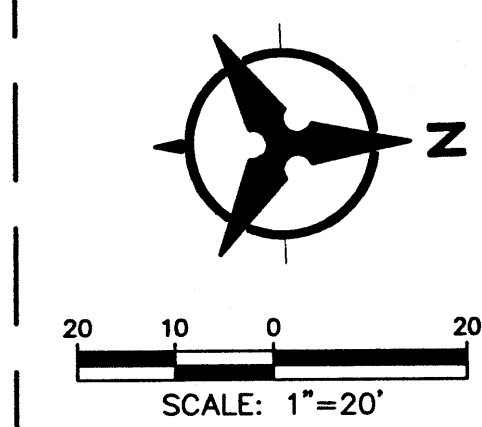


BENCHMARK

ACS MONUMENT "L-215" STANDARD ACS BRASS TABLET (FOUND IN PLACE)  
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) (NAD 1927)  
X=415,539.38  
Y=1,476,456.55  
ELEVATION = 5471.78



LEGEND

- PROPERTY LINE
- COORDINATE POINT
- CURVE DATA POINT
- HEAVY DUTY PAVEMENT SECTION - SEE DETAIL THIS SHEET
- PROPERTY CORNERS
- FIRE HYDRANT
- PROPOSED STORM DRAIN SIDEWALK CULVERT

KEYED NOTES

- A. HEADER CURB PER CITY OF ALBUQUERQUE STD. DWG. 2415
- B. MEDIAN CURB & GUTTER PER CITY OF ALBUQUERQUE STD. DWG. 2415
- C. LIGHT DUTY PAVEMENT SECTION PER DETAIL, THIS SHEET
- D. SCORED COLORED CONCRETE CROSSWALK, COLOR AND PATTERN TO BE DETERMINED.
- E. 6" WIDE SIDEWALK PER CITY OF ALBUQUERQUE STD. DWG. 2430
- F. DUMPSTER ENCLOSURE AND PAD - SEE DETAIL SHEET C3.2
- G. H.C. PARKING SPACES - SEE DETAIL SHEET C3.2
- H. H.C. RAMP TYPE I - SEE DETAIL SHEET C3.2
- J. MATCH NEW SIDEWALK TO EXISTING H.C. RAMP
- K. BUILD CONC. VALLEY GUTTER PER CITY OF ALBUQUERQUE STD. DWG. 2420
- L. 4" WIDE, PAINTED WHITE STRIPE
- M. MATCH TO EXISTING CURB HORIZONTALLY & VERTICALLY
- N. VALLEY GUTTER SEE SHEET C3.1
- O. EXTERIOR WALL SEE ARCHITECTURAL
- P. SEE ARCHITECTURAL PLANS FOR DETAILS THIS AREA
- Q. H.C. RAMP TYPE II, SEE DETAIL SHEET C3.2
- R. EXISTING C&G TO REMAIN
- S. MONUMENT, SEE ARCHITECTURAL PLANS FOR DETAILS
- T. SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS

DEMOLITION KEYED NOTES

- REMOVE & DISPOSE OF EXISTING CURB AND GUTTER

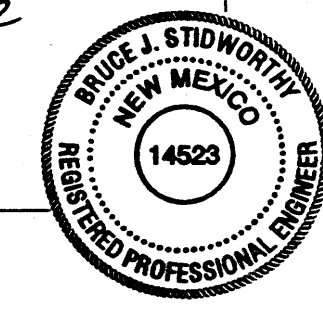
TRAFFIC CIRCULATION LAYOUT CERTIFICATION

CHANGES FROM THE APPROVED PLAN ARE SHOWN IN CLOUDED AREAS. (NONE)

NOTES

I, BRUCE J. STODOLSKY, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED TRAFFIC CIRCULATION LAYOUT PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Bruce J. Stodolsky* 7/26/02  
BRUCE J. STODOLSKY, P.E.  
N.M.P.E. NO. 14523



DATA DISCLAIMER AND HOLD HARMLESS AGREEMENT

Bohannon Huston agrees to release the following data and information to the contractor, a project surveyor, who accepts this data and information based on the following terms and conditions:  
1. Use of, or the reduction of the data and information, for any purpose or in any way, is solely the responsibility of the user, and Bohannon Huston in no way warrants its accuracy, correctness, or completeness, because the data and information may be preliminary in nature and subject to revision and/or updating, the data and information may contain undetected errors or omissions, and the data and information may not have been checked and edited.  
2. The user agrees to indemnify and hold harmless, Bohannon Huston against any and all claims, demands, causes of action, loss, expense and damages whatsoever in connection with or arising out of any negligent or improper use of the provided data and information. Such negligent or improper use is not limited to use without verification of conformance to approved plans and data.  
3. If coordinate information is provided to guide the construction staking process, the Contractor is responsible for verifying that all stake points conform to the construction plans and the intent of those plans. All discrepancies and conflicts shall be brought immediately to the attention of the Bohannon Huston Surveyor/Engineer for resolution prior to further construction effort.

SANDIA TECH CENTER  
CREDIT UNION AND  
CHILD CARE CENTER

ALBUQUERQUE, NEW MEXICO

DRAWING  
SITE PLAN  
HORIZONTAL CONTROL PLAN  
AND TRAFFIC CIRC. LAYOUT

PROJECT NO. DRAWING NO.

CADFILE  
DATE 05-07-01

C3.0

Development Road, S.E.

Gibson Boulevard, S.E.

LOT 3, BLOCK 1 SANDIA RESEARCH PARK  
REC. 5/6/88, VOL. C36, FOL. 115

LOT 3, BLOCK 1 SANDIA RESEARCH PARK  
REC. 5/6/88, VOL. C36, FOL. 115

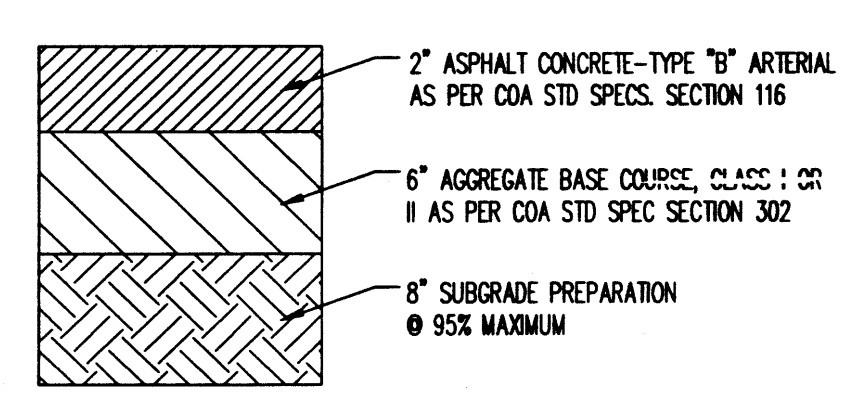
ACS "L-215"  
STANDARD ACS BRASS TABLET  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE GRID  
COORDINATES (CENTRAL ZONE)  
X=415,539.38 (NAD 1927)  
Y=1,476,456.55  
EL=5471.78  
G-G=0.99964645  
DELTA ALPHA=-0°09'44"

FF ELEV= 5481.50

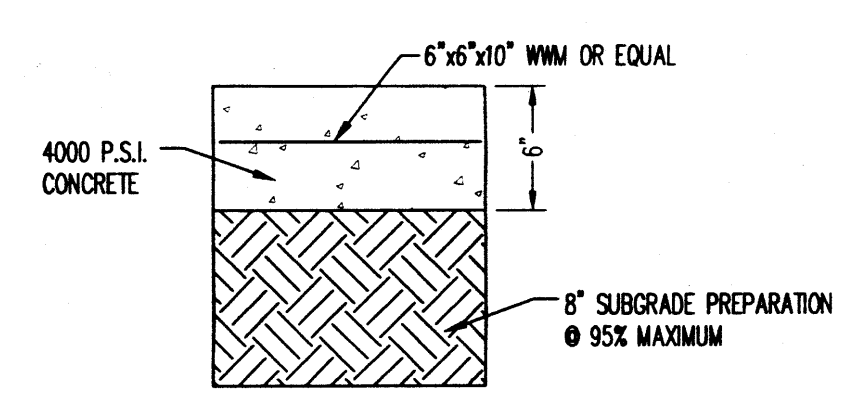
GRID E-2  
X=416381.1324  
Y=1476141.6202  
SEE SITE CONTROL  
NOTE #4

GRID A-9  
X=416480.2317  
Y=1476314.3602  
SEE SITE CONTROL  
NOTE #4

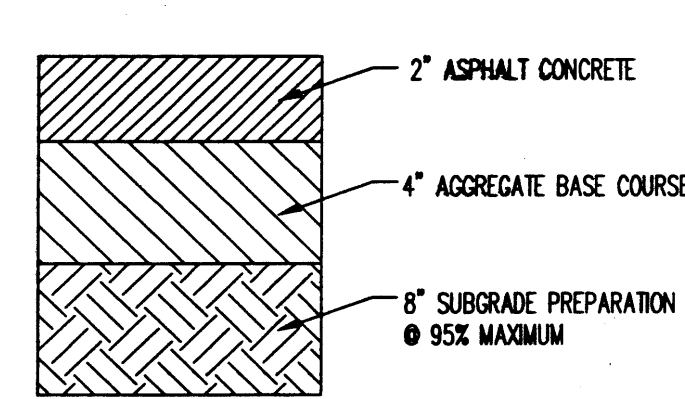
Britt Street, S.E.  
(60' R.O.W.)



HEAVY DUTY PAVEMENT SECTION



CONCRETE PAVEMENT SECTION



LIGHT DUTY PAVEMENT SECTION

DEMOLITION NOTES

1. ALL UTILITY COMPANY FACILITIES AND UNDERGROUND UTILITY LINES, WHETHER INDICATED OR NOT INDICATED ON THE DRAWING, SHALL REMAIN UNDISTURBED.
2. DEMOLITION PHASING SHALL PROCEED ONLY WITH THE PHASING OF THE CONSTRUCTION WORK SO THAT DEMOLITION DOES NOT OCCUR UNTIL CONSTRUCTION IS IMMINENT.
3. CONTRACTOR SHALL COORDINATE WORK INDICATED ON THE SITE DEMOLITION PLANS WITH THE CONSTRUCTION PLANS TO DETERMINE SPECIFIC REMOVAL LIMITS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL. CONTRACTOR SHALL COORDINATE WITH CITY OF ALBUQUERQUE, FOR WORK WITHIN THE PUBLIC RIGHT OF WAY AND WITH OWNER'S REPRESENTATIVE FOR WORK ON-SITE. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANS PRIOR TO IMPLEMENTATION.
5. CONTRACTOR IS RESPONSIBLE FOR DRAINAGE MANAGEMENT AND EROSION CONTROL AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

SITE CONTROL NOTES

1. ALL COORD. POINTS, CURVE DATA, AND DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL PARKING SPACE STRIPING TO BE SOLID, 4" WIDE & WHITE.
3. CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
4. BLDG. COORD. POINTS SHALL BE CHECKED AGAINST ARCH. GRID DIMENSIONS PRIOR TO STAKING OR CONSTRUCTION.

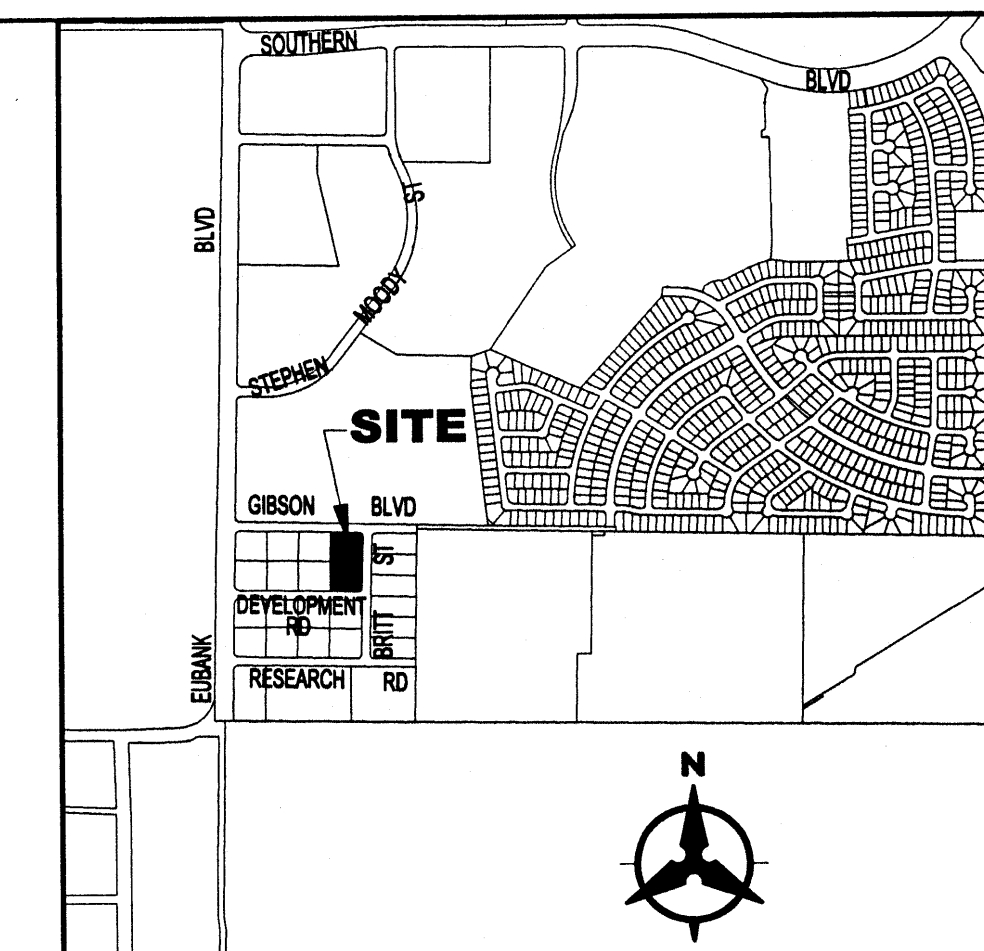
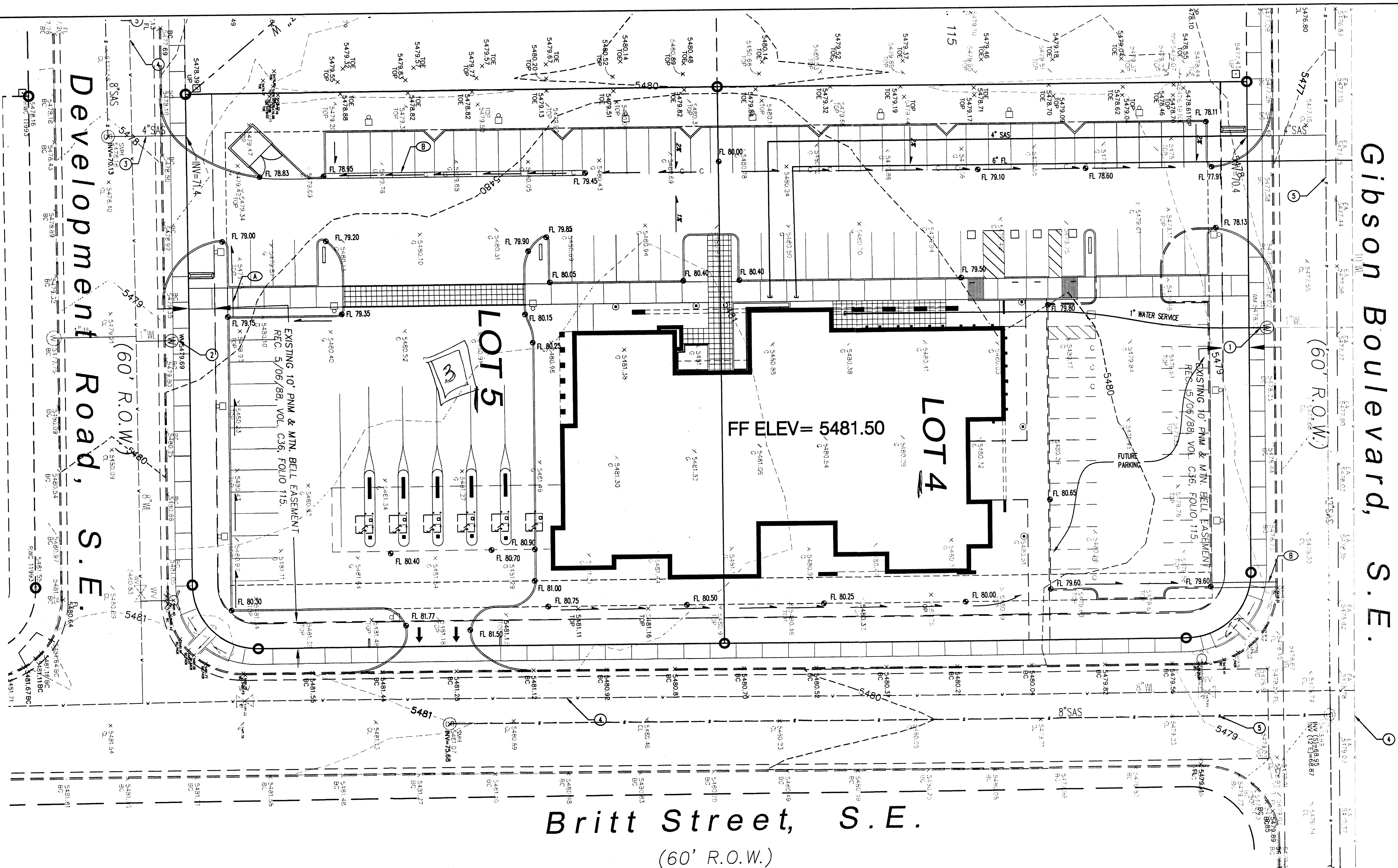
COORD. POINT DATA

PNT#	X	Y	PNT#	X	Y	PNT#	X	Y
1	416393.79	1476001.86	29	416305.51	1476341.15	57	416395.13	1476136.71
2	416296.02	1475996.23	30	416309.82	1476345.32	58	416476.35	1476134.22
3	416306.33	1476006.08	31	416305.64	1476349.63	59	416486.19	1476124.05
4	416318.05	1476034.35	32	416306.40	1476355.38	60	416486.10	1476118.97
5	416317.12	1476034.56	33	416291.22	1476411.49	61	416501.69	1476110.51
6	416314.43	1476030.07	34	416321.32	1476395.14	62	416512.72	1476130.84
7	416304.14	1476036.24	35	416324.35	1476398.38	63	416511.27	1476063.02
8	416318.22	1476059.72	36	416299.95	1476421.32	64	416502.62	1476062.17
9	416318.93	1476062.21	37	416373.96	1476419.83	65	416465.37	1476074.48
10	416318.97	1476064.63	38	416348.66	1476398.02	66	416494.45	1476018.07
11	416316.02	1476067.68	39	416351.59	1476394.64	67	416371.68	1476019.92
12	416301.02	1476067.93	40	416366.39	1476394.40	68	416372.35	1476060.91
13	416301.48	1476066.18	41	416365.69	1476351.90	69	416369.40	1476063.96
14	416305.79	1476100.35	42	416349.94	1476352.16	70	416355.92	1476064.18
15	416301.62	1476104.66	43	416349.87	1476347.66	71	416343.17	1476057.47
16	416302.29	1476145.17	44	416365.02	1476347.40	72	416344.80	1476054.36
17	416306.60	1476149.34	45	416363.45	1476215.42	73	416360.80	1476054.10
18	416302.43	1476153.66	46	416348.45	1476215.67	74	416360.24	1476020.11
19	416303.09	1476194.17	47	416345.40	1476212.72	75	416345.43	1476020.35
20	416307.40	1476196.34	48	416345.15	1476197.22	76	416342.41	1476017.00
21	416303.23	1476202.65	49	416346.10	1476194.17	77	416366.82	1476094.89
22	416287.13	1476209.08	50	416363.10	1476193.92	78	416470.61	1476353.84
23	416303.90	1476243.16	51	416362.26	1476142.93	79	416464.92	1476353.95
24	416308.21	1476247.33	52	416346.26	1476143.19	80	416465.33	1476387.35
25	416304.04	1476251.64	53	416344.52	1476140.14	81	416421.97	1476388.15
26	416304.70	1476292.15	54	416357.04	1476133.01	82	416389.14	1476393.45
27	416309.01	1476296.33	55	416370.61	1476132.79	83	416388.46	1476396.19
28	416304.84	1476300.64	56	416377.63	1476134.14			

CURVE DATA

CURVE	RADIUS	LENGTH	TAN	DELTA
C1	25.00'	23.41'	12.65'	53°39'41"
C2	60.00'	30.94'	15.82'	29°32'53"
C3	00.50'	1.25'	1.51'	143°23'27"
C4	5.00'	2.62'	1.34'	30°00'00"
C5	3.00'	4.71'	3.00'	90°00'00"
C6	3.00'	5.01'	3.31'	95°39'24"
C7	25.00'	36.71'	22.56'	84°07'58"
C8	25.00'	36.58'	22.45'	83°50'32"
C9	3.00'	5.05'	3.35'	96°22'12"
C10	2.25'	7.07'	0.00'	180°00'00"
C11	3.00'	4.71'	3.00'	90°00'00"
C12	3.00'	4.71'	3.00'	90°00'00"
C13	2.00'	4.28'	3.65'	122°34'44"
C14	15.00'	15.03'	8.22'	57°25'16"
C15	15.00'	7.22'	3.68'	27°34'01"
C16	17.30'	7.73'	3.93'	25°35'35"
C17	10.00'	15.71'	10.00'	90°00'00"
C18	10.00'	21.80'	19.16'	124°53'19"
C19	25.00'	24.05'	13.05'	55°06'41"
C20	25.00'	21.60'	11.52'	130°30'14"
C22	3.00'	4.71'	3.00'	90°00'00"
C23	15.00'	15.03'	8.22'	57°25'16"
C24	2.00'	4.28'	3.65'	122°34'44"
C25	3.00'	5.11'	3.42'	97°33'07"
C26	25.00'	35.97'	21.90'	82°26'11"





ZONE ATLAS MAP No. M-21-Z

#### LEGAL DESCRIPTION

LOTS NUMBERED FOUR (4) AND FIVE (5) IN BLOCK NUMBERED ONE (1), IN THE SANDIA RESEARCH PARK SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 6, 1988, IN VOLUME C36, FOLIO 115.

#### BENCHMARK

ACS MONUMENT "L-215"  
STANDARD ACS BRASS TABLET  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE GRID  
COORDINATES (CENTRAL ZONE)  
X=415,538.38 (NAD 1927)  
Y=4176,556.55  
EL=5471.78  
G-C=0.99964645  
DELTA ALPHA=-0.09'44"

RECEIVED  
APR 11 2001  
HYDROLOGY SECTION

#### CONCEPTUAL DRAINAGE MANAGEMENT PLAN

##### I. INTRODUCTION

The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Sandia Labs Federal Credit Union project, consisting of approximately 2.0 acres. The project is being submitted for EPC review at the May hearing.

##### II. SITE LOCATION

The site is located east of the intersection of Gibson (also known as Opportunity) and Eubank, within the existing platted lands of Sandia Research Park. The site is bounded on the east by Britt Street and on the south by Development Road and on the north by Gibson. Please see the vicinity map on this sheet.

##### III. EXISTING HYDROLOGIC CONDITIONS

The site is vacant land, sparse vegetation exists. Currently the southerly half of the site sheet drains to the southwest and onto Development Road. The north half of the road sheet drains to the northwest and onto Gibson Blvd. There is currently a small berm along the south property line of the site. That berm directs drainage from the site to the north and south before site drainage enters the adjacent lots to the west.

##### IV. PROPOSED HYDROLOGIC CONDITIONS

This project proposes to construct a new Credit Union facility. The existing approved Drainage Report for the Sandia Research Park allows for free discharge of developed flows to the adjacent streets. There are no storm drains in the adjacent streets and no underground onsite storm drainage is proposed. Under proposed developed conditions, the site will drain in substantially the same manner as under existing. Runoff from the developed site will be directed to Development Road and Gibson Boulevard.

##### VI. CONCLUSION

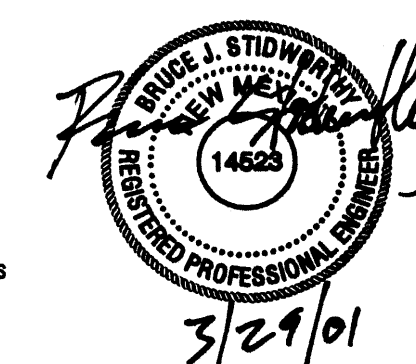
This conceptual drainage management plan proposes concepts which are in compliance with the approved drainage report for the Sandia Research Park, and which honor city drainage requirements. With this submittal, we are seeking site plan for building permit approval and final plot approval (note the plot is only required to consolidate the two existing lots into one).

##### ONSITE EXISTING CONDITIONS CALCULATIONS

Basin A (existing lots 3 & 4) 2.0 acres, Zone 3  
Land Treatments % - "C" = 30%, "A" = 70%  
 $Q_{100} = 0.3(2.0)3.45 + 0.7(2.0)1.87 = 4.7$  cfs  
NOTE: Approximately 50% of Undeveloped  
Basin A drains to Gibson and 50% to Development Road

##### ONSITE PROPOSED CONDITIONS CALCULATIONS

Basin A (entire proposed site)  
Land Treatments % - "B" & "C" = 5%, "D" = 90%  
 $Q_{100} = 0.05(2.0)(2.60+3.45) + 0.9(2.0)5.02 = 9.6$  cfs  
NOTE: Approximately 50% of Developed  
Basin A drains to Gibson and 50% to Development Road



**CONSENSUS PLANNING, INC.**  
Planning / Landscape Architecture  
924 Park Avenue SW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

**Bohannon & Huston**

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

#### UTILITY KEYED NOTES

- ① EXISTING 1" WATER METER TO BE USED FOR DOMESTIC WATER
- ② EXISTING 1" WATER METER BOX TO BE USED FOR IRRIGATION
- ③ EXISTING 4" SANITARY SEWER SERVICE - NOT TO BE USED
- ④ EXISTING PUBLIC WL
- ⑤ EXISTING PUBLIC SANITARY SEWER

#### GRADING AND DRAINAGE KEYED NOTES

- (A) SIDEWALK CULVERT/ CONCRETE RIBBON CHANNEL
- (B) CONCRETE VALLEY GUTTER, S=0.5%



## CONCEPTUAL GRADING & UTILITY PLAN

# Sandia Tech Center

Albuquerque, New Mexico

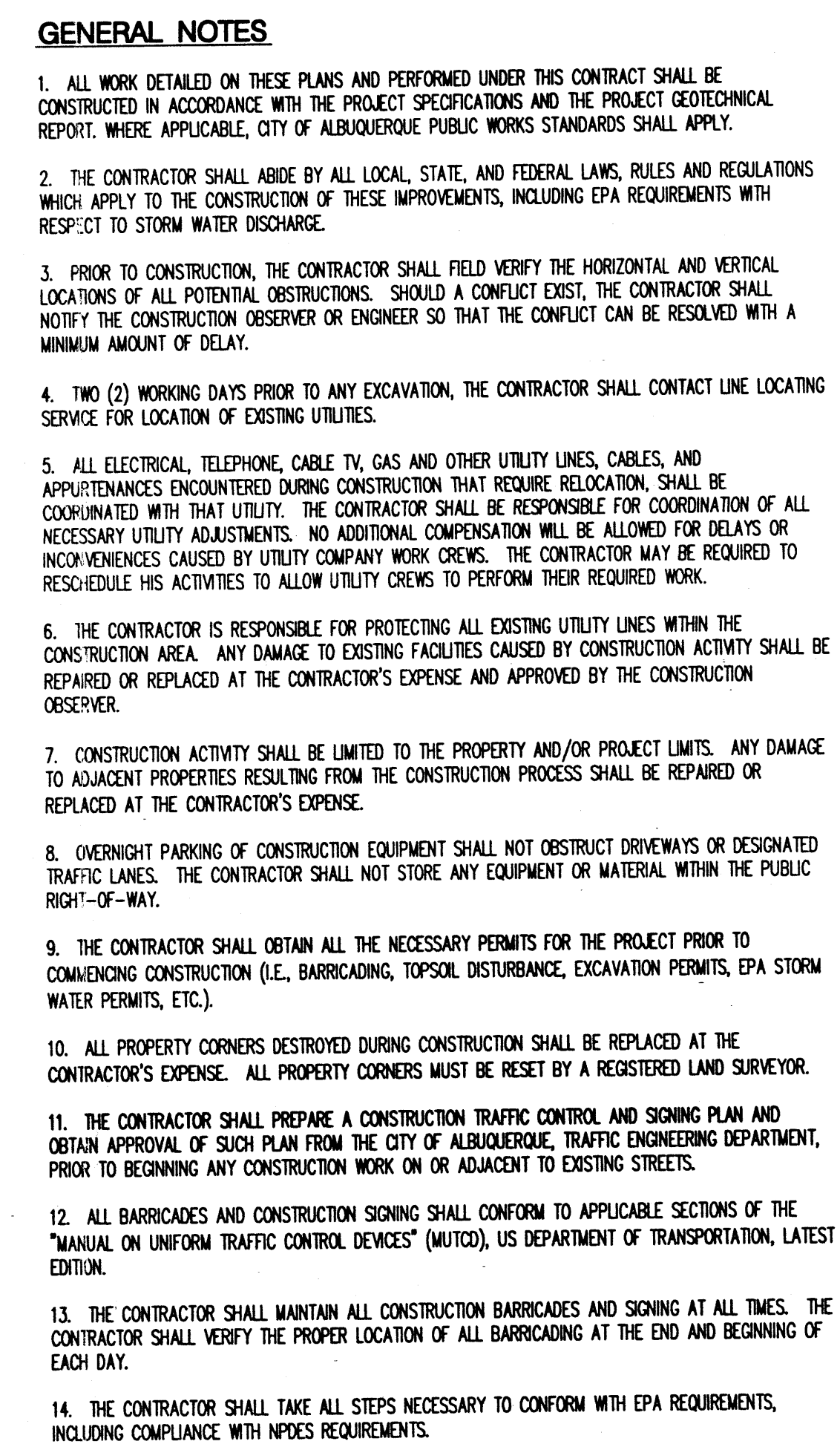
SHEET  
**3**  
March 29, 2001

**KDA Financial**


ENGLISH HARPER RETA  
ARCHITECTS

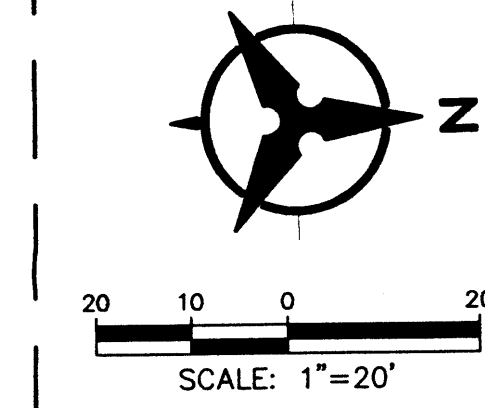


DATE 05-07-01



1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION AS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL BROKES FROM THE SITE INTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM(S) AT THE PROPERTY LINES PER DETAIL, THIS SHEET, AND SETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTED MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NOT SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PAVEMENT ELEVATIONS. FF ELEVATION SHALL BE +/- 0.05' FROM PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. NOTE: THE SURVEY PROVIDED FOR THE PROJECT DID NOT CONTAIN CONTOURS FOR EXISTING GROUND - ONLY SPOT ELEVATIONS WERE PROVIDED. THE EXISTING CONTOURS SHOWN ARE ONLY AN INTERPOLATION OF THE SPOT ELEVATION DATA PROVIDED BY THE SURVEYOR.
11. CONTRACTOR SHALL MARK EXISTING ELEVATIONS AT ALL DRIVEWAYS AND SIDEWALK CULVERTS PRIOR TO ANY GRADING, SITE PREPARATION, OR PAVEMENT CONSTRUCTION.

**Bohannon & Huston**  

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87110  
**ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS**



1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, REPAIRS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILLED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED BY HERRON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO EXISTING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER CITY OF ALBUQUERQUE STANDARD DMC 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HUBS AND FITTINGS. ALL CONNECTIONS SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, FRIORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY VERTICALS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

1. SHUTOFF EXISTING CORP. STOP AT MAIN AND ABANDON EXISTING "1" WATERLINE IN PLACE. REMOVE EXISTING METER BOX AND YOE. THIS WORK TO BE PERFORMED BY CITY OF ALBUQUERQUE. CONTRACTOR SHALL COORDINATE AND PAY FOR WORK.
2. EXISTING "1" WATER METER BOX TO BE USED FOR IRRIGATION - SEE LANDSCAPE PLANS FOR BFP & IRRIGATION SYSTEM
3. EXISTING 4" SANITARY SEWER SERVICE - NOT TO BE USED
4. EXISTING PUBLIC WATERLINE
5. EXISTING PUBLIC SANITARY SEWER
6. CONNECT TO EXISTING SANITARY SEWER STUB
7. INSTALL CLEANOUT PER DETAIL, SEE SHEET C3.2
8. STUB SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
9. STUB 2 1/2" WATERLINE TO WITHIN 5' OF BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
10. 6" FRELINE TO BE INSTALLED BY CITY OF ALBUQUERQUE, CONTRACTOR SHALL COORDINATE AND PAY FOR INSTALLATION, INCLUDING PAVEMENT REMOVAL & REPLACEMENT.
11. TE TO STUBOUT PROVIDED BY CITY OF ALBUQUERQUE, BUILD APPROX. 214' LF 6" FRELINE
12. 6" 90° BEND w/BLOCKING
13. STUB 6" FRELINE TO THIS POINT. SEE MECHANICAL PLANS FOR CONTINUATION.
14. NEW 1 1/2" WATER SERVICE PER CITY OF ALBUQUERQUE STD DWG. 2363, NEW METER BOX AND COVER PER CITY OF ALBUQUERQUE STD DWG. 2367. THIS WORK TO BE PERFORMED BY CITY OF ALBUQUERQUE. CONTRACTOR SHALL COORDINATE AND PAY FOR INSTALLATION, INCLUDING PAVEMENT REMOVAL & REPLACEMENT.
15. 2 1/2" 5' BEND w/ BLOCKING

- A. INSTALL 12" WIDE SUBGRADE CULVERT/ CONCRETE BURNING CHANNEL AS PER CITY OF ALBUQUERQUE STD. DWG. 2236. AS 2019 PERMIT REQUIRED PRIOR TO BUILDING SW CULVERTS WITHIN CITY RIGHT-OF-WAY.
- B. 2" WIDE CONCRETE VALLEY OUTER,  $S=0.67\%$ , AS PER DETAIL , THIS SHEET.
- C. EXISTING BERM TO REMAIN.
- D. SLOPE FROM BACK OF CURB TO BACK OF SIDEWALK TO BE 2.0% CONTINUOUS FOR LANDSCAPE STRIP AND SIDEWALK.
- E. PROVIDE 12" WIDE OPENING IN CURB TO ALLOW DRAINAGE OUT OF THE LANDSCAPE AREA. GRADE LANDSCAPE AREA TO DRAIN TO CURB OPENING.
- F. FOR DRAINAGE PURPOSES, PROVIDE TWO TURNED BLOCKS IN CMU WALL AT THIS LOCATION.

AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN LOCATIONS WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE NEW ELEVATION IS LISTED. ELEVATIONS WERE PROVIDED BY BOHANNAN HUSTON INC., PROFESSIONAL LAND SURVEYOR.

NOTES:

1. BRUCE J. STOWORTHY, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER OF THE STATE OF ARIZONA, DO HEREBY CERTIFY THAT THE DRAINAGE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. SITE IS ACCEPTABLE FOR PERMANENT C.O. APPROVAL.

*Bruce J. Stoworthy* 9/30/02  
BRUCE J. STOWORTHY, P.E. DATE  
N.M.P.E. NO. 14523

BRUCE J. STOWORTHY  
NEW MEXICO  
14523  
REGISTERED PROFESSIONAL ENGINEER

1. ALL EXCAVATION/CONSTRUCTION PERMIT SHALL BE REQUIRED BEFORE BEGINNING AN WORK WITHIN THE CITY RIGHTS-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS IS TO BE PERFORMED, EXCEPT AS OTHERWISE SPECIFIED BY THE PERSON, SAID PERSON IS TO CONSTRUCT IN ACCORDANCE WITH CITY ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LOCAL LOCATION SERVICE, 726-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

CONSTRUCTION MGT. DIV.      DATE

