

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 26, 2018

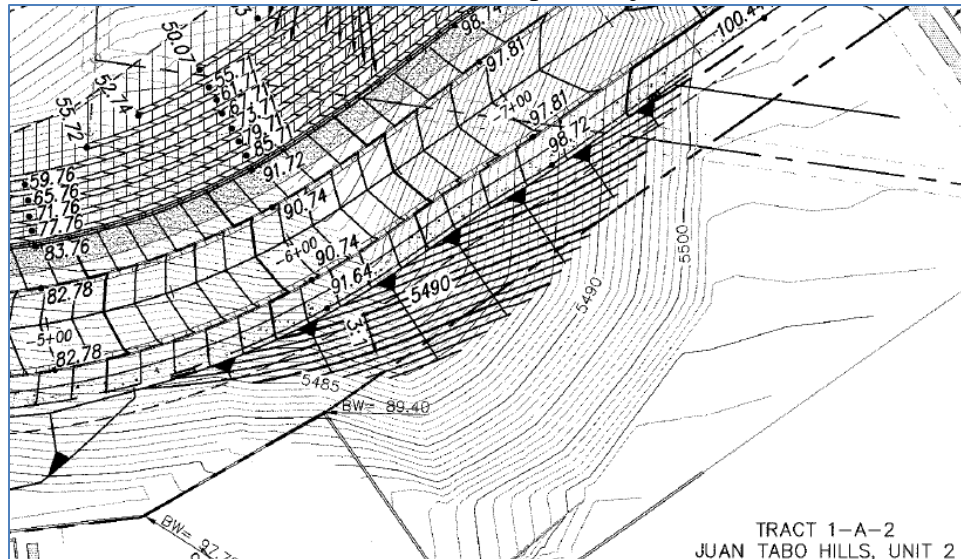
Mark Goodwin, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM, 87199

RE: **Juan Tabo Hills Estates**
Revised Grading Plan
Engineer's Stamp Date: 7/12/18
Hydrology File- M21D018; DRB# 1005278

Dear Mr. Goodwin:

Based on the submittal received on 7/20/18, the revised grading plan cannot be approved until the following are corrected:

1. Fill in or provide an armored drainage conveyance for the low spot south of the Rocky Top entrance. This area cannot be allowed to pond adjacent to the road embankment:



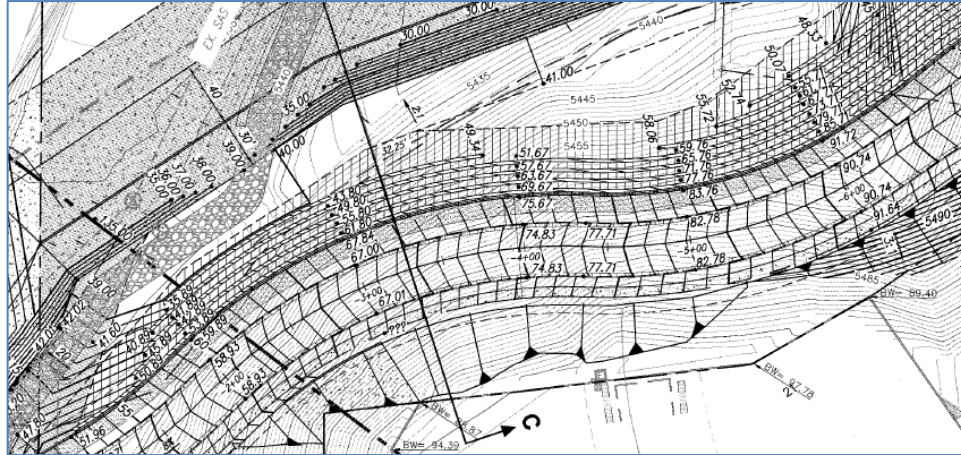
2. Provide the sections shown on the grading plan.
3. Provide an armored drainage conveyance for the interspaces between the terraced retaining walls and down into the storm water pond; ensure the AMAFCA access road is protected from this runoff:

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4. Please verify that the AMAFCA maintenance ramp, gate, and retaining walls are consistent with the current bank protection plans:



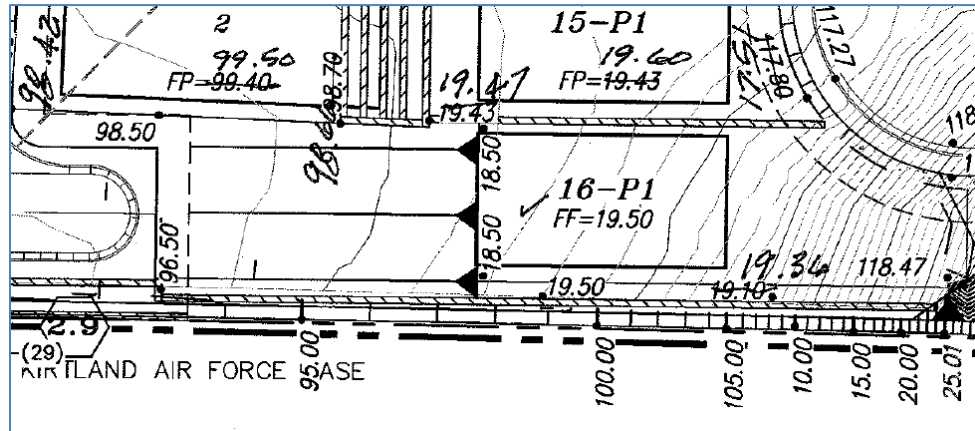
5. Provide self-ponding areas in the interspace (park) between the AMAFCA access road and the public road. The contours and spot elevations should reflect the access road as sloping at 2% away from the top of shotcrete and back into the park area. The ponding areas should be sized for the 10-day, 100-yr volume with supporting calculations provided.
6. This plan proposes lot adjustments and changes to the approved grades in excess of 18" and within 50' of the property line (vicinity Lot16, Block13). The amended preliminary plat will require Development Review Board approval (Hydrology approval of the revised grading plan will be a pre-requisite of the amended plat):

CITY OF ALBUQUERQUE

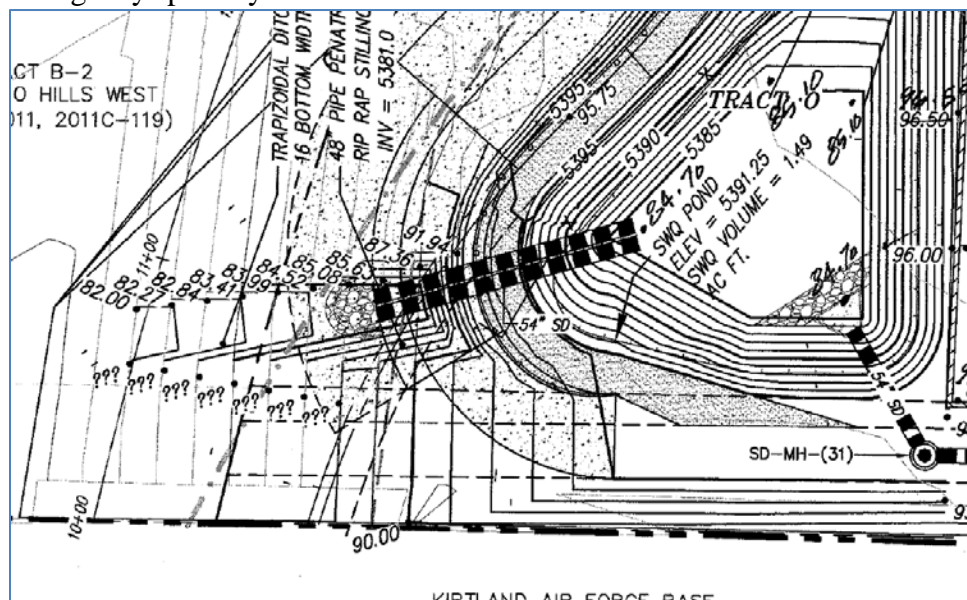
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7. Many of the Lots have been re-numbered. Is this intentional? This will need to be updated on the amended preliminary plat as well. Look at: Block 19, Block 14, Block 13,
8. Lot 8(?) of Block 12 is not labeled. Lot 6(?) of Block 4 is not labeled. Lot 6(?) and Lot 7(?) of Block 2 are not labeled.
9. The pads for: Lot 1- Block 14, Lot 1- Block 15, Lot 16- Block 9, encroach into the ROW; please correct.
10. Explain the switch to the dual pipe penetration at the SW pond. Is this reflected in the bank protection plans? Where are its build notes? It is still labeled as a single 48" pipe. The grading for the AMAFCA access ramp should be shown here as well as the grades for the emergency spillway:



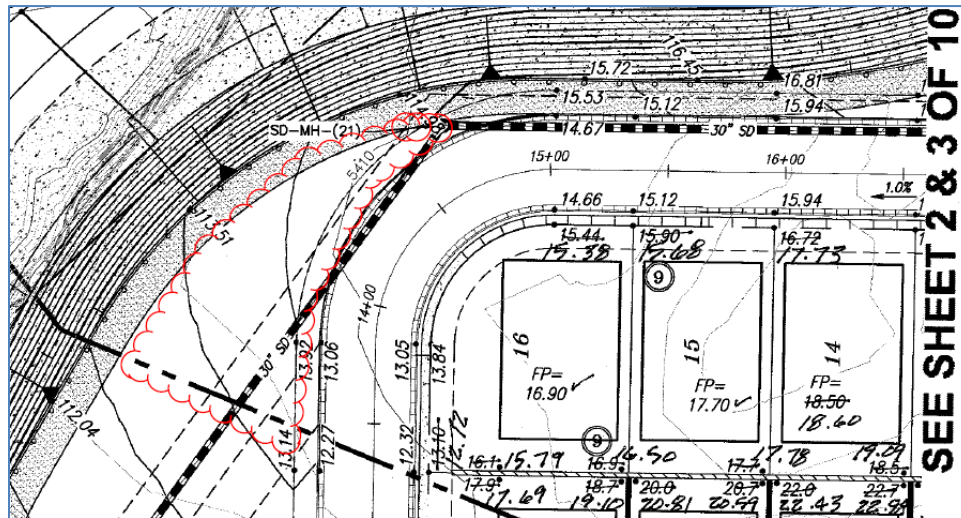
CITY OF ALBUQUERQUE

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11. Will this pond still function as a first flush facility? If not, than payment of the Fee-in-Lieu will be required at a rate or \$6/cf for the SWQ volume.
12. Provide rip-rap armoring at the outside bend of Sandia Sunset. If water surcharges out of the NMDOT inlet upstream near MH-47, flows will travel overland down Sandia Sunset and will likely jump the curb at this bend:



PO Box 1293

Albuquerque

NM 87103

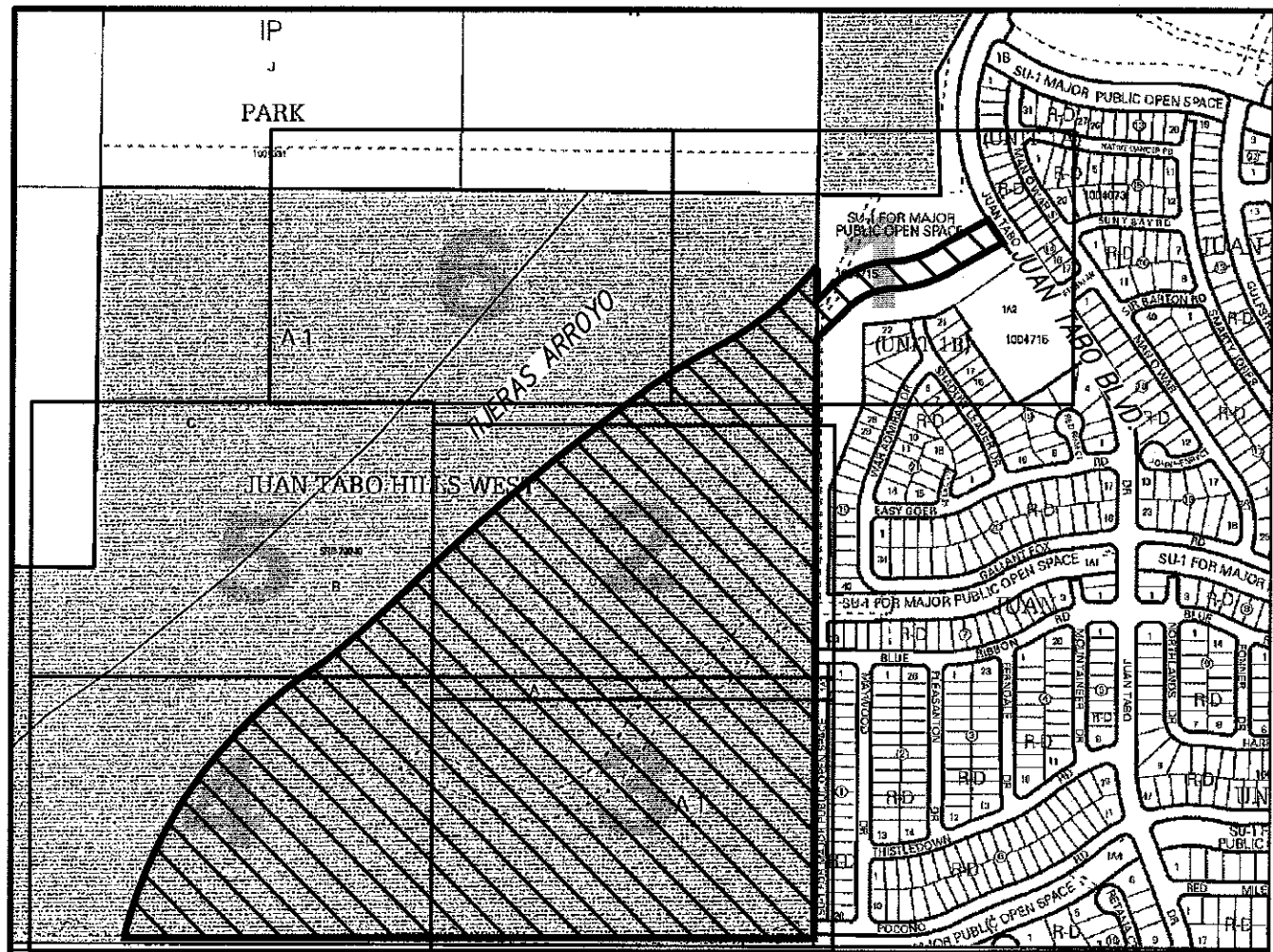
13. Hydrology recommends putting the prudent line for the Tijeras Arroyo on this grading plan if desiring to obtain Pad Certifications prior to acceptance of the bank protection. Otherwise the prudent line will need to be added on each Pad Certification.

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



VICINITY MAP

ZONE MAP: M-21

LEGEND

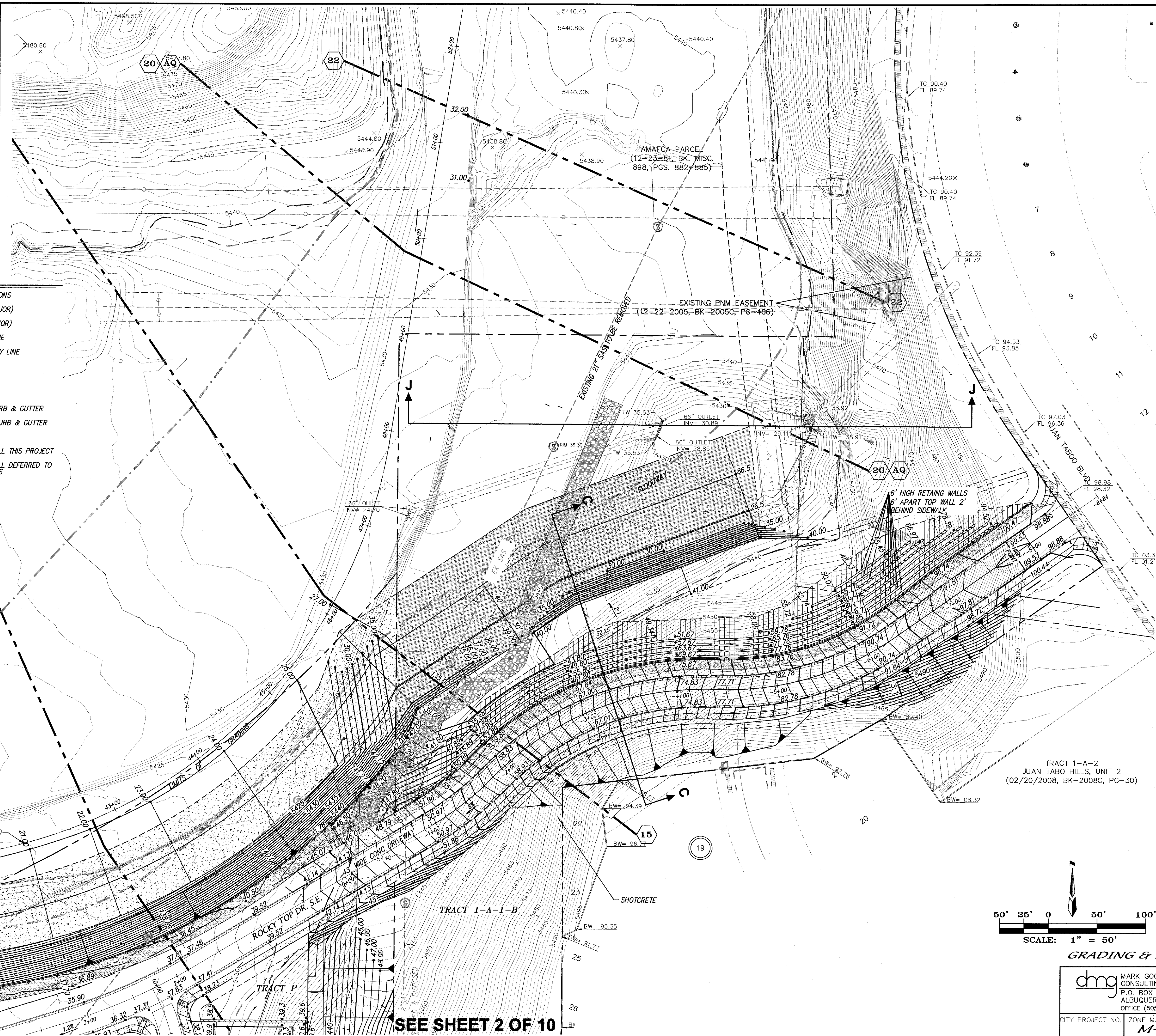
- EXIST. HANDRAIL
- EXIST. CONCRETE CURB
- EXIST. CONCRETE/SIDEWALK
- EXIST. WALL OR HEAD WALL
- EXIST. TOP CURB/FLOWLINE
- EXIST. SPOT ELEV.
- EXIST. GUY WIRE
- EXIST. MONITOR WELL
- EXIST. OVERHEAD ELECTRIC
- EXIST. POWER POLE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. STORM DRAIN MANHOLE
- EXIST. WATER VALVE
- EXIST. WATER METER
- NEW SPOT ELEVATIONS
- NEW CONTOUR (MAJOR)
- NEW CONTOUR (MINOR)
- NEW BOUNDARY LINE
- NEW RIGHT-OF-WAY LINE
- NEW LOT LINE
- NEW CENTERLINE
- NEW EASEMENT
- NEW STANDARD CURB & GUTTER
- NEW MOUNTABLE CURB & GUTTER
- NEW SIDEWALK
- NEW RETAINING WALL THIS PROJECT
- NEW RETAINING WALL DEFERRED TO THE HOME BUILDERS

- LIMITS 100 YEAR FLOOD PLAIN
- LIMITS 500 YEAR FLOOD PLAIN
- LIMITS OF FLOODWAY
- LIMITS AO ZONE
- BLOCK NUMBER INDENTITY

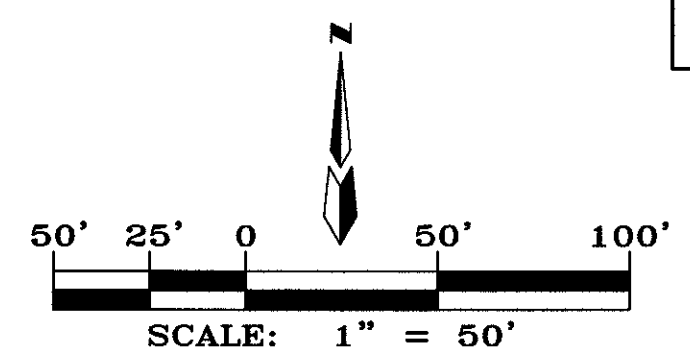
SEE SHEET 6 OF 10

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SEE SHEET 2 OF 10

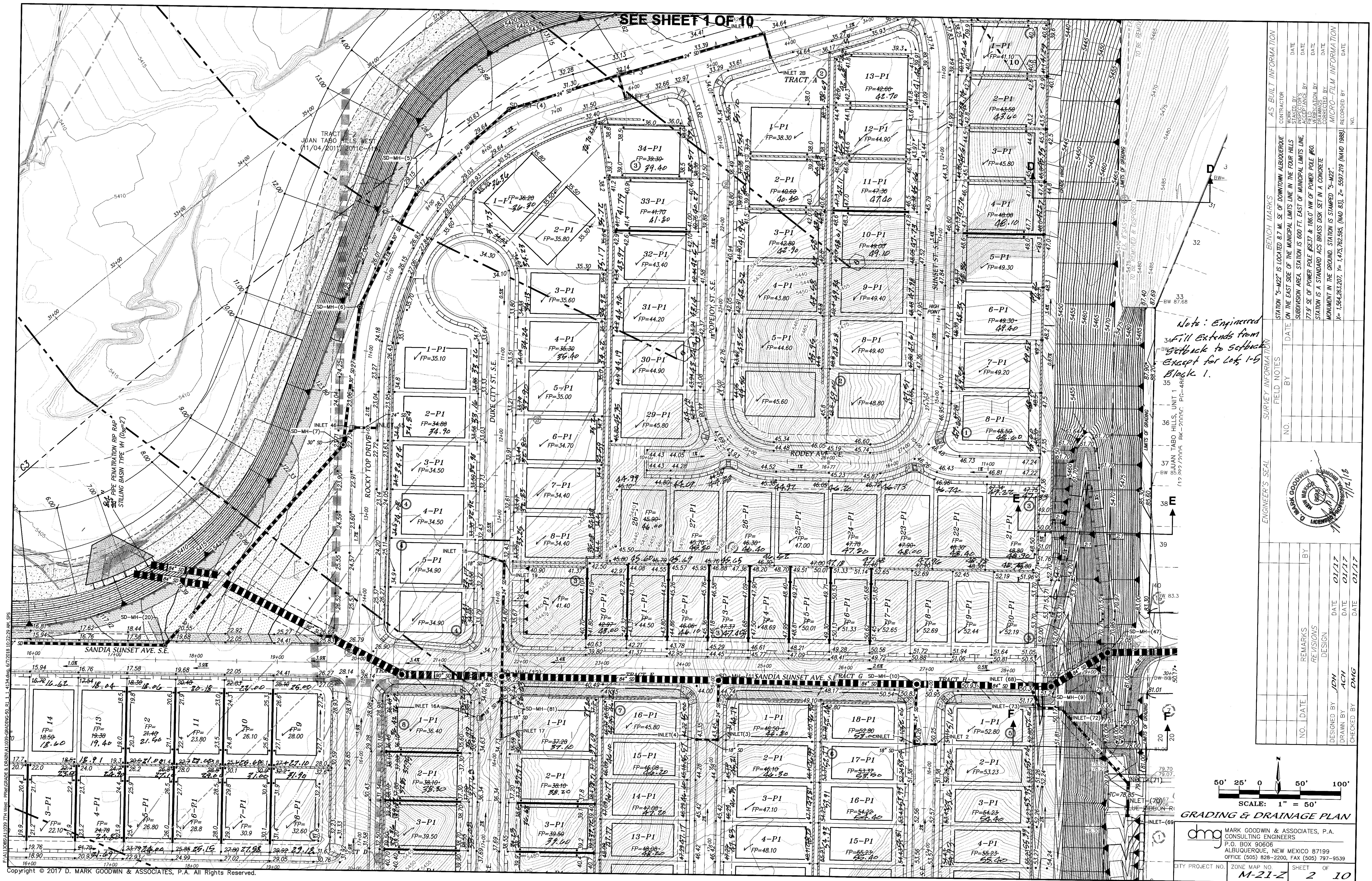


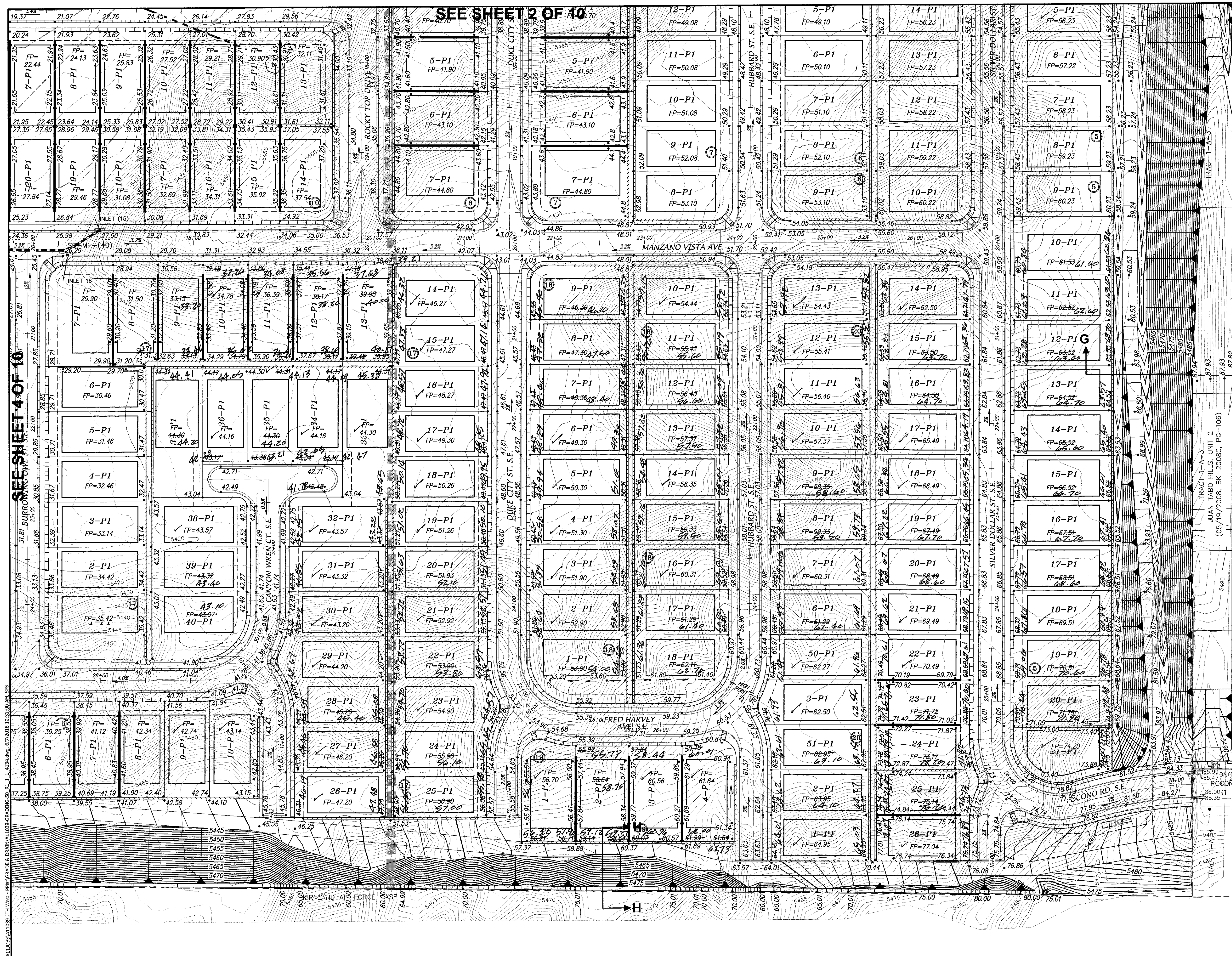
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY PROJECT NO.	ZONE MAP NO.	SHEET OF
	M-21-Z	1 10

SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		
FIELD NOTES			STATION "S-102" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE			CONTRACTOR		
NO.			ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS			WORK		
BY			SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE.			STATIONED BY		
DATE			77.9' SE OF POWER POLE #327 & 196.0' NW OF POWER POLE #60.			DATE		
NO.			STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE			DATE		
BY			MONUMENT IN THE GROUND. STATION IS STAMPED "S-102".			DATE		
DATE			MONUMENT IN THE GROUND. STATION IS STAMPED "S-102".			DATE		
NO.			X= 1,544,863.207, Y= 1,475,762.595, (NAD 83), Z= 5597.219 (NAD 1988).			DATE		
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NOTE: Engineer's Seal
Fill Extends From
Setback to Setback
Except for Lots
20-21, Block 6, and
Lots 1 & 25-26 Block 20

AS BUILT INFORMATION

CONTRACTOR	DATE	INSPECTOR'S NAME	DATE	FIELD ENGINEER'S NAME	DATE	REVISIONS

ENGINEER'S SEAL

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

DESIGNED BY: JDH DATE: 01/17
DRAWN BY: ACH DATE: 01/17
CHECKED BY: DMG DATE: 01/17

CITY PROJECT NO. ZONE MAP NO. SHEET OF
M-21-Z 3 10

1. THE CONTRACTOR(S) MUST COMPLY WITH NPDES TEMPORARY CONSTRUCTION REQUIREMENTS AND OBTAIN A PERMIT. CONTRACTOR SHALL ALSO PROVIDE A COPY OF THE APPLICATION FOR PERMIT AND NOTICE OF TERMINATION TO THE OWNER.
2. THE CONTRACTOR(S) IS RESPONSIBLE FOR PREPARING AND MAINTAINING A SWPPP FOR THE DURATION OF INFRASTRUCTURE CONSTRUCTION AND UNTIL THE CITY OF ALBUQUERQUE ACCEPTS THE PUBLIC INFRASTRUCTURE. CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF THE SWPPP AT THE BEGINNING OF THE PROJECT AND AT THE TIME OF NOTICE OF TERMINATION.
3. THE CONTRACTOR(S) IS RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING EROSION CONTROLS FOR THE DURATION OF THE CONSTRUCTION OF THE PUBLIC INFRASTRUCTURE AND FOR THE REMOVAL OF THE EROSION CONTROLS WHERE DIRECTED TO DO SO BY THE OWNER AT THE TIME OF NOTICE OF TERMINATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND IS TO PROVIDE AN AS-BUILT SURVEY CERTIFIED BY A REGISTERED PROFESSIONAL SURVEYOR TO THE OWNER UPON COMPLETION OF THE CONSTRUCTION. THE EARTHWORK CONTRACTOR IS TO PROVIDE EARTHWORK SURVEY, AND THE WALL BUILDER IS TO PROVIDE WALL SURVEY.
5. EARTHWORK CONTRACTOR SHALL PREPARE ROUGH SUBGRADE FOR THE RETAINING WALL CONSTRUCTION AND PROVIDE SUFFICIENT BACKFILL MATERIAL STOCKPILED ON THE HIGH SIDE OF EACH WALL FOR THE WALL BUILDER TO COMPLETELY BACKFILL THE WALLS.
6. RETAINING WALLS ARE SHOWN FOR GRADING PURPOSES ONLY. RETAINING WALL DESIGN IS TO BE PERFORMED BY OTHERS, AND SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR REVIEW, APPROVAL, PERMIT, AND INSPECTION
7. EARTHWORK CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION BY GEOTEST, INC. DATED JUNE 29, 2012.
8. TOPOGRAPHIC AND BOUNDARY SURVEY ARE BY ALDRICH LAND SURVEYING NOVEMBER 2011.
9. BENCHMARK USED IS AGRS BRASS CAP STAMPED "7-M21" HAVING AN ELEVATION OF 5498.07 (NGVD29).
10. FEMA SPECIAL FLOOD HAZARD ZONE ON THIS PROPERTY AS SHOWN ON LOMR CASE NO. 13-06-1053P EFFECTIVE JUNE 17, 2013.

The map displays the study area with various flood limits and floodway areas. The labels on the map are:

- LIMITS 100 YEAR FLOOD PLAIN
- LIMITS 500 YEAR FLOOD PLAIN
- LIMITS OF FLOODWAY
- LIMITS AO ZONE

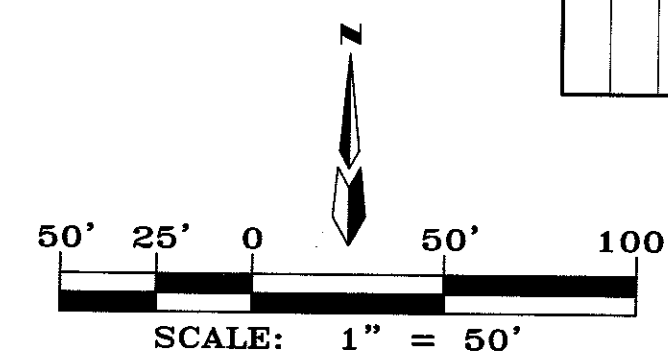
The map also shows a network of roads and a river. The roads are labeled with their names and numbers, and the river is labeled with its name. The map is oriented with North at the top.

Section A-A (NO SIDEYARD WALL)

Section B-B (HOME BUILDER'S SIDEYARD WALL)



Note: Engineered Fill
Extends from
Setback to Setback



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		

F:\111026\11029 JTH West - P\Peri\GRADE & DRAIN\BASIN MAP\11029-DRAINAGE-BASIN.dwg, 1/26/2017 1:22:10 PM, SPS

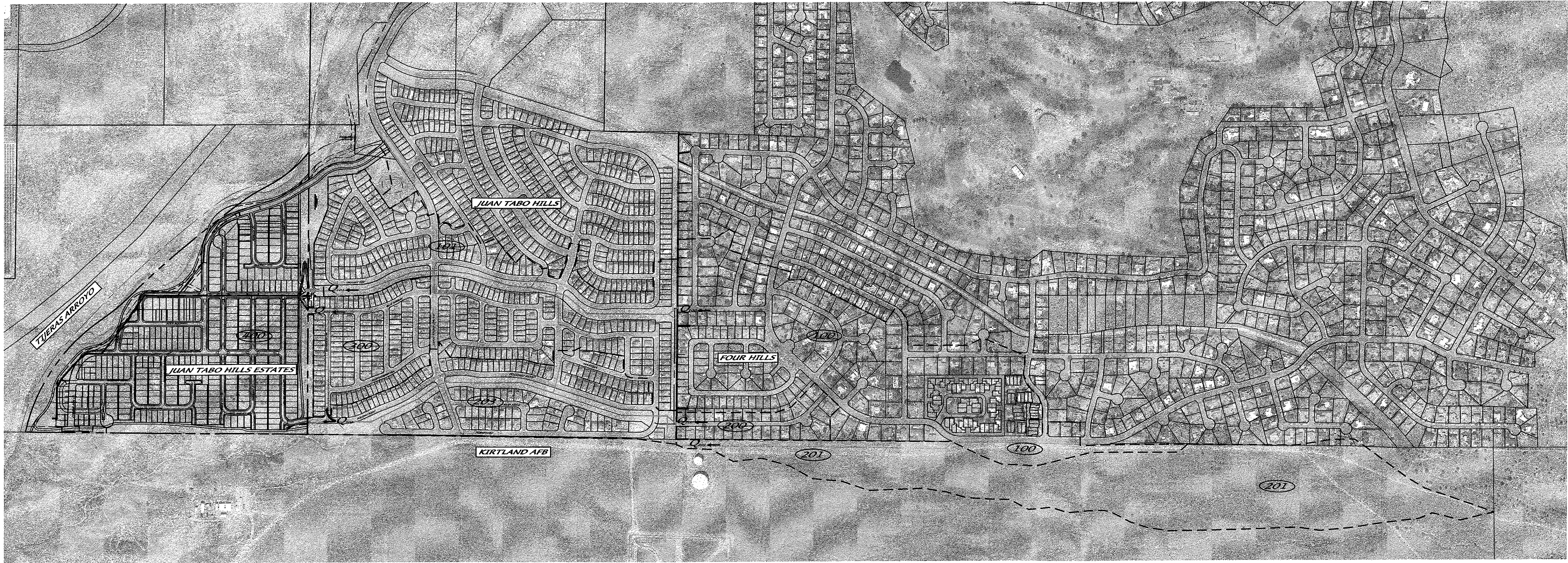


Table 1: HYDROLOGY SUMMARY TABLE											
AHYMO BASIN ID	Location	AREA		Ground Cover (%)				Q ₁₀₀ (cfs)	Water Quality Volume (Ac-Ft)		
		(Ac)	(Sq mi)	A	B	C	D	Increment	Increment	Sub Total	
100	Four Hills	89.10	0.13922	8	18	35	38.7	328.22	1.3218	1.3218	
101	Juan Tabo Hills	66.80	0.10438	0	19	39	42	282.50	1.0755	1.0755	
200	Four Hills	9.00	0.01406	0	20	40	40	37.61	0.1380	1.4598	
201	Kirtland	76.30	0.01828	100	0	0	0	27.64	0.0000	0.0000	
203	Juan Tabo Hills	42.50	0.06641	0	22	45	33	172.59	0.5376	1.6131	
300	Juan Tabo Hills	22.30	0.03484	0	14	29	57	99.75	0.4673	2.1004	
400	JTH Estates	77.70	0.12141	0	9	41	50	343.61	1.4693	1.4693	
TOTALS:		383.70	0.30					1291.92		5.05	

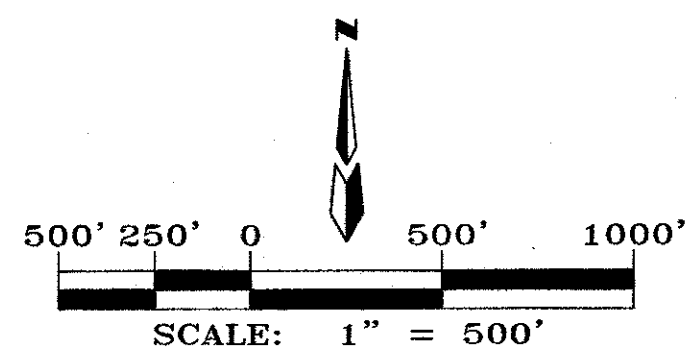
LEGEND

--- AHYMO BASIN BOUNDARY

--- SUB-BASIN BOUNDARY

--- NEW RCP STORM DRAIN

(400) AHYMO BASIN NUMBER



JUAN TABO HILLS ESTATES

DRAINAGE BASIN MAP

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 767-9539

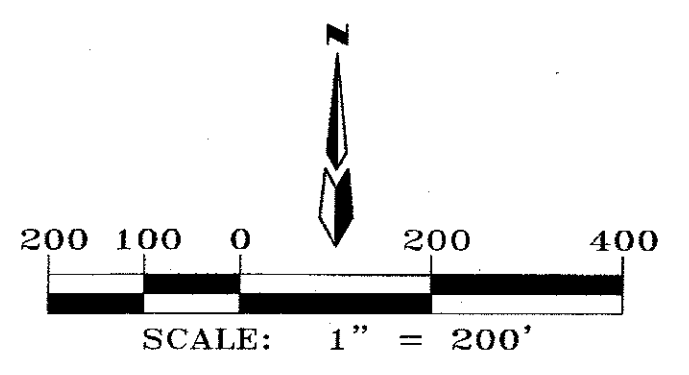
CITY PROJECT NO. ZONE MAP NO. SHEET OF

M-21-Z 7 10

SURVEY INFORMATION				BENCH MARKS				AS BUILT INFORMATION			
FIELD NOTES		DATE		STATION "5-M22" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE		CONTRACTOR		WORKED BY		DATE	
NO.		BY		ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS		INSPECTED BY		DATE		DATE	
				SUBDIVISION AREA. STATION IS 900 FT. EAST OF MUNICIPAL LIMITS LINE.		APPROVED BY		DATE		DATE	
				77.9' SE OF POWER POLE #537 & 186.0' NW OF POWER POLE #60.		VERIFICATION BY		DATE		DATE	
				STATION IS A STANDARD ACS BRASS DSK SET IN A CONCRETE		CORRECTED BY		DATE		DATE	
				MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22".		MICRO-FILM INFORMATION		RECORDED BY		DATE	
				X= 1,564,263.207, Y= 1,475,762.885, (NAD 83), Z= 5597.219 (NAVD 1988).		NO.					

LEGEND

----- AHYMO BASIN BOUNDARY
- - - - - SUB-BASIN BOUNDARY
400 AHYMO BASIN NUMBER
400Q SUB-BASIN NUMBER
15 NEW INLET NUMBER
51 EXISTING INLET NUMBER
P16 NEW ROP PIPE NUMBER
P16 HIGH POINT (WATERBLOCK)



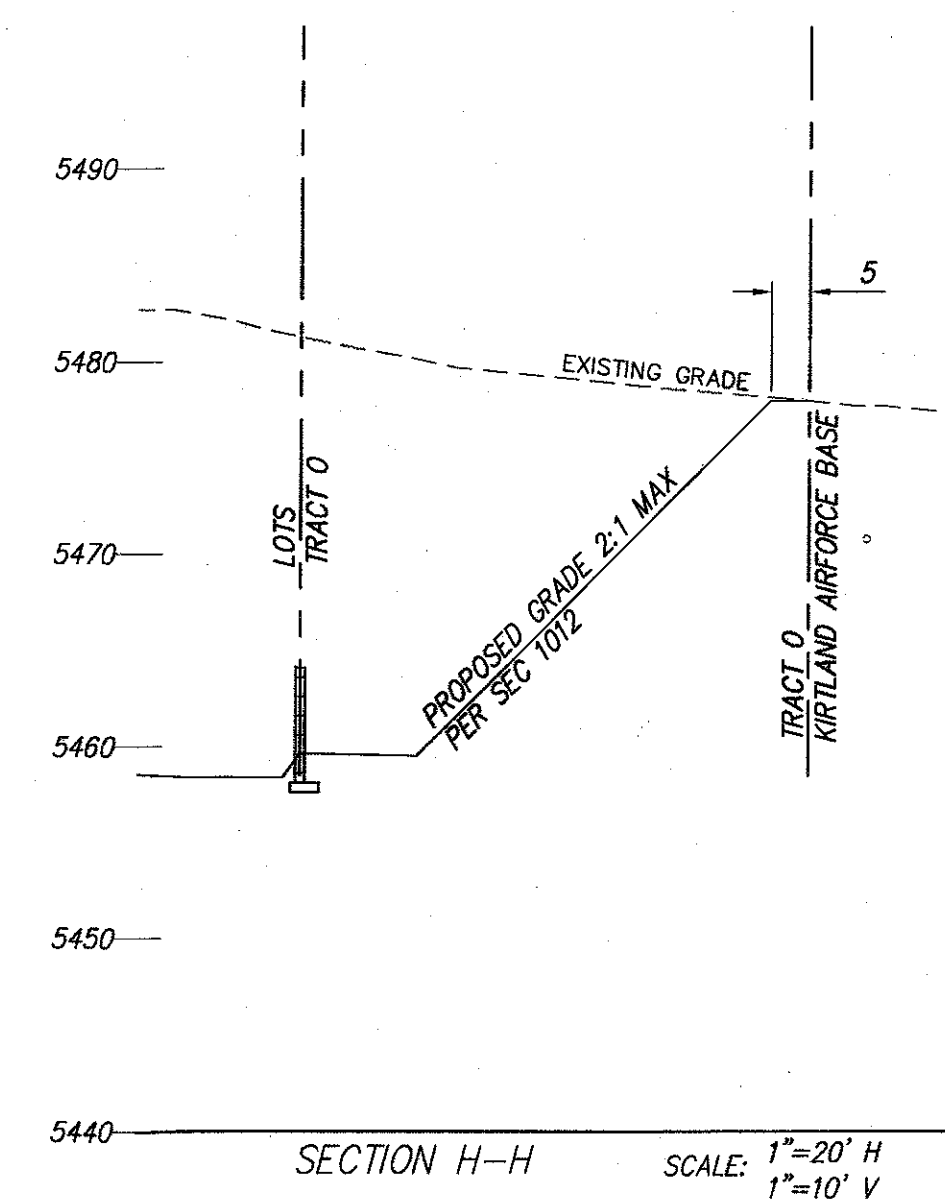
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE			
					STATION "5-M22" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE		
					ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS		
					SUBURBAN AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE.		
					77.9' SE OF POWER POLE #537 & 186.0' NW OF POWER POLE #60.		
					STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE		
					MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22"		
					X= 1,564,263.207, Y= 1,475,762.595 (NAD 83), Z= 5597.219 (NAD 1983).		
DESIGNED BY	JDH	DATE	01/17		MICRO-FILM INFORMATION		
DRAWN BY	ACH	DATE	01/17		RECORDED BY		
CHECKED BY	DWG	DATE	01/17		NO.		


SEE SHEET 9 OF 11

JUAN TABO HILLS ESTATES
ONSITE DRAINAGE BASIN MAP

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY PROJECT NO.	ZONE MAP NO. M-21-Z	SHEET OF 8 10
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<i>JUAN TABO HILLS ESTATES</i>			
<i>GRADING & DRAINAGE PLAN</i>			
		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 OFFICE (505) 828-2200, FAX (505) 797-9539	
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	<i>M-21-Z</i>	<i>10</i>	<i>10</i>

[illegible]