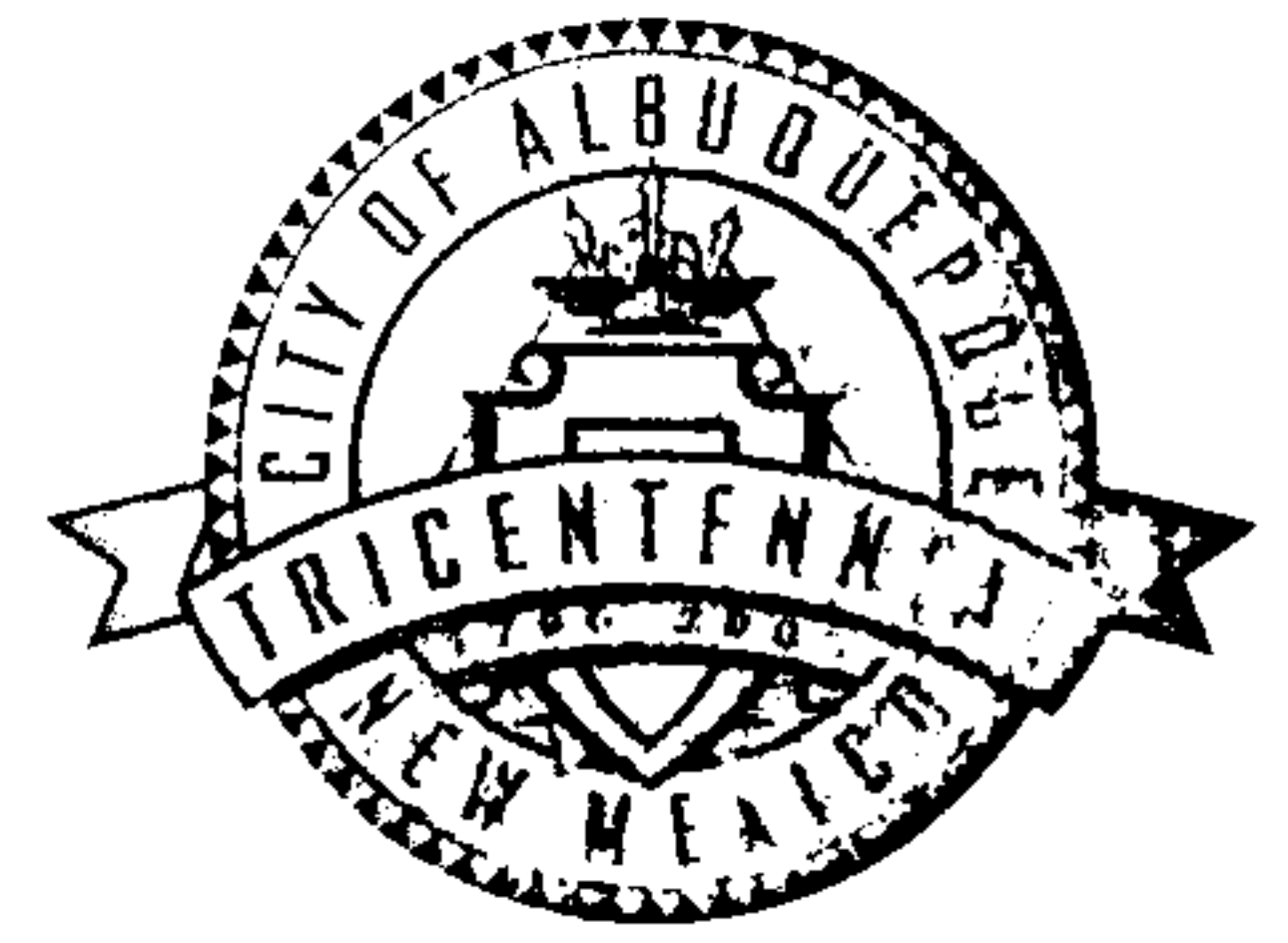


CITY OF ALBUQUERQUE



October 24, 2006

Mr. Jeff Wooten, P.E.
WOOTEN ENGINEERING
5017 Sanbusco Drive NE
Rio Rancho, NM 87144

Re: EMCORE, PHASE 4
10420 Research Road SE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 05/17/2006 (M21/D5H)
Certification dated 10/17/2006

P.O. Box 1293 Dear Jeff,

Albuquerque

Based upon the information provided in your submittal received 10/24/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Emcore Phase 4 ZONE MAP/DRG. FILE # M-21/D54
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 2A Block 4, Sandia Research Park
CITY ADDRESS: 10420 Research Road SE

ENGINEERING FIRM: Wooten Engineering CONTACT: Jeff Wooten
ADDRESS: 5017 Sanbusco Dr NE PHONE: (505) 771-8038
CITY, STATE: Rio Rancho, NM ZIP CODE: 87144

OWNER: Emcore CONTACT: Greg Hoeffler
ADDRESS: _____ PHONE: 505-332-5000
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Ann Marie Dennis
ADDRESS: 6801 Jefferson NE PHONE: 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Jaynes Corporation CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Jaynes Corporation CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

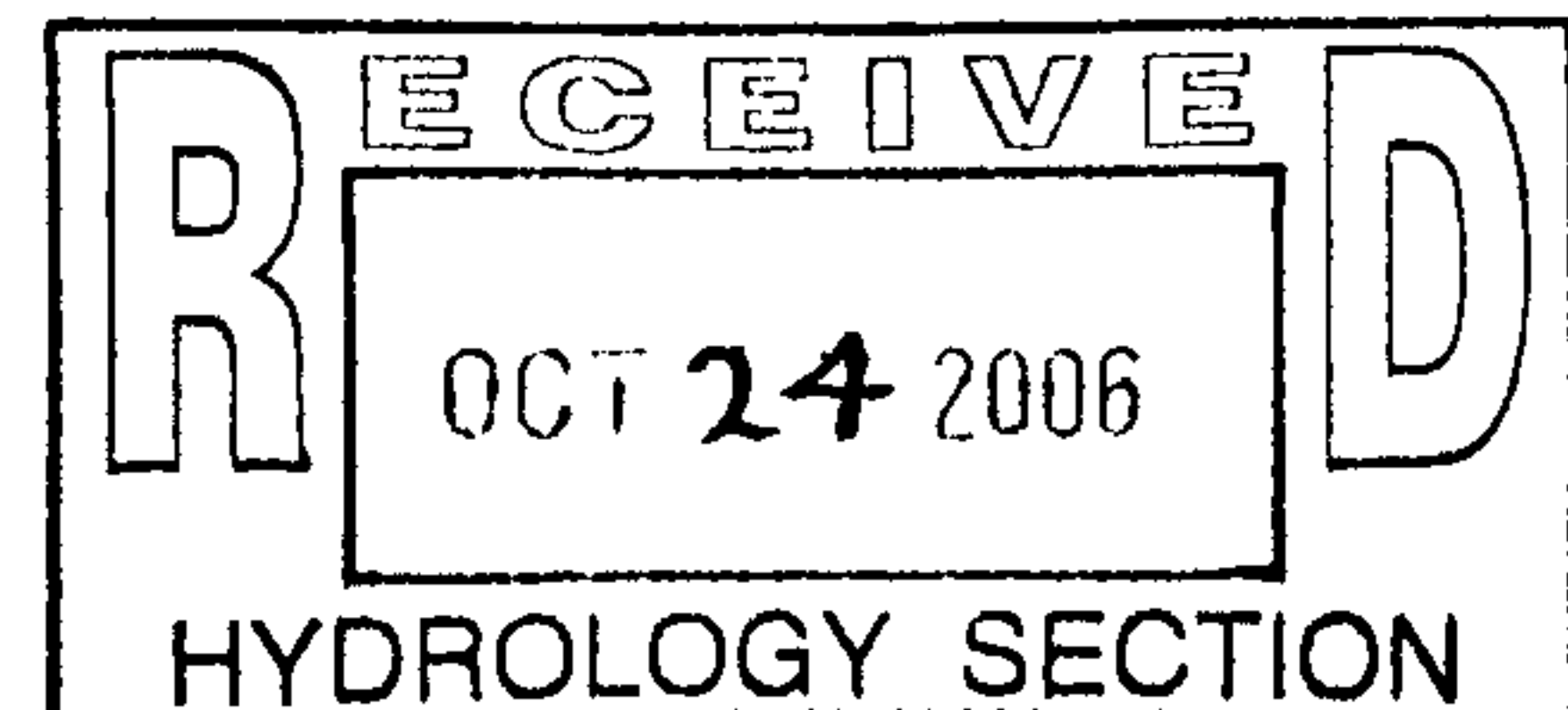
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: October 17, 2006 BY: Jeff Wooten

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 17, 2006

Mr. Jeff Wooten, P.E.
WOOTEN ENGINEERING
5017 Sanbusco Drive NE
Rio Rancho, NM 87144

Re: EMCORE, PHASE 4
10420 Research Road SE
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 05/17/2006 (M21/D5H)
Certification dated 10/17/2006

P.O. Box 1293

Dear Jeff,

Albuquerque

Based upon the information provided in your submittal received 10/17/2006, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

New Mexico 87103

Upon acceptance of the required SO-19, and re-submittal of a Certified Grading and Drainage plan, a Permanent C.O. will be granted.

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Emcore Phase 4 ZONE MAP/DRG. FILE # M-21/D5H
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 2A Block 4, Sandia Research Park
CITY ADDRESS: 10420 Research Road SE

ENGINEERING FIRM: Wooten Engineering CONTACT: Jeff Wooten
ADDRESS: 5017 Sanbusco Dr NE PHONE: (505) 771-8038
CITY, STATE: Rio Rancho, NM ZIP CODE: 87144

OWNER: Emcore CONTACT: Greg Hoeffler
ADDRESS: _____ PHONE: 505-332-5000
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Ann Marie Dennis
ADDRESS: 6801 Jefferson NE PHONE: 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Jaynes Corporation CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Jaynes Corporation CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

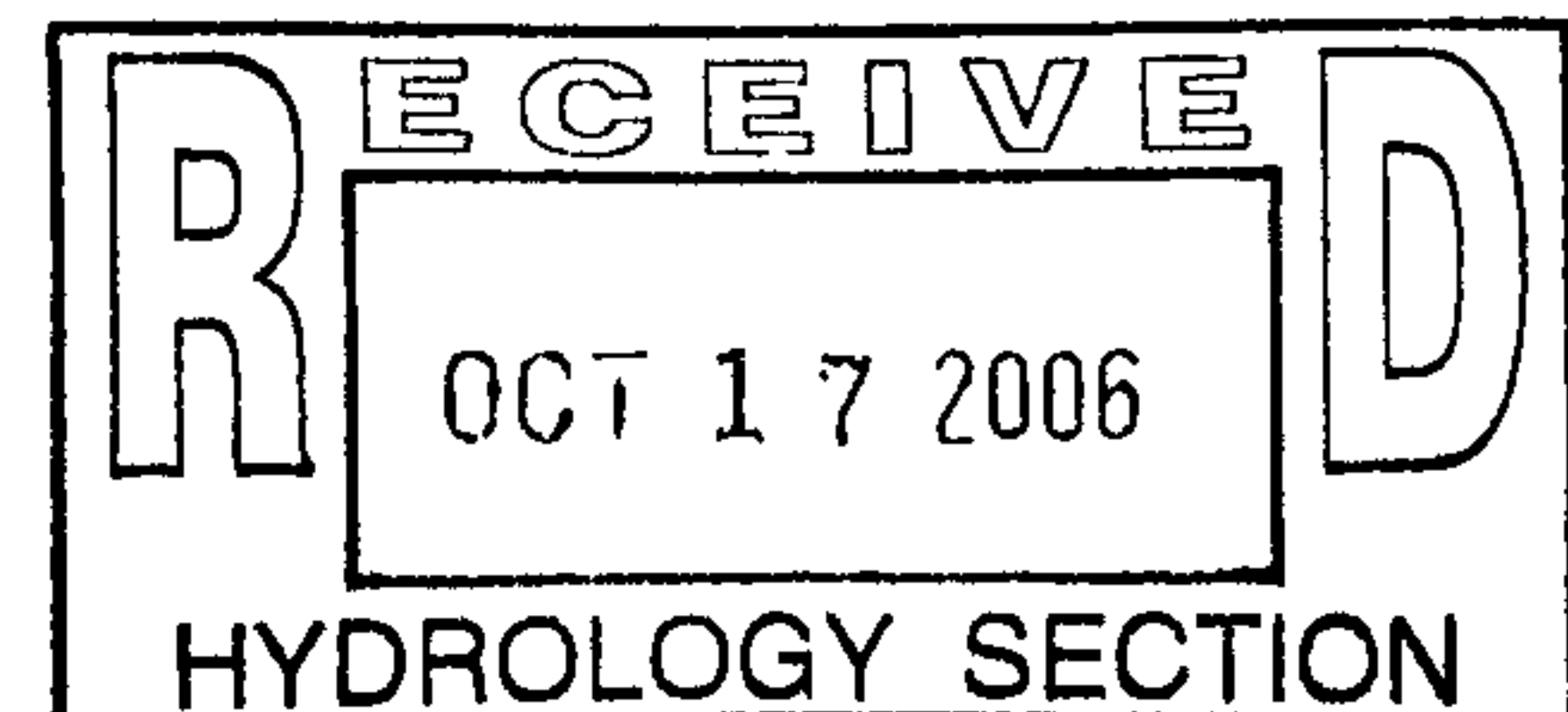
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: October 17, 2006 BY: Jeff Wooten



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Letter of Transmittal

To: Arlene Portillo

City of Albuquerque - Hydrology

Plaza Del Sol

Date: Tuesday, October 17, 2006

Job No.: 2006007

Re: Emcore-Phase 4

Received By: _____

Date: _____

WE ARE SENDING YOU:

Via: Hand Delivery

☒ As requested ☒ For your use/information ☐ For review/comment ☐ For approval/signature (please return)

Copies	Description
--------	-------------

1	Copy of Drainage Certification for the Subject Project
---	--------------------------------------------------------

1	Copy of the Drainage Info Sheet
---	---------------------------------

Remarks:

Copy To: File, BHI

By: 
Jeffrey T. Wooten, P.E.

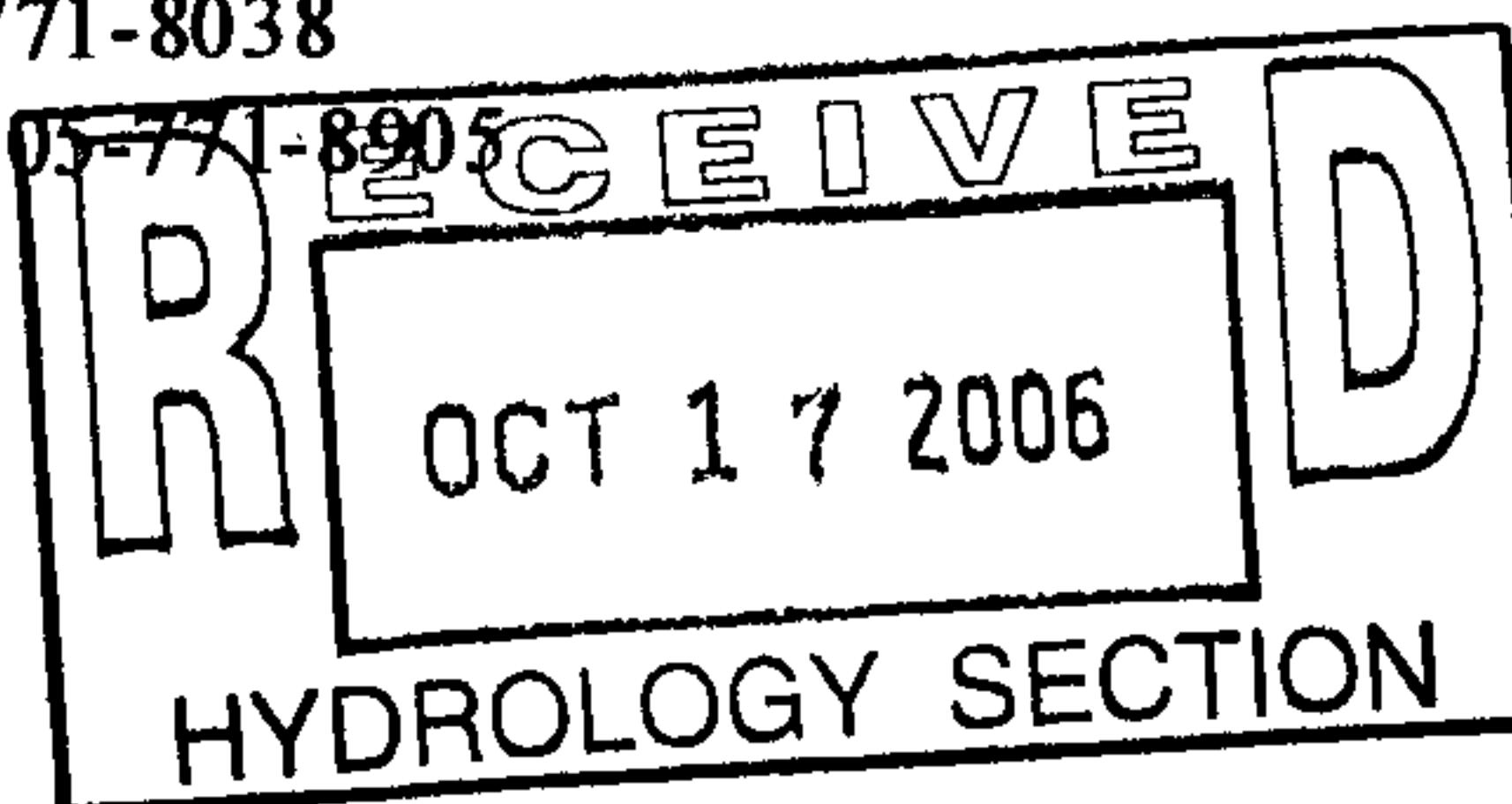
☒ Correspondence File
☐ Reader File

If enclosures are not as noted, kindly notify us at once

WE

Wooten Engineering

5017 Sanbusco Dr NE
Rio Rancho, NM 87144
505-771-8038
Fax 505-771-8905



CITY OF ALBUQUERQUE



June 2, 2006

Jeffrey Todd Wooten, P.E.
Wooten Engineering
5017 Sanbusco Dr NE
Rio Rancho, NM 87144

Re: Emcor Phase 4 – Building 1 Addition Grading and Drainage Plan
Engineer's Stamp dated 5-16-06 (M21/D5H)

Dear Mr. Wooten,

Based upon the information provided in your submittal dated 4-18-06, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions feel free to call the Municipal Development Department Hydrology Section at 768-3654 (Charles Caruso).

In the future, please provide the following items on submittals:

- A FIRM or provide a panel number for the FIRM that is relevant to your site.
- A discussion of offsite flows.
- Direction of roof flows.
- SO 19 instructions should include a statement similar to "Backfill compaction shall be according to traffic/street use".

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: file
Charles Caruso, DMD
Antoinette Baldonado, Excavation and Barricading
Edward Elwell, Street/Storm Drain Maintenance

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Letter of Transmittal

To: Arlene Portillo

City of Albuquerque - Hydrology

Plaza Del Sol

Date: Tuesday, May 16, 2006

Job No.: 2006007

Re: Emcore-Phase 4

Received By: _____

Date: _____

WE ARE SENDING YOU:

Via: Hand Delivery

☒ As requested ☒ For your use/information ☐ For review/comment ☐ For approval/signature (please return)

Copies	Description
--------	-------------

2	Copies of Signed and Sealed Grading Plans for Building Permit Approval
---	------------------------------------------------------------------------

1	Copy of the Drainage Info Sheet
---	---------------------------------

1	Response Letter
---	-----------------

Remarks:

Arlene, The initial submittal was for rough grading and paving approval. This is a resubmittal for building permit approval. Thanks.

Copy To: File, BHI

By: _____

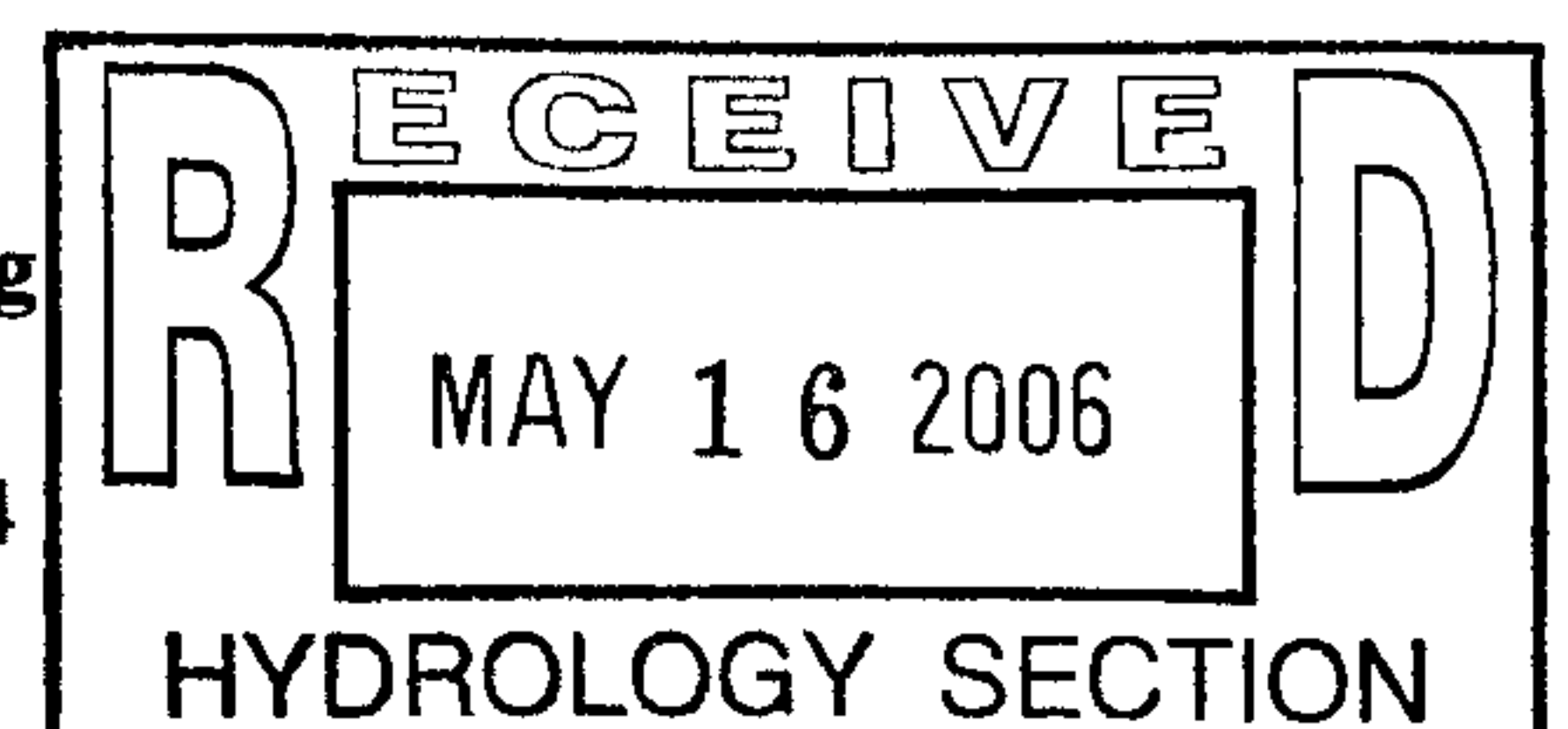
Jeffrey T. Wooten, P.E.

☒ Correspondence File
☐ Reader File

If enclosures are not as noted, kindly notify us at once

WE

Wooten Engineering
5017 Sanbusco Dr NE
Rio Rancho, NM 87144
505-771-8038
Fax 505-771-8905



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-21/D5H

PROJECT TITLE: Emcore Phase 4 ZONE MAP/DRG. FILE # M-21
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 2A Block 4, Sandia Research Park
CITY ADDRESS: 10420 Research Road SE

ENGINEERING FIRM: Wooten Engineering CONTACT: Jeff Wooten
ADDRESS: 5017 Sanbusco Dr NE PHONE: (505) 771-8038
CITY, STATE: Rio Rancho, NM ZIP CODE: 87144

OWNER: Emcore CONTACT: Greg Hoeffler
ADDRESS: _____ PHONE: 505-332-5000
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Ann Marie Dennis
ADDRESS: 6801 Jefferson NE PHONE: 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: Jaynes Corporation CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Jaynes Corporation CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

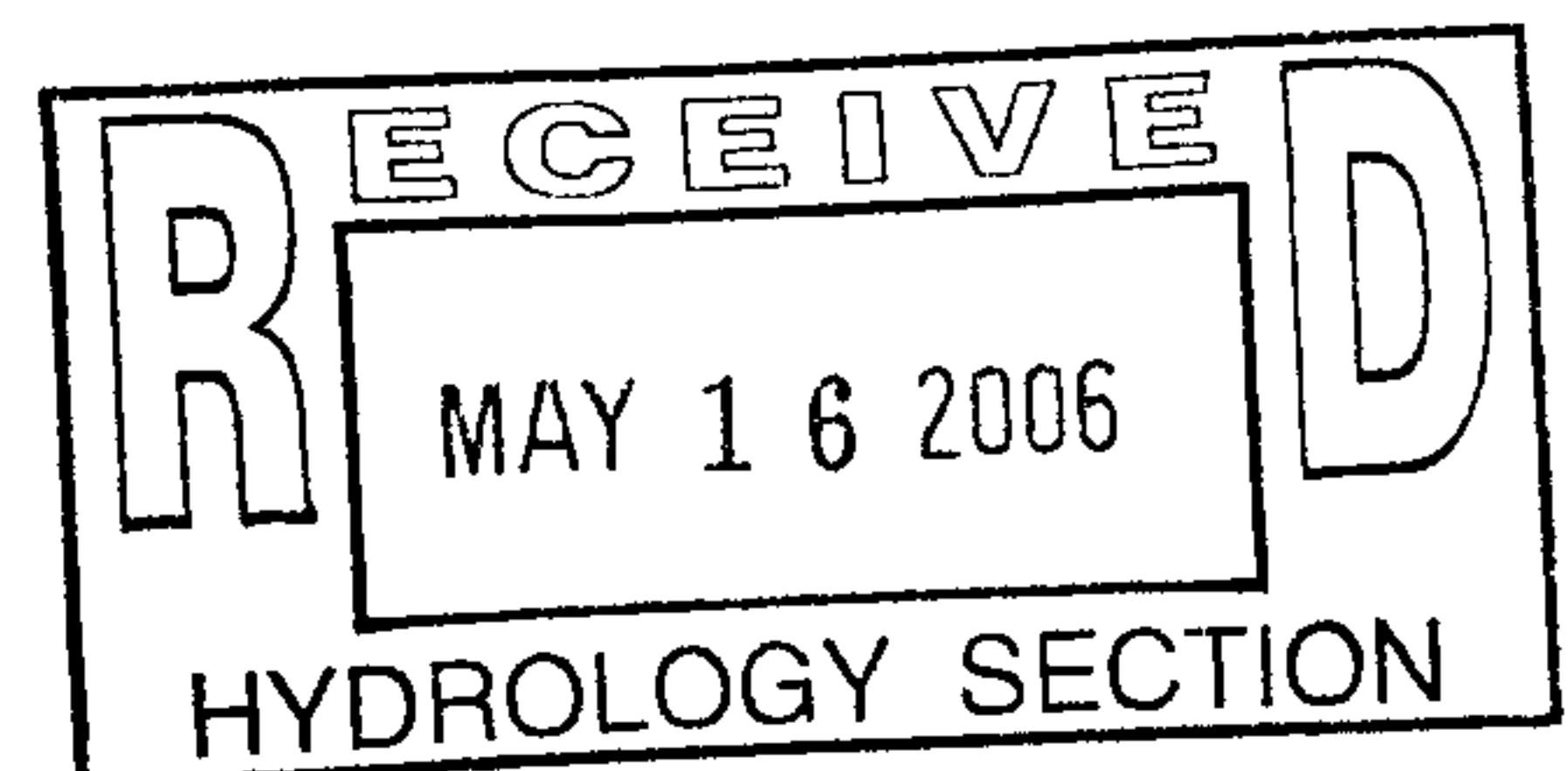
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY)

5019

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: May 16, 2006 BY: Jeff Wooten

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Wooten Engineering

5017 Sanbusco Dr NE
Rio Rancho, NM 87144
505-771-8038
Fax 505-771-8905

May 16, 2006

Ms. Krystal Metro
City of Albuquerque Hydrology Department
600 2nd Street NW
Albuquerque, NM 87103

Re: Emcore Phase 4, 10420 Research Rd SE
Grading and Drainage Plan Approval

Dear Krystal:

In reference to your letter dated April 27, 2006 we have the following responses:

- ✓ 1. As far as I am aware, a Replat is not required. There is not a building splitting the property line. The Site Plan for Building Permit showing this parking lot has been submitted for Administrative Amendment.
- ✓ 2. After doing more research on the site grading, the area in question (Basin A-2) actually drains to the west and then north to Research. I have modified the Drainage Management Plan as necessary to show this.
- ✓ 3. The SO#19 notes have been added to the plan as requested.
- ✓ 4. I have checked the as-builts and feel the location of the storm drain is pretty close to it's actual location. We are not making any modifications to this system.
5. As stated in the Drainage Management Plan, the Manzano Mesa Master Drainage Study by Smith Engineering allows fully developed flow to drain into the 90" SD along Eubank. Other than maybe defining the size of a detention pond, I do not feel the existing calculations are needed. For your information, we are adding approximately 46,000 square feet of impervious area to the site, which is an approximate increase of 2.23 cfs for the site in a 100-year, six hour storm.
- ✓ 6. Regarding the valley gutter, I have added the note and the reference to the city detail as requested.
7. There is an existing 10' wide asphalt bike trail along Eubank, but the flow draining across it will not be in a concentrated condition. Also, there will not be any impervious are draining across the bike trail. Currently, the site drains across this bike path, and I feel that there will not be an impact to the bike trail in this condition. I would request that this area be allowed to drain over the bike path without a sidewalk culvert.

If you have any further questions or comments please feel free to contact me at 823-1000.

Sincerely,

Jeffrey T. Wooten, P.E.
Owner

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 20, 2006

Christopher R. Gunning, Registered Architect
6801 Jefferson NE, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Emcore Phase 4, [M-21 / D5H]
10420 Research Park SE
Architect's Stamp Dated 10/18/06

P.O. Box 1293

Dear Mr. Gunning:

Albuquerque

The TCL / Letter of Certification submitted on October 18, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Emcore ZONE MAP/DRG. FILE # M-21/DSH
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 10420 Research Park SE
CITY ADDRESS: Albuquerque NM 87123

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: Emcore
ADDRESS: 10420 Research
CITY, STATE: Alb. NM

CONTACT: Greg Hoefler
PHONE: _____
ZIP CODE: _____

ARCHITECT: D/P/S
ADDRESS: 7601 Jefferson
CITY, STATE: Alb. NM 87109

CONTACT: Ann Marie Dennis
PHONE: 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Jaynes
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

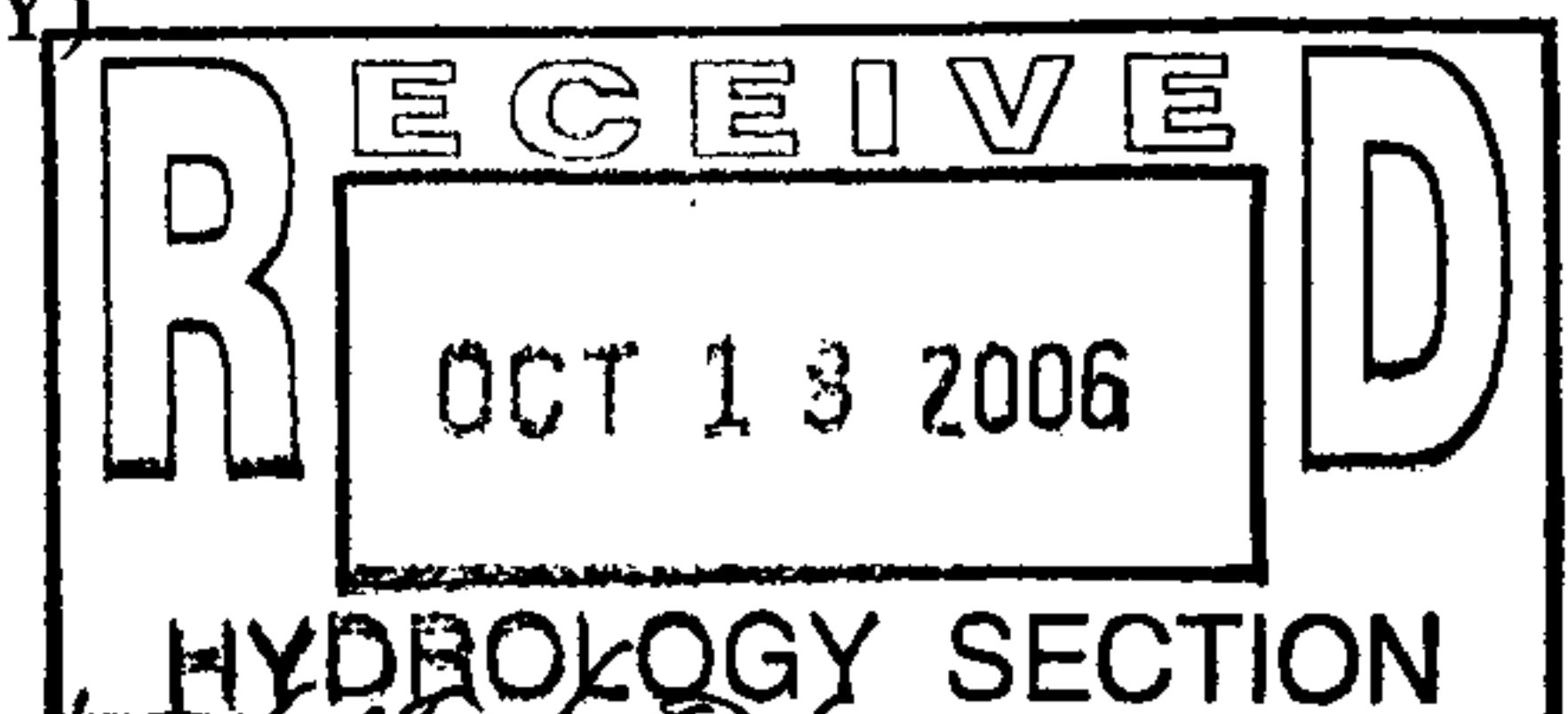
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☒ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



SUBMITTED BY: [Signature] DATE: 10/16/06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

October 17, 2006



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development & Building Services; Planning Dept.
600 2nd Street NW
Albuquerque, NM 87102

***Re: Traffic Certification for Emcore Phase 4
Permanent Certification of Occupancy***

Dear Mr. Fernandez:

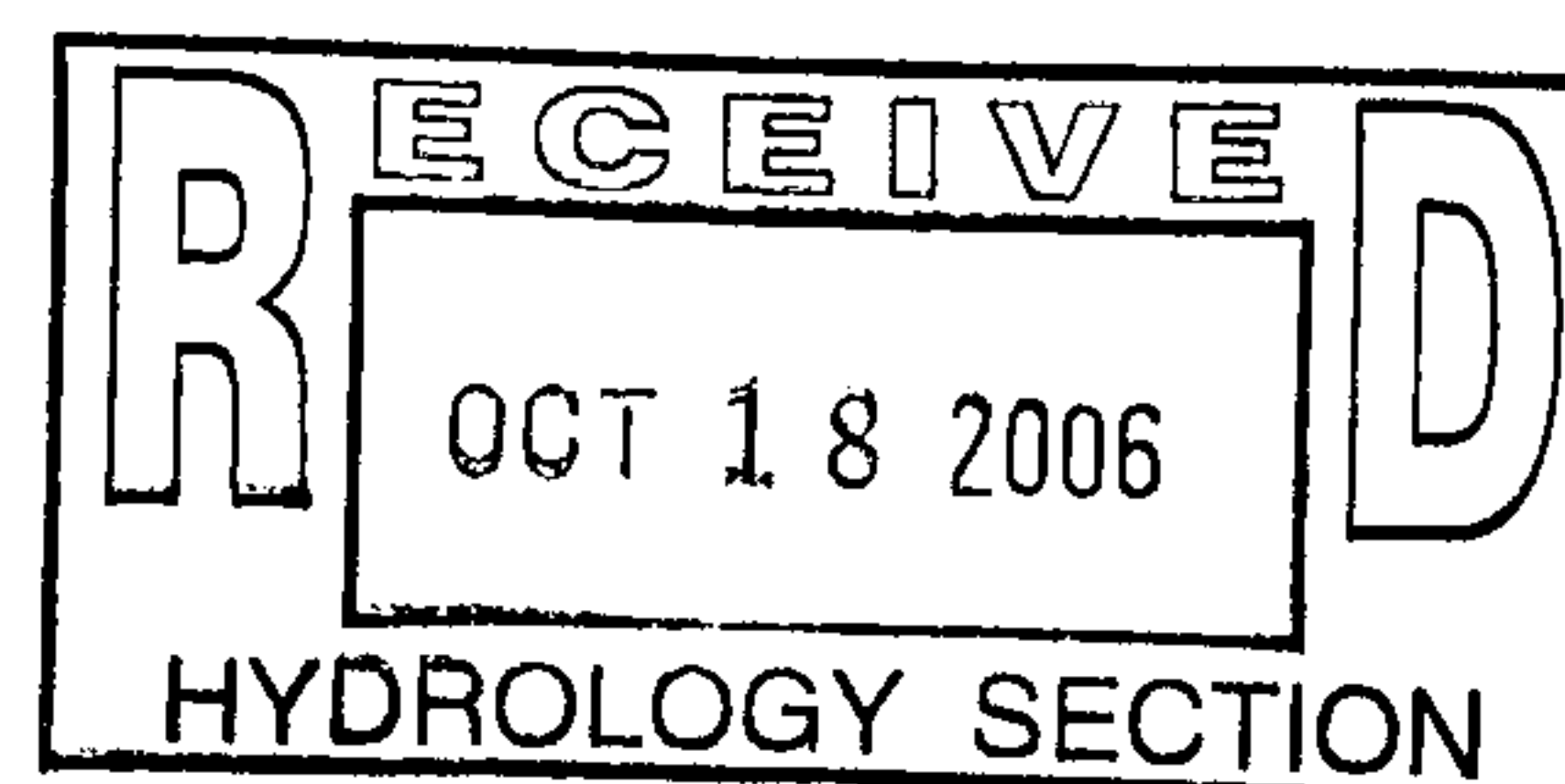
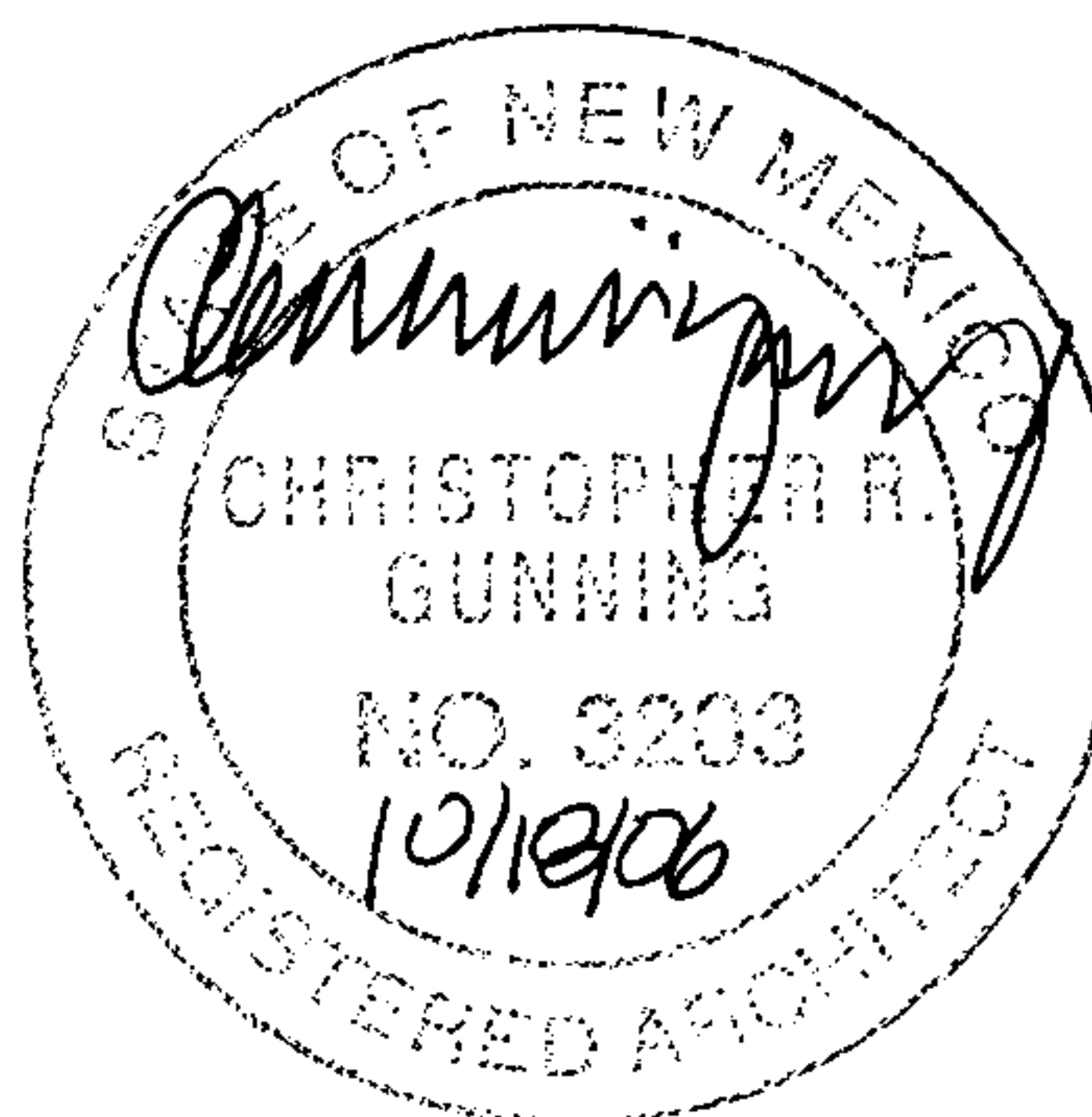
I Chris Gunning, NMRA No. 3203, of the firm Dekker/Perich/Sabatini, hereby certify that this project has in substantial compliance with and in accordance with the design intent of the approved plan dated March 14, 2006. I further certify that I have personally visited the project site on October 5, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Very truly yours,

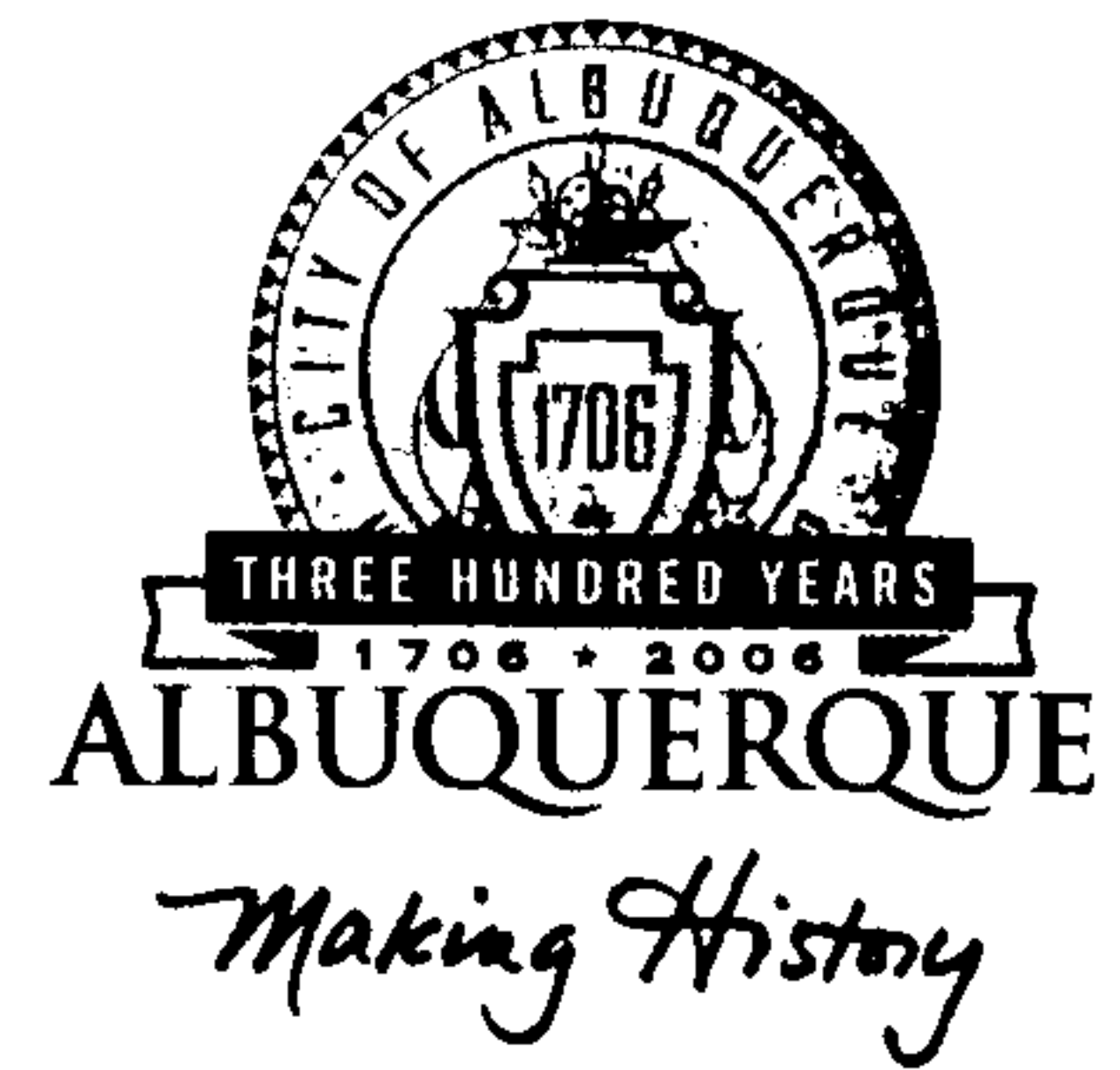
Dekker/Perich/Sabatini Ltd.

Chris Gunning, AIA
Principal



■■■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com

CITY OF ALBUQUERQUE



April 27, 2006

Jeffrey Wooten, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

**Re: Emcore Phase 4, 10420 Research Road SE, Grading and Drainage Plan
Engineer's Stamp dated 3-09-06 (M21-D5H)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 3-13-06, the above referenced plan is approved for Foundation and Grading Permit. However, the plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

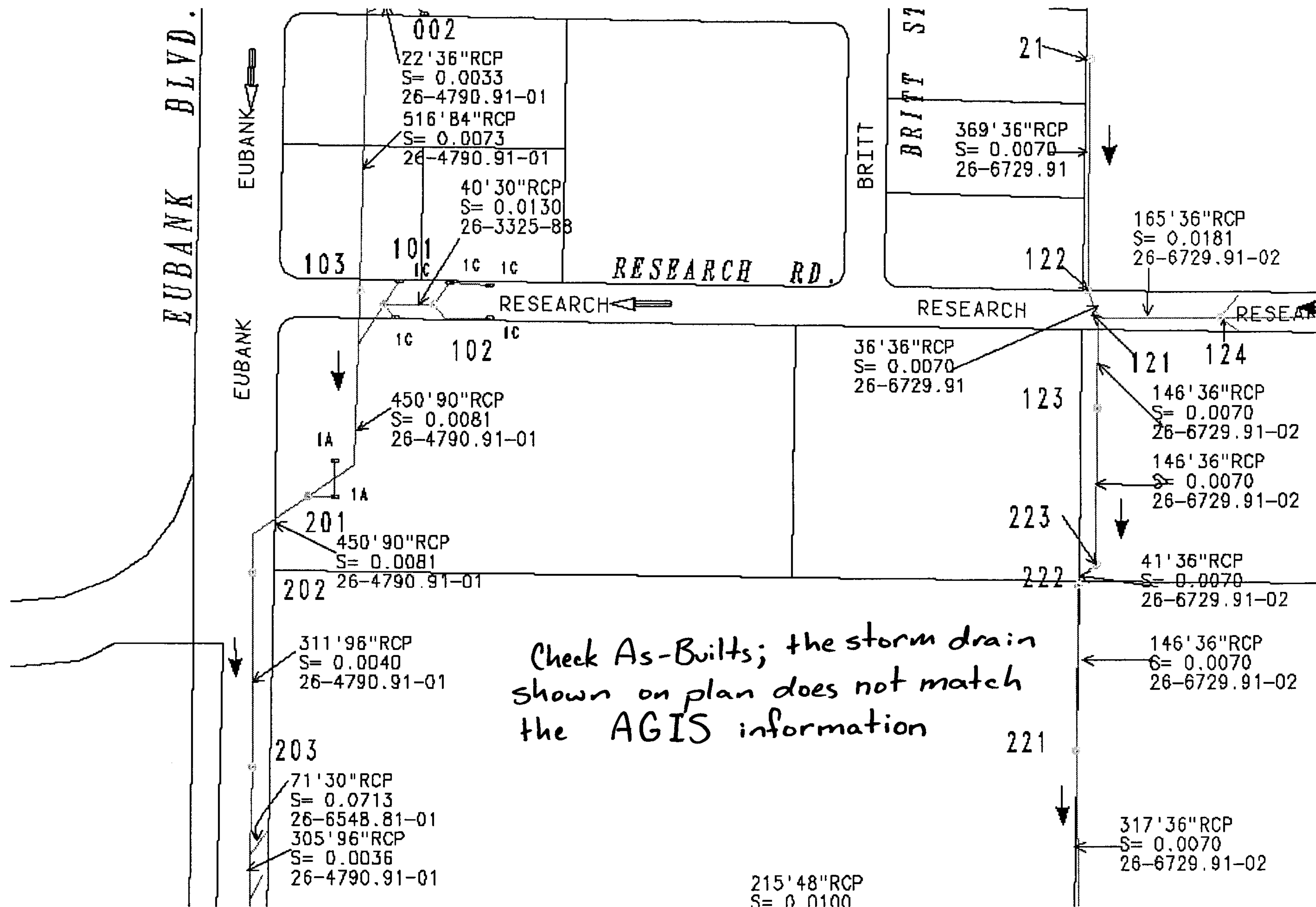
1. An existing lot line is shown within Basin A-2. Will this require a replat?
2. Show where the southern portion of the site outfalls; how do you know that the detention pond is capable of handling the additional flow? Provide calculations.
3. A proposed sidewalk culvert is shown on the plan. This will require an SO#19 permit. Please include two copies of the grading and drainage plan for the next submittal, and include the appropriate SO#19 notes (see attached).
4. Please check the as-builts; the storm drain shown on the plan does not match the information provided by AGIS.
5. Where are the calculations for the existing flow? Include these calculations on your plan.
6. Provide a detail for the proposed valley gutter and channel (or refer to the appropriate City Standard).
7. Is there a sidewalk along Eubank Boulevard in this area? Please be aware that flow cannot cross over the sidewalk; a sidewalk culvert will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



CP 150

EX. FIRE HYDRANT
T.B.M. ON BOLT
5,473.31'

T.O.G. 5,470.27'
INV. 5,466.50'

NORTH RIM ELEV.
5,471.45'

NORTH BASE OF RM
5,473.51'

T.O.G. 5,470.18'
INV. 5,466.39'

5,470.13'

5,469.41'
573.65'

5,470.11'

5,470.11'

5,470.13'

5,470.13'

T.O.G. 5,470.18'
INV. 5,466.39'



BASIN 1
122,399 S.F.

M-21/DSE

BASIN 2
34,033 S.F.

BASIN 3
70,559 S.F.

50057.13'W
366.74'

50057.13'E
367.28'

50057.13'E
573.68'

(TgB) as indicated on the Soil Map (sheet #42) from the Soil Conservation Service Survey of Bernalillo County. The Tijeras is gentle sloping old alluvate fan material with moderate runoff and soil erosion. The Madurez Wink series is a sandy loam with slow runoff and moderate to severe soil erosion. (See attached soil map for site location).

Proposed Conditions and On-Site Drainage Management Plan

This project will be developed in a single phase that encompasses the entire tract. The enclosed grading plan in the map pocket shows the grades for the entire project and the new basin layout.

The site has been divided into three basins. Basin 1 collects the northern half of the site and directs the flow out the west entrance to Research Road. Basin 2 collects a portion of the roof drainage and the area east of the building and directs the flow to a sump area in the loading dock. Basin 3 collects the balance of the site and directs the flow to a small storm sewer that is located on the site. This storm drain will flow west and then north and tie to the back of an existing drop inlet located at the northwest corner of the site and in Research Road. This storm sewer connection will require an SO19 permit to make the tie.

The entire site runoff will continue to drain per the Sandia Research Park Master Drainage Plan which calls for free discharge from the site to Research Road and the storm drain. The developed discharge rate for the entire site

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Emcore – Phase 4

ZONE MAP/DRG. FILE # M-21/DSH

DRB #: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 2-A, Block 4, Sandia Research Park

CITY ADDRESS: 10420 Research Rd SE

ENGINEERING FIRM: Bohannon Huston, Inc.

ADDRESS: 7500 Jefferson NE – Courtyard I

CITY, STATE: Albuquerque, NM

CONTACT: Jeff Wooten

PHONE: (505) 823-1000

ZIP CODE: 87109

OWNER: Emcore

ADDRESS: _____

CITY, STATE: _____

CONTACT: Greg Hoefler

PHONE: 332-5000

ZIP CODE: _____

ARCHITECT: Dekker/Perich/Sabatini

ADDRESS: 6801 Jefferson NE

CITY, STATE: Albuquerque, NM

CONTACT: Ann Marie Dennis

PHONE: 761-9700

ZIP CODE: 87109

SURVEYOR: Bohannon Huston, Inc.

ADDRESS: 7500 Jefferson NE – Courtyard I

CITY, STATE: Albuquerque, NM

CONTACT: Jeff Wooten

PHONE: (505) 823-1000

ZIP CODE: 87109

CONTRACTOR: Jaynes Corp

ADDRESS: _____

CITY, STATE: _____

CONTACT: Shad James

PHONE: 345-8591

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

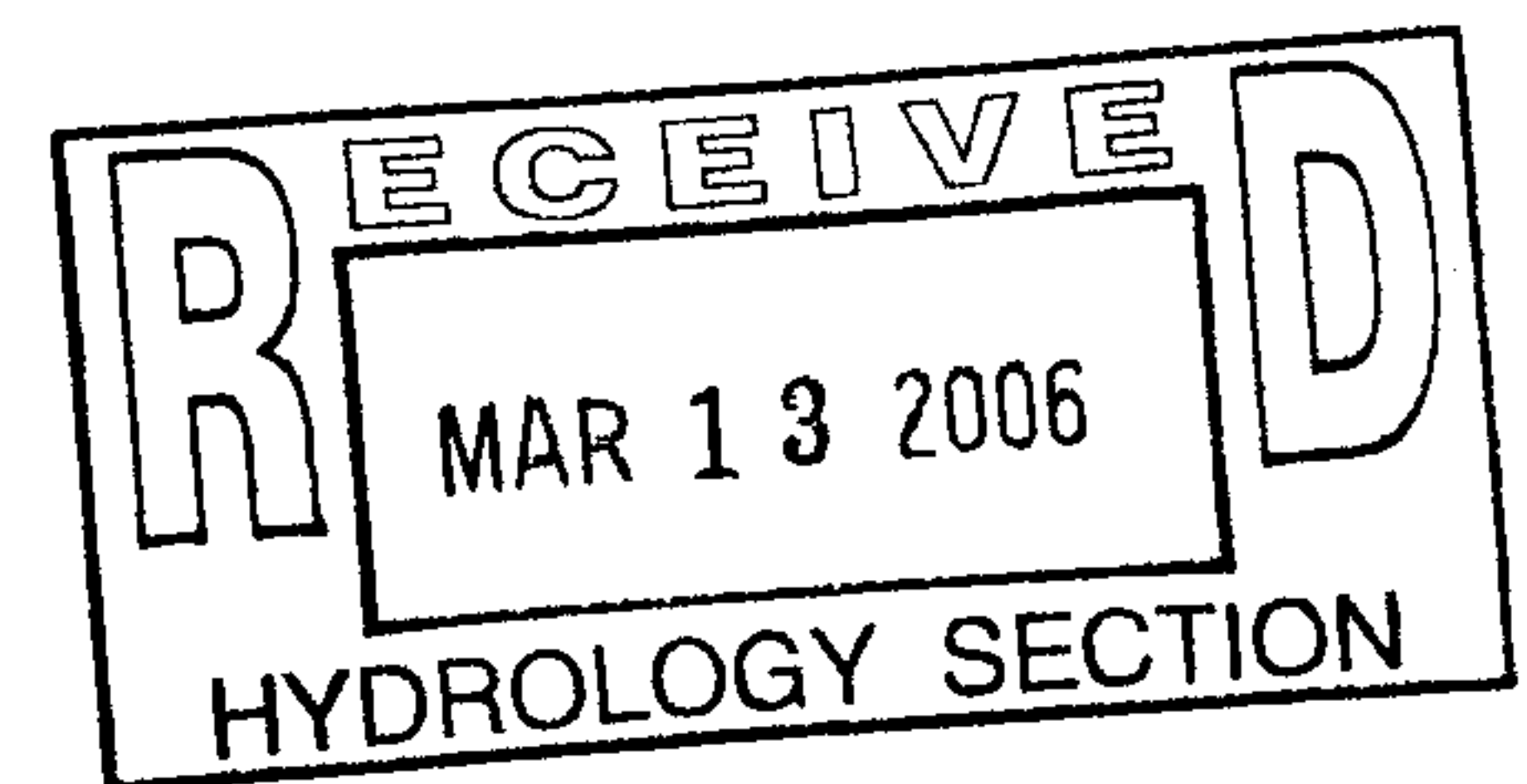
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: March 12, 2006 BY: Jeff Wooten

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Arlene V. Portillo, Plan Checker
Planning Dept, Hydrology Section
City of Albuquerque
Albuquerque, NM 87103

Requested by: Jeff Wooten

Date: March 12, 2006

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: 505.924.3988

Job No.: 060316-001

Job Name: Emcore - Phase 4

DELIVERY VIA

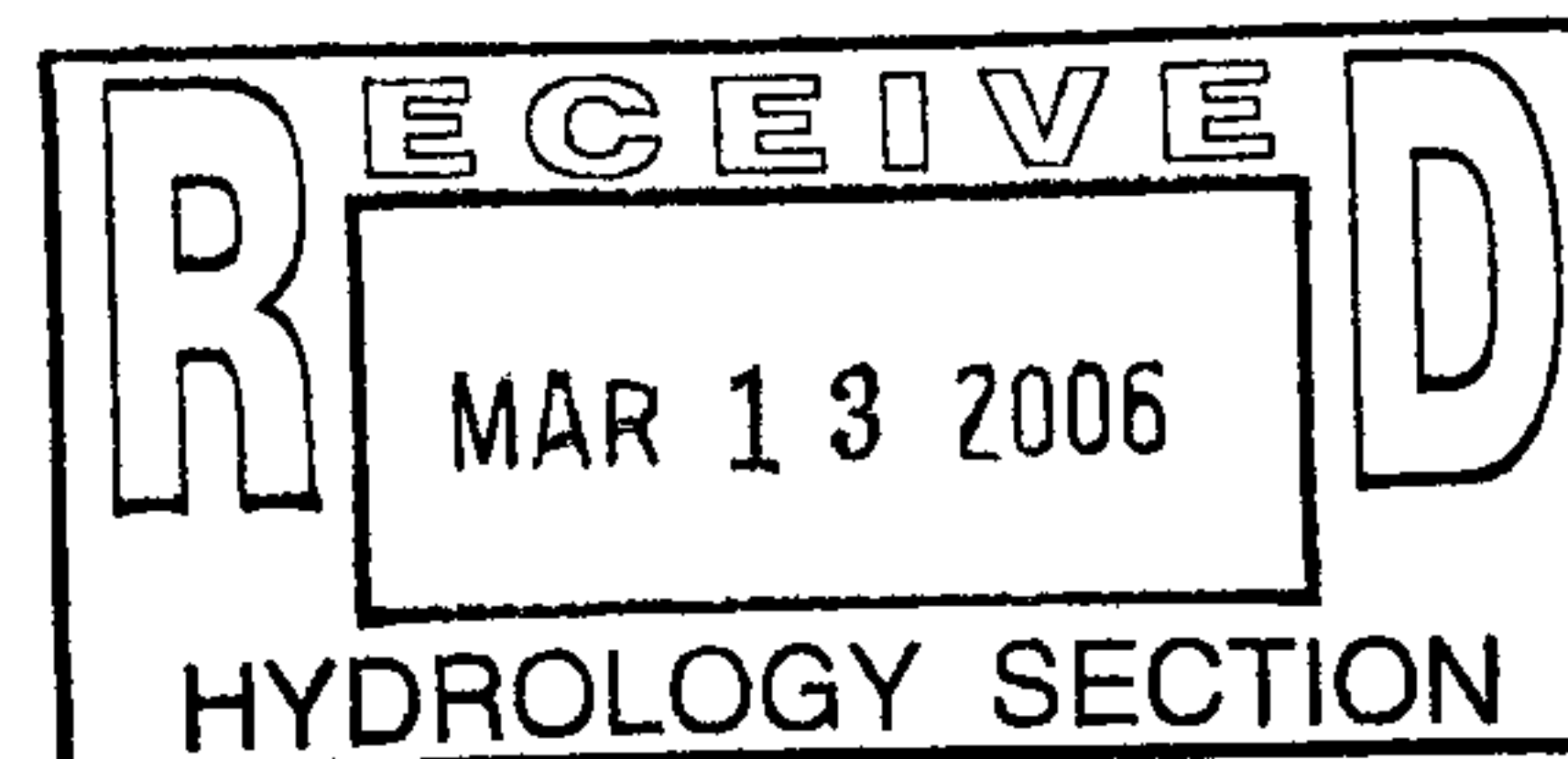
☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Grading/Drainage Plan
2	1	Drainage Info Sheet
3	1	Check for \$100.00

COMMENTS / INSTRUCTIONS



REC'D BY: _____

DATE: 3/13/06 TIME: 1:45

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲