



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 1, 2002

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, New Mexico 87109

RE: SANDIA LABS FEDERAL CREDIT UNION (M-21/D9)
(1301 Britt St SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 7/26/2001
ENGINEERS CERTIFICATION DATED 9/30/2002

Dear Bruce:

Based upon the information provided in your submittal dated 9/30/2002, and based upon the approval of the SO19 on 9/27/2002 by the City's Storm Drainage Maintenance inspector, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Services Division
BLO

C: Certificate of Occupancy Clerk, COA
✓ drainage file
approval file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Sandia Nat'l Labs Federal Credit Union ZONE MAP/DRG. FILE # M-21/D9
DRB #: 1000352 EPC#: 1001155 WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 4 & 5, Sandia Research Park
CITY ADDRESS: SW corner of Britt St and Gibson Blvd. SE

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy
ADDRESS: 7500 Jefferson NE – Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

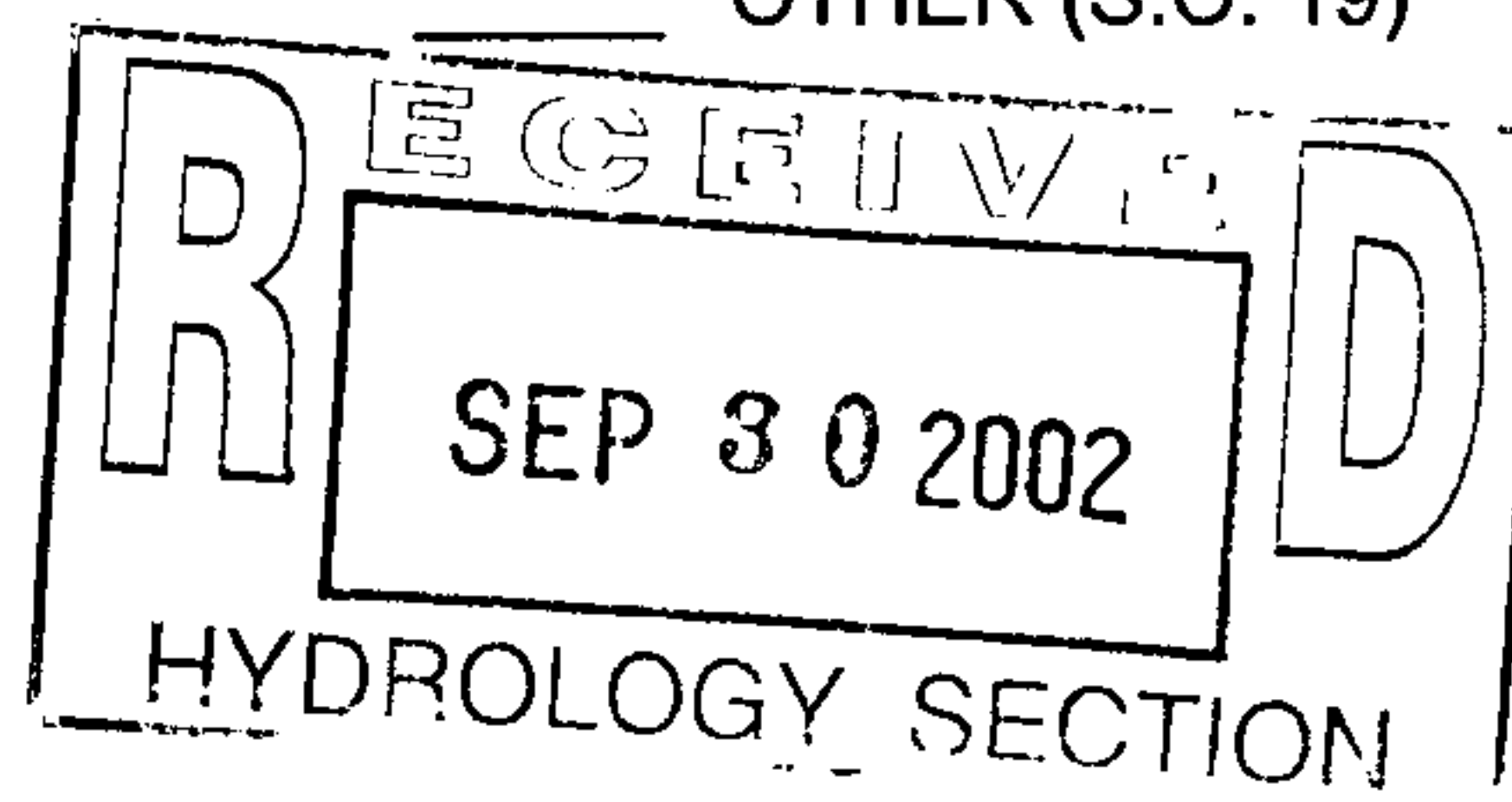
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (traffic)
- ☒ CERTIFICATE OF OCCUPANCY (hydro)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (S.O. 19)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: July 26, 2002 BY: BHI, Bruce Stidworthy

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: **TERRI MARTIN**
HYDROLOGY,
PLAZA DEL SOL

Requested By: **BRUCE SIDWORTHY**

Date: September 30, 2002

Time Due: ☐ This A.M. ☐ This P.M.
☐ Rush ☐ By Tomorrow

Job No.: **01 340 G&D**

Job Name: **SLFCU**

DELIVERY VIA

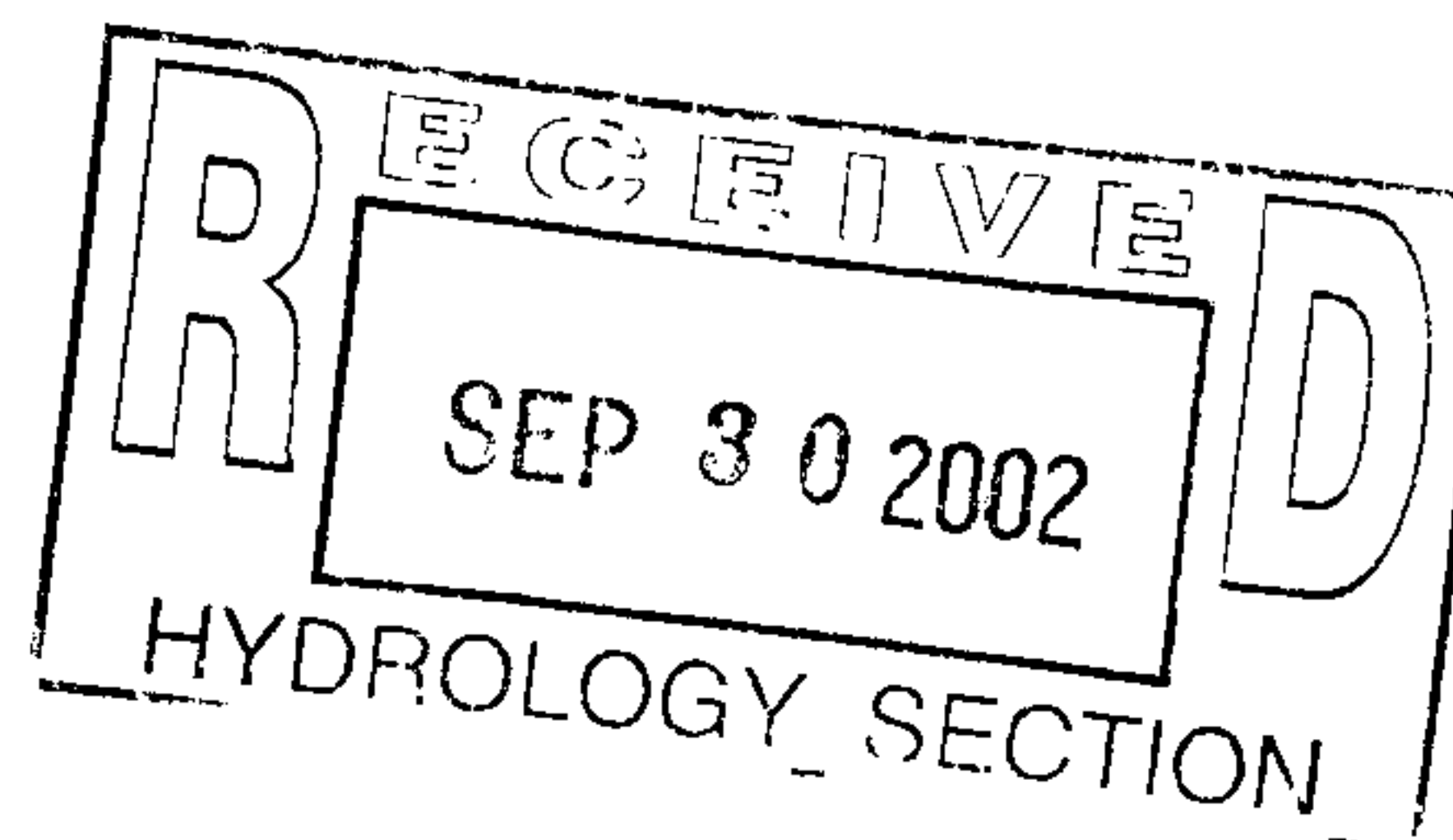
☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other _____

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	G&D CERT
2	1	COVER LTR
3	1	Drug Info sheet
4	1	signed off 5019 PERMIT

COMMENTS / INSTRUCTIONS



ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

REC'D BY: _____ DATE: _____ TIME: _____

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

September 30, 2002

Terri Martin
Project Administrator
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Sandia National Labs Federal Credit Union (M21-D9) – Final Grading and Drainage Certification

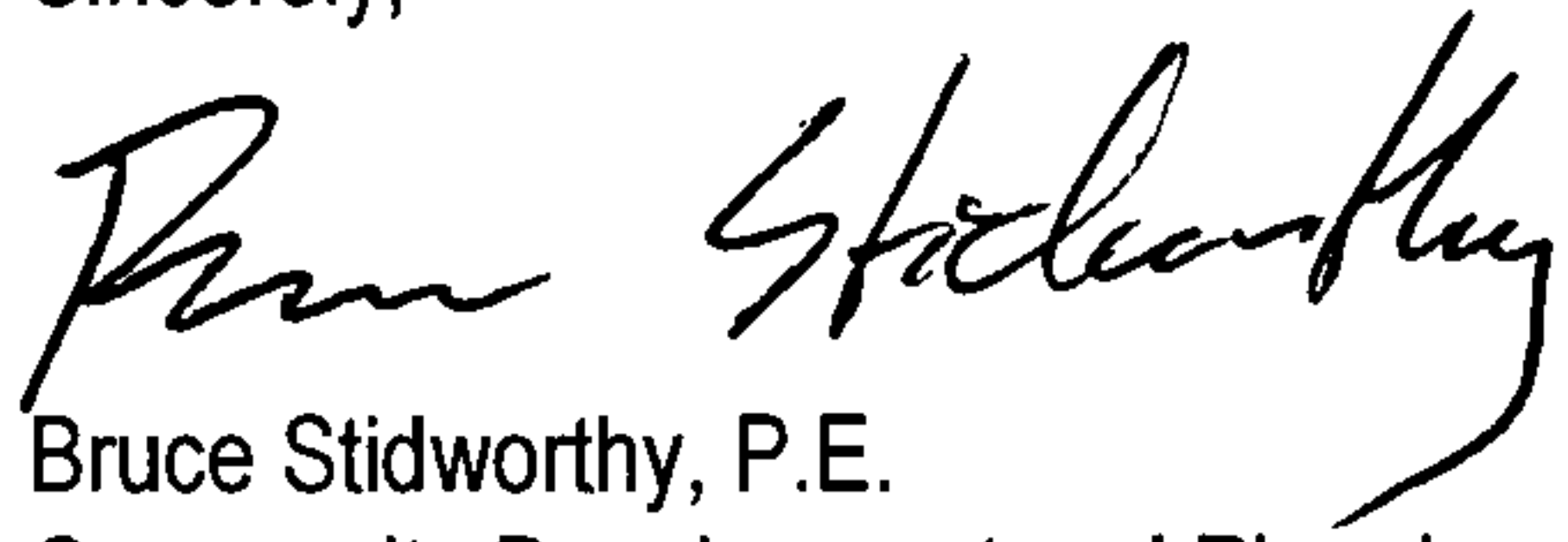
Dear Terri:

Enclosed for your review is the engineer's certification for the Grading and Drainage Plan, in support of permanent certificate of occupancy approval. This certification is based on my re-inspection of the site.

The issues contained in my previous certification letter (dated July 26, 2002) for temporary certificate of occupancy approval have been corrected. In addition, a copy of the SO 19 signed off inspection document is attached.

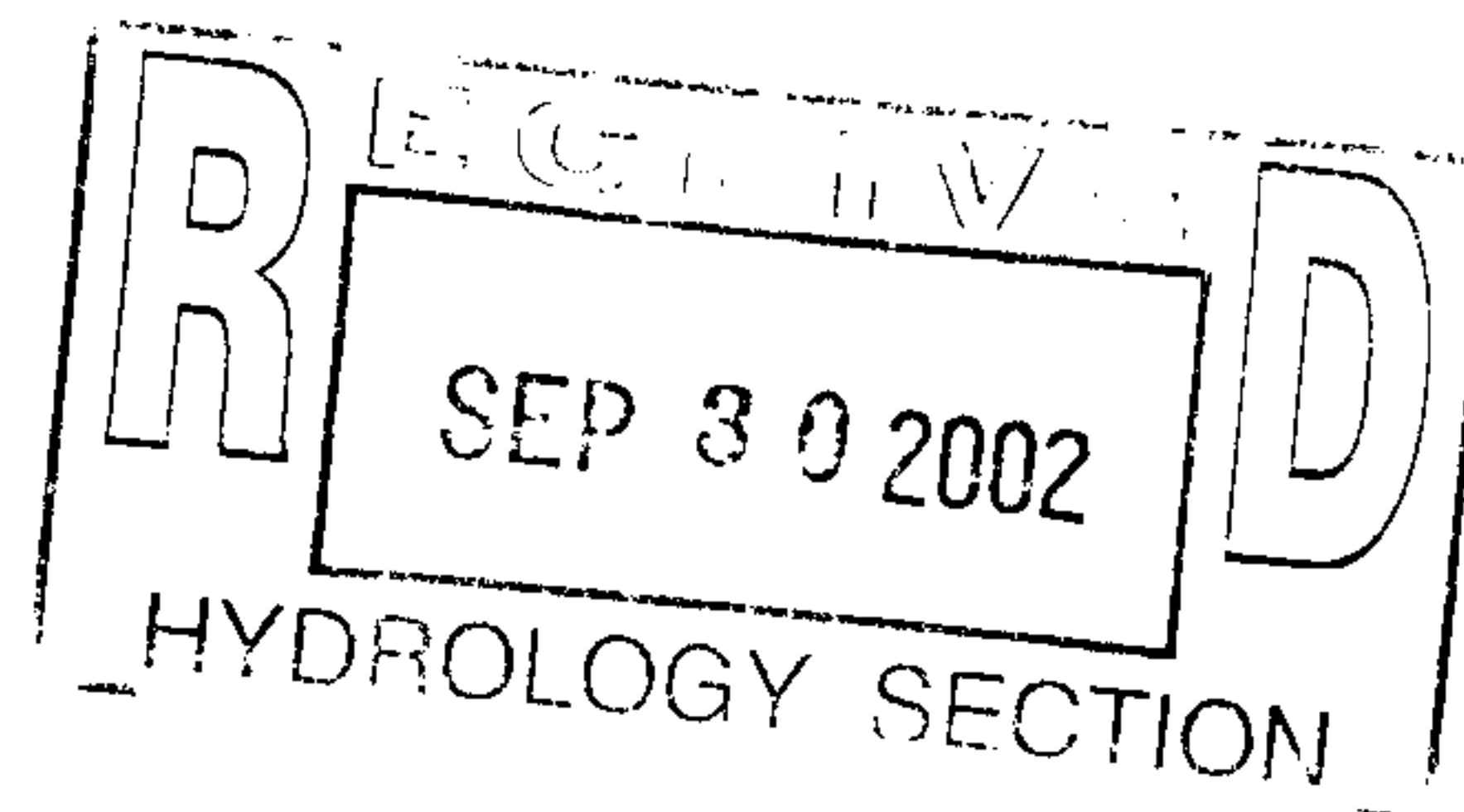
With this submittal we are requesting approval of the permanent certificate of occupancy. If you have any questions regarding this submittal, please call me at 823-1000.

Sincerely,



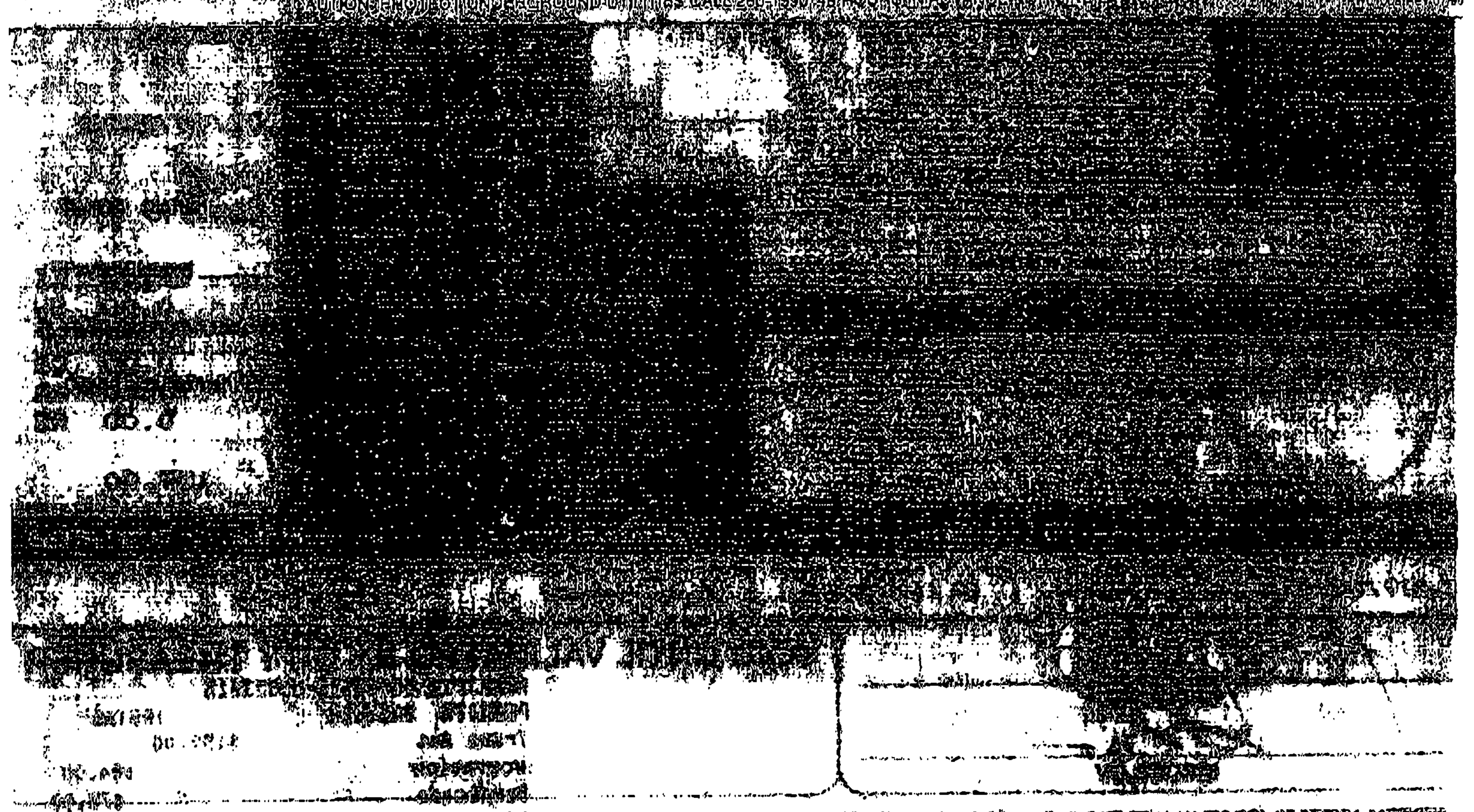
Bruce Stidworthy, P.E.
Community Development and Planning Group

BS/am
Enclosures



COA SPM
RUCADING
2059322
9/27/02

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING IDENTIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FROM ANY DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRIAGE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF FEELT REE'S ASSUMING SUCH LIABILITY AS APPROVED FOR BY THE WORKS DESCRIBED ABOVE, IN ACCORDANCE WITH SECTION 6-2-1 ET SEQ., P.C. (1987). PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY ORDINANCES, REGULATIONS AND CHARGES, AND WHEN EXCAVATING TO EACH OR PERTAINING TO OPENING TO TRAFFIC IN ACCORDANCE WITH A LOCAL RULES REGULATION, CITY POLICE DEPARTMENT STAFF SHALL BE PROVIDED ADDITIONAL INFORMATION.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 2001

Bruce Stidworthy, P.E.
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

***RE: SANDIA NATIONAL LABS FEDERAL CREDIT UNION (M21-D9). Conceptual
GRADING AND DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT APPROVAL AND FOR FINAL PLAT APPROVAL.
ENGINEER'S STAMP DATED MARCH 29, 2001.***

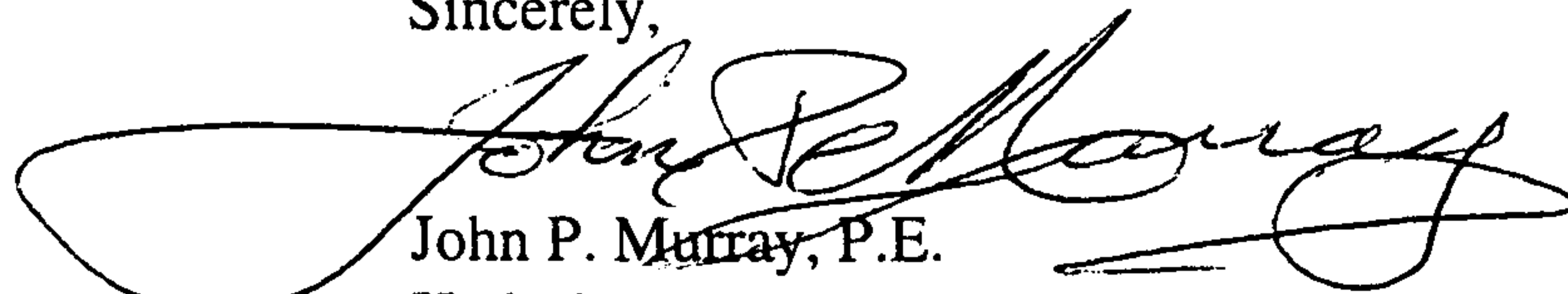
Dear Mr. Stidworthy:

Based on the information provided on your April 11, 2001 submittal, the above referenced project is approved for Final Plat and for Site Development Plan for Building Permit.

***Note that Lot 3 is incorrectly identified as Lot 5 on the plan. Correct when submitting for the Building Permit itself.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Sandia Nat'l Labs Federal Credit Union
DRB #: _____ EPC#: 1001155

ZONE MAP/DRG. FILE # M-21/D9
WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 4 & 5, Sandia Research Park
CITY ADDRESS: SW corner of Britt St and Gibson Blvd. SE

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Bruce Stidworthy
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Consensus Planning
ADDRESS: 924 Park Avenue SW
CITY, STATE: Albuquerque, NM

CONTACT: Chris Green
PHONE: 764-9801
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ CLOMR/LOMR
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES (informal discussion with Loren M.)
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)
Master Drainage Plan

DATE SUBMITTED: 4/11/01 BY: Bruce Stidworthy, Bohannon Huston, Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED
APR 11 2001
HYDROLOGY SECTION

CLIENT/COURIER TRANSMITTAL



BOHANNAN HUSTON

Courtyard One

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

voice 505.823.1000

fax 505.821.0892

To: Loren Meinz
Hydrology Division / PWD
City of Albuquerque
600 2nd Street NW - 2nd Floor

phone: 924-3980

Requested By: Bruce Stidworthy / am

Date: April 11, 2001

Time Due: ☐ This A.M. ☒ This P.M.
☐ Rush ___ ☐ By Tomorrow

Job No.: 01 340

Job Name: Sandia Labs Credit Union

DELIVERY VIA

- ☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other _____

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Conceptual Grading & Drainage Plans.
2	1	Drainage Information Sheet.

COMMENTS / INSTRUCTIONS

M 21 / D 005D

RECEIVED
APR 11 2001
HYDROLOGY SECTION

REC'D BY: _____ DATE: _____ TIME: _____

12/4

D17/D46

Yukon Assoc.

NO SO#19



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 19, 2001

*Permit by
Noel 2053323
#159.02
1/9/02*

Bruce Stidworthy, P.E.
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: SANDIA NATIONAL LABS FEDERAL CREDIT UNION (M21FD9). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT, GRADING PERMIT, AND SO#19 PERMIT APPROVALS. ENGINEER'S STAMP DATED JULY 5, 2001.

Dear Mr. Stidworthy:

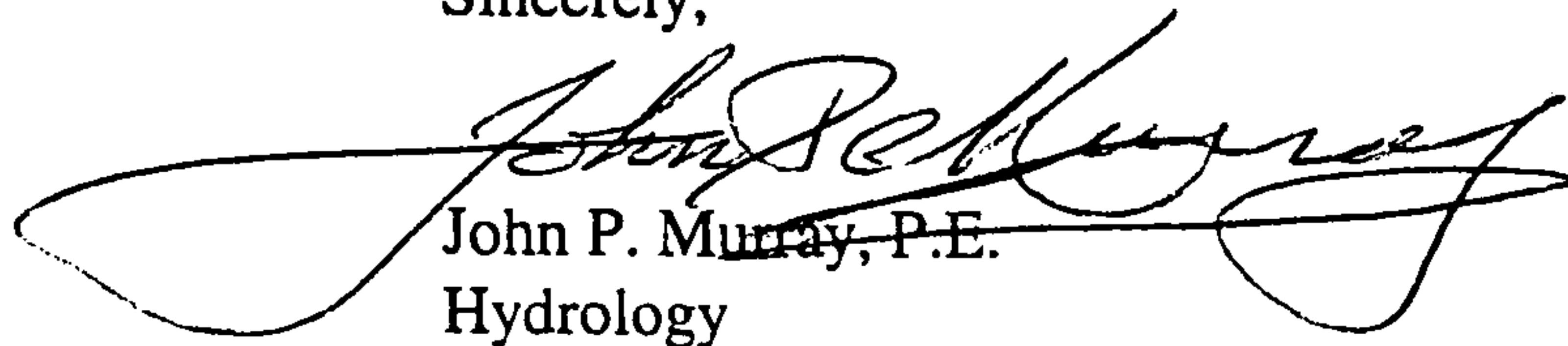
Based on the information provided on your July 6, 2001 submittal, the above referenced project is approved for Grading, Building, and SO#19 Permits. As noted by Mr. Mainz's telephone message, please furnish two (2) darker prints of the G & D Plan to clearly show the street elevations, i.e., top of curb, flow line, sidewalk culvert inverts. Please note that only the Inspector's Signature is now required for the SO#19.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction in the City right-of-way. A copy copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ✓ Pam Lujan
Terri Martin
File

PUBLIC WORKS DEPARTMENT

JULY 19, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (M21-D9). SANDIA TECH CENTER.**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 29, 2002

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, New Mexico 87109

RE: SANDIA LABS FEDERAL CREDIT UNION (M-21/D9)
(1301 Britt SE)
CERTIFICATE OF OCCUPANCY APPROVAL-*Temporary*
ENGINEERS CERTIFICATION DATED 7/26/2002

Dear Mr. Stidworthy:

Based on the information provided in your submittal dated July 26, 2002, the above referenced project is approved for a **TEMPORARY** Certificate of Occupancy.

A Temporary Certificate of Occupancy has been issued for 30 days, allowing the remaining outstanding drainage issues to be completed within this time scope:

Upon completion of all of the above outstanding drainage issues, final recertification will be required for issuance of a Permanent Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development and Building Services Division
BLB

c: Vickie Chavez, COA
Drainage file
Approval file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 19, 2001

Bruce Stidworthy, P.E.
Bohannon-Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: SANDIA NATIONAL LABS FEDERAL CREDIT UNION (M21-D9). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT, GRADING PERMIT, AND SO#19 PERMIT APPROVALS. ENGINEER'S STAMP DATED JULY 5, 2001.

Dear Mr. Stidworthy:

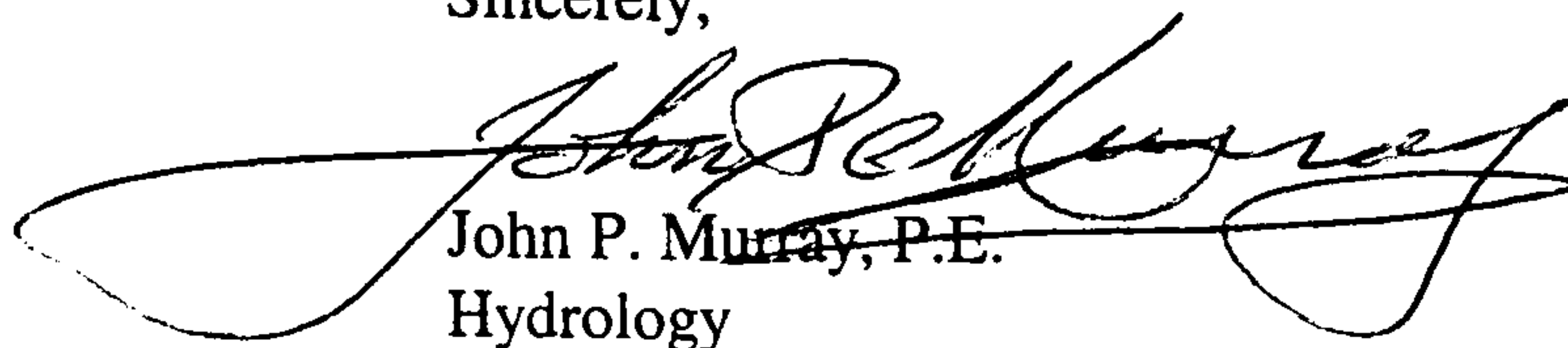
Based on the information provided on your July 6, 2001 submittal, the above referenced project is approved for Grading, Building, and SO#19 Permits. As noted by Mr. Mainz's telephone message, please furnish two (2) darker prints of the G & D Plan to clearly show the street elevations, i.e., top of curb, flow line, sidewalk culvert inverts. Please note that only the Inspector's Signature is now required for the SO#19.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction in the City right-of-way. A copy copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Pam Lujan
Terri Martin
✓ File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

July 30, 2002

Bruce Stidworthy, P.E.,
Bohannon Huston Engineers
7500 Jefferson N.E., Courtyard 1
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Sandia National Labs Federal Credit Union, [M-21 / D009]
1301 Britt S.E.
Engineer's Stamp Dated 07/26/02

Dear Mr. Stidworthy:

The TCL / Letter of Certification submitted on July 26, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

The Site Plan submitted was not the exact copy of the DRB approved Site Plan, as is routinely required. Comparison was made at the Building Safety Division (Vicki Chavez) and the plan is the same, in line work, as the DRB Plan, however, the sheet submitted had no dimensions called out. This office assumes that another, approved sheet with dimensions, used for verification of the size characteristics of the site, would have been used in the field with the Site Plan submitted with Letter of Certification as part of the Certification package (Cert). For future submittals, the TCL or DRB Site Plan, submitted as part of a Cert., must be the sheet physically taken out to the field for the inspection for Certification. If a second dimensioned sheet is used, seemingly the case in this situation, please include that sheet.

The address of the site is an important bit of information needed for filing in this office. For future projects please reference the street address on the TCL, the Letter of Certification and/or the Drainage and Transportation Information Sheet.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Sandia Nat'l Labs Federal Credit Union

ZONE MAP/DRG. FILE # M-21/D9

DRB #: 1000352

EPC#: 1001155

WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 4 & 5, Sandia Research Park

CITY ADDRESS: SW corner of Britt St and Gibson Blvd. SE

1300

ENGINEERING FIRM: Bohannon Huston, Inc.

ADDRESS: 7500 Jefferson NE - Courtyard I

CITY, STATE: Albuquerque, NM

CONTACT: Bruce Stidworthy

PHONE: (505) 823-1000

ZIP CODE: 87109

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

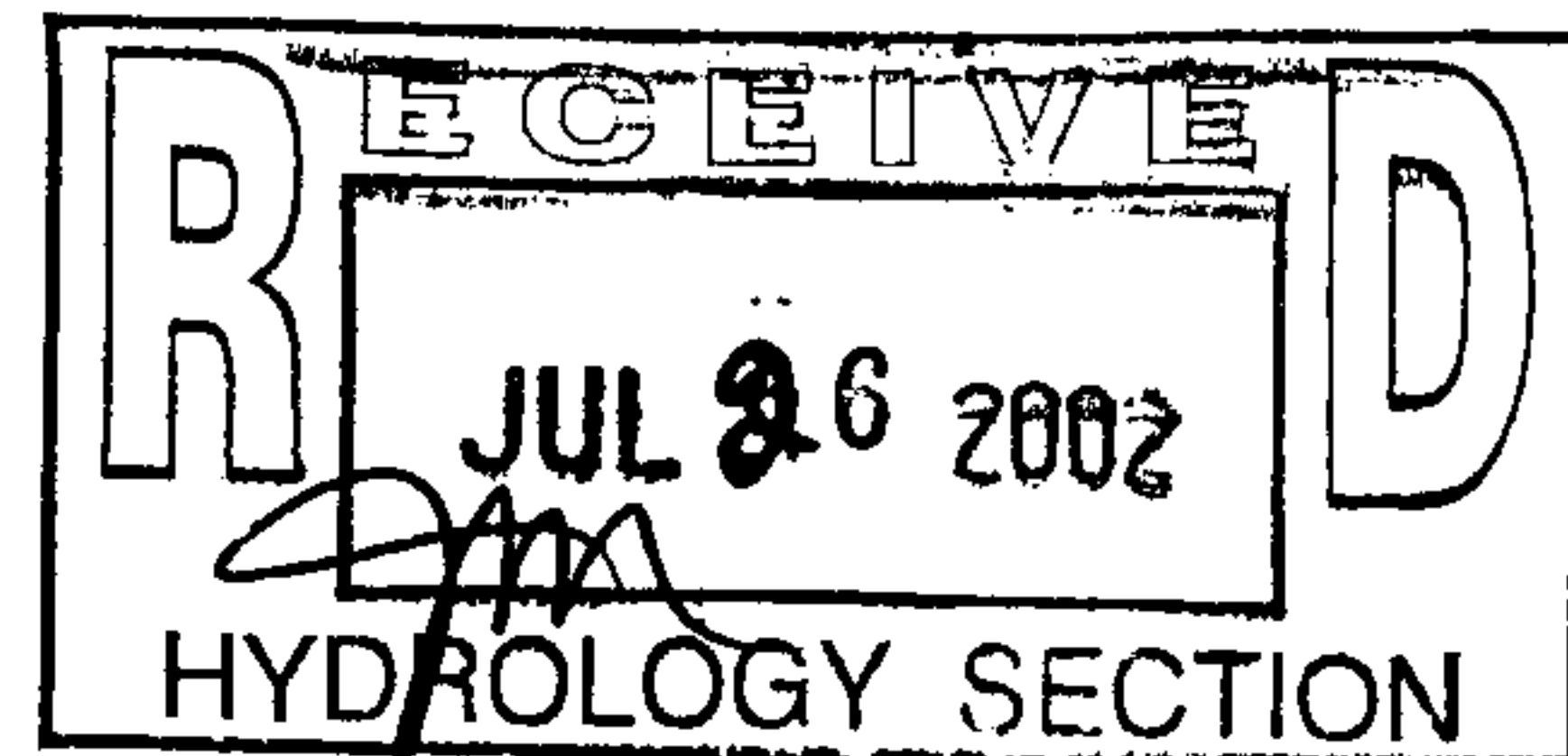
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM. - traffic)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP. - hydro)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (S.O. 19)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: July 26, 2002

BY: BHI, Bruce Stidworthy

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

7/29/02 add in QT to Vicki; 7/30 - San Jetter (dated 7/30); ✓ - loggins
address needed - "TCL" Subm'd How No Drainage, 04 + Matched so can be App'd.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

July 26, 2002

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Terri Martin
Project Administrator
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Sandia National Labs Federal Credit Union (M21-D9) - Drainage and TCL Certifications

Dear Terri:

Enclosed for your review are the engineer's certifications for both the Grading and Drainage Plan and the Traffic Circulation Layout. These certifications are based on my personal inspection of the site as well as as-built survey data.

The Traffic Circulation Layout has been certified for permanent certificate of occupancy approval. It appears that all of the pedestrian and vehicular circulation improvements have been constructed in substantial compliance with the approved plan.

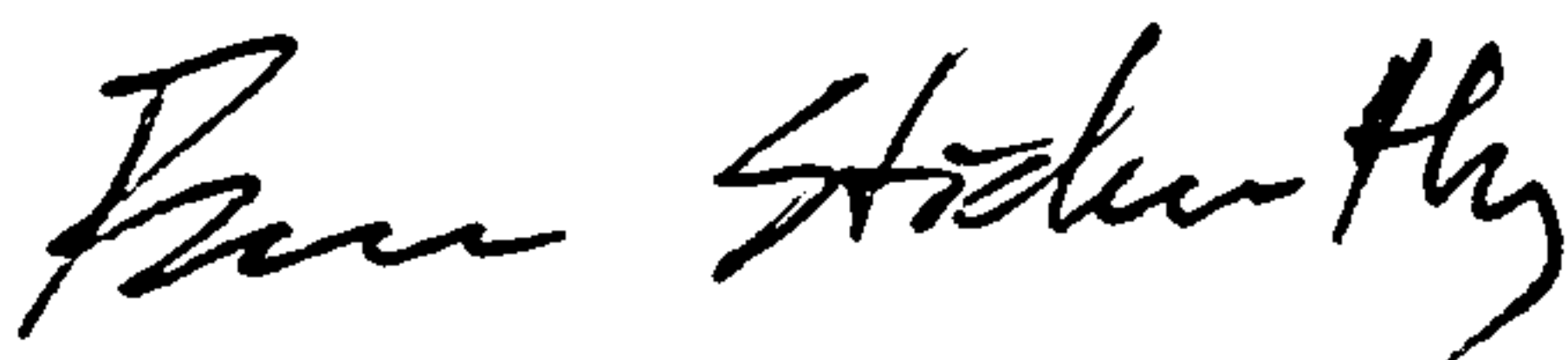
The grading and drainage plan has been certified for temporary certificate of occupancy approval. The following items must be corrected prior to final C.O. approval:

1. One of the roof drains on the west side of the building must be adjusted to allow for free drainage. It is currently too low and would be subject to clogging with landscape material.
2. The sidewalk culverts along Britt Street are not bolted in place.

When the contractor has corrected the above items, we will re-submit a final engineer's certification for permanent certificate of occupancy approval.

If you have any questions regarding this submittal, please call me at 823-1000.

Sincerely,
Bohannon Huston, Inc.



Bruce Stidworthy, P.E.
Community Development and Planning Group

BS/am
Enclosures