

CITY OF ALBUQUERQUE



October 31, 2017

Mark Goodwin, PE
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87110

**Re: Volterra Village
11828, 11832, 11836, and 11840 Cicada Rd SE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 9-30-09 (M21D015C)
Certification dated: 10-26-17**

Dear Mr. Goodwin,

Based on the Certification received 10/27/2017, the above referenced certification is acceptable for permanent release of Certificate of Occupancy, by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: email Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Volterra Village **Building Permit #:** _____ **City Drainage #:** _____
DRB#: 1004073 **EPC#:** _____ **Work Order#:** 756188
Legal Description: Lots 1,2,3,4, Block 3, Volterra Village
City Address: 11828,11832,11836,11840 Cicada SE

Engineering Firm: Mark Goodwin & Associates, PA **Contact:** Mark Goodwin
Address: PO BOX 90606, Albuquerque, NM 87199
Phone#: 828-2200 **Fax#:** _____ **E-mail:** mark@goodwinengineers.com

Owner: JTH, LLC **Contact:** Scott Grady
Address: PO BOX 1443 Corrales Rd, Corrales, NM 87048
Phone#: 338-1438 **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

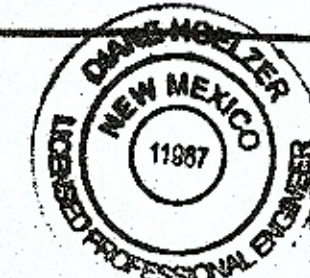
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 23, 2017 **By:** Mark Goodwin, PE

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☒ OTHER (SPECIFY) Courtyard Drains

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



I, DIANE HOELZER, PE, NMPE 11967, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPS 9790, OF THE FIRM SURVITEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/17/2014, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Diane Hoelzer 8-18-14
DIANE HOELZER, PE, NMPE 11967 DATE

- ### LEGEND
- 5135 EX. CONTOUR - MWR
 - EX. CONTOUR - MNR
 - EX. CURB & GUTTER
 - OHL EX. OVERHEAD ELEC
 - EX. SD EX. STORM DRAIN
 - EX. POWER POLE
 - NEW PROPERTY LINE
 - NEW LOT LINES
 - NEW RIGHT-OF-WAY
 - NEW CENTER LINE
 - NEW MOUNTABLE CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW SIDEWALK
 - NEW RETAINING WALL
 - 85 NEW CONTOURS
 - NEW 3:1 SLOPE
 - NEW FLOW
 - 98.25 NEW SPOTS
 - SD NEW STORM DRAIN
 - NEW HIGH POINT
 - 94.00TW NEW TOP OF WALL
 - 90.00BW NEW BOTTOM OF WALL
 - TURN ONE BLOCK IN WALL FOR DRAINAGE
 - FF = 81.18 NEW FINISH FLOOR
 - NEW AREA DRAIN
 - 6 NEW LOT NO.
 - NEW WATER HARVESTING AREA

- ### NOTES
- AFTER GRADING IS COMPLETE, OPEN SPACE CORRIDORS SHALL BE REVEGETATED WITH THE APPROPRIATE NATIVE SEED AND PLANT MIXTURES, AS AGREED WITH THE CITY OPEN SPACE DIVISION.
 - ANY DISTURBANCE TO THE OPEN SPACE CORRIDOR SHALL RESULT IN THOSE AREAS BEING REVEGETATED ACCORDINGLY.
 - ALL GRADES ARE FINISHED GRADES. TO OBTAIN FINISHED PADS 0.33 SHOULD BE SUBTRACTED FROM THE FF ELEVATIONS.
 - ALL SPOTS AROUND EACH UNIT ARE FINISHED GRADES. WHAT THIS MEANS IS THE FINAL LANDSCAPING GRADES SHALL MATCH THESE NUMBERS.
 - ALL HOME RUNOFF WILL DISCHARGE AT THE DRIVEWAY EXCEPT FOR DETACHED UNITS.
 - FOR THE DETACHED UNITS, NO ROOF RUNOFF IS ALLOWED TO DISCHARGE TO THE COURT YARD BETWEEN THE HOME AND THE GARAGE. HOME RUNOFF GOES TOWARD THE STREET AND GARAGE RUNOFF WILL DISCHARGE AT THE DRIVEWAY.

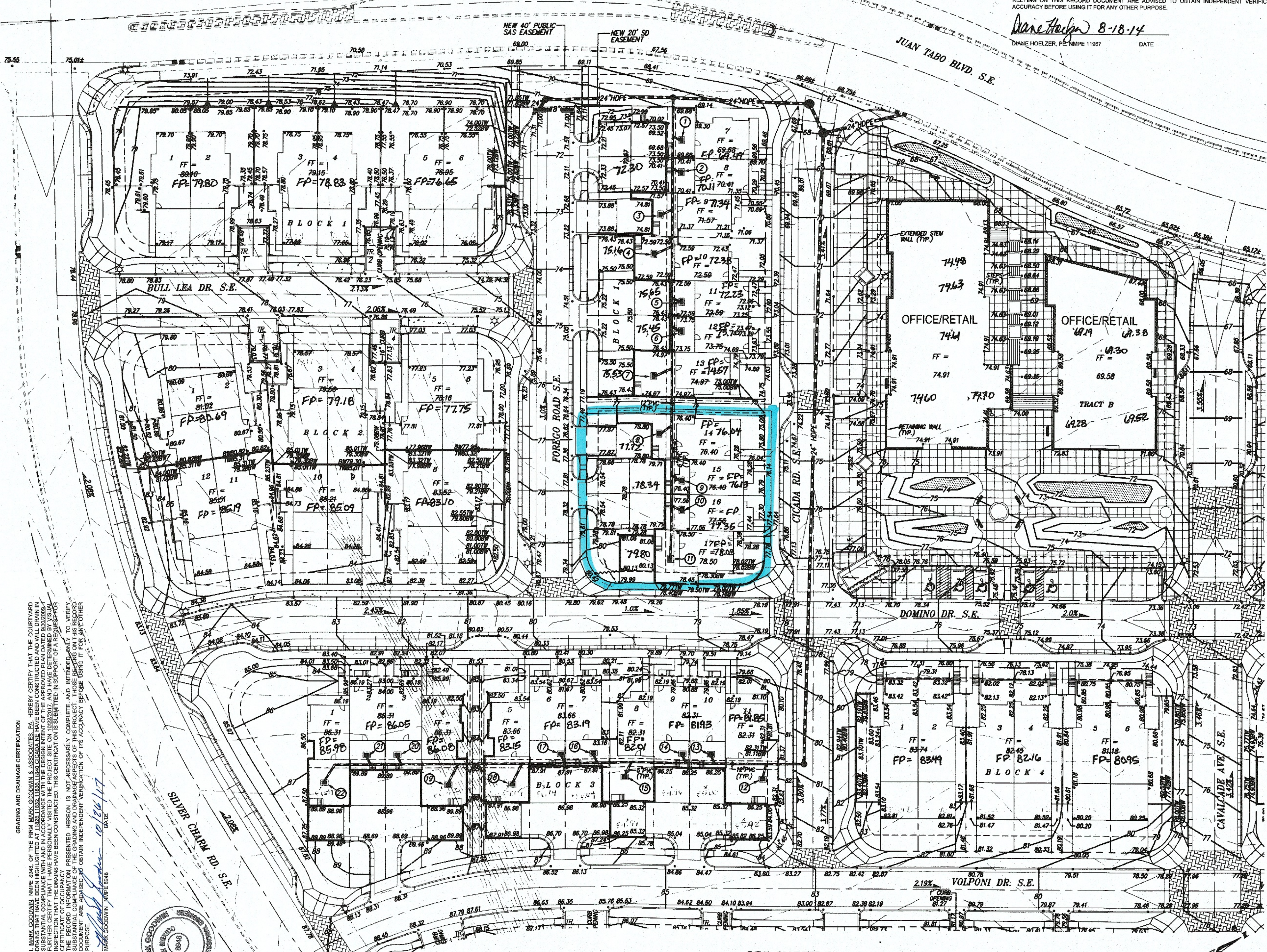
- ### KEYED NOTES
- | | |
|-----------------------------------|-----------------------------------|
| 1 NEW INLET #1
GRADE = 69.43 | 12 NEW INLET #12
GRADE = 82.06 |
| 2 NEW INLET #2
GRADE = 70.16 | 13 NEW INLET #13
GRADE = 82.06 |
| 3 NEW INLET #3
GRADE = 71.32 | 14 NEW INLET #14
GRADE = 82.06 |
| 4 NEW INLET #4
GRADE = 72.34 | 15 NEW INLET #15
GRADE = 82.06 |
| 5 NEW INLET #5
GRADE = 72.34 | 16 NEW INLET #16
GRADE = 83.41 |
| 6 NEW INLET #6
GRADE = 73.50 | 17 NEW INLET #17
GRADE = 83.41 |
| 7 NEW INLET #7
GRADE = 74.66 | 18 NEW INLET #18
GRADE = 83.41 |
| 8 NEW INLET #8
GRADE = 76.15 | 19 NEW INLET #19
GRADE = 86.06 |
| 9 NEW INLET #9
GRADE = 76.15 | 20 NEW INLET #20
GRADE = 86.06 |
| 10 NEW INLET #10
GRADE = 77.31 | 21 NEW INLET #21
GRADE = 86.06 |
| 11 NEW INLET #11
GRADE = 78.25 | 22 NEW INLET #22
GRADE = 86.06 |

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TITLE: **VOLTERRA VILLAGE**
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

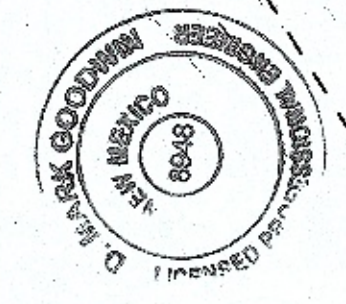
CITY PROJECT NO. **756188** ZONE MAP NO. **M-21-Z/M-22-Z** SHEET **4** OF **37**



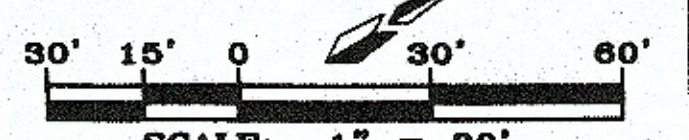
GRADING AND DRAINAGE CERTIFICATION
I, MARK GOODWIN, NMPE 8845, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THE COURTYARD DRAINAGE SYSTEM HAS BEEN DESIGNED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPS 9790, OF THE FIRM SURVITEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/22/2012, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Mark Goodwin 10/24/12
MARK GOODWIN, NMPE 8845 DATE



SEE SHEET 6



SCALE: 1" = 30'