

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

September 4, 2018

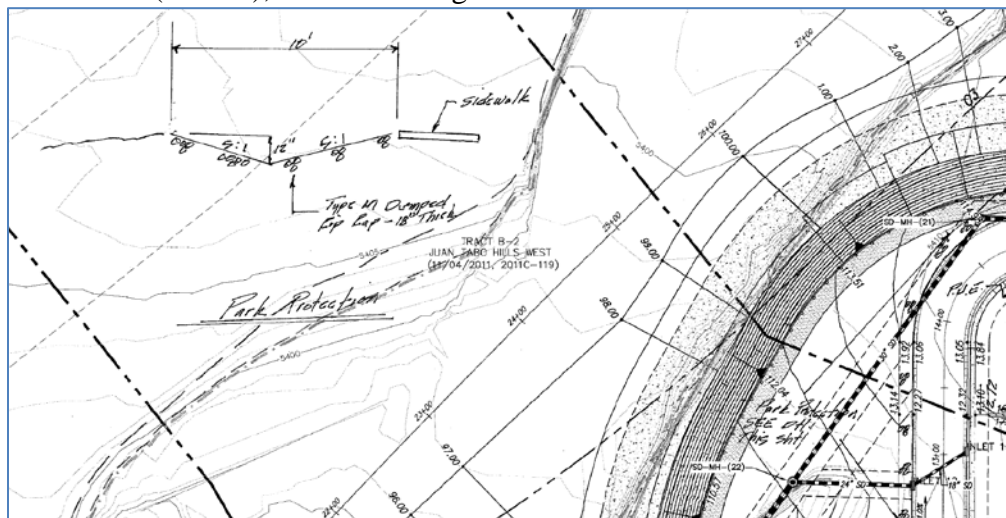
Diane Hoelzer, P.E.  
Mark Goodwin & Associates  
PO Box 90606  
Albuquerque, NM, 87199

RE: **Juan Tabo Hills Estates**  
**Revised Grading Plan**  
**Engineer's Stamp Date: 8/30/18**  
**Hydrology File- M21D018; DRB# 1005278**

Dear Ms. Hoelzer:

Based on the submittal received on 8/30/18, the revised grading plan cannot be approved until the following are corrected:

1. Provide self-ponding areas in the interspace (park) between the AMAFCA access road and the public road, or drain away from bank protection per AMAFCA direction. The contours and spot elevations should reflect the access road as sloping at 2% away from the top of shotcrete and back into the park area. If used, the ponding areas should be sized for the 10-day, 100-yr volume with supporting calculations provided. If this grading will be part of the landscaping plan, then the landscaping plan need to be included when resubmitting.
2. Provide rip-rap armoring at the outside bend of Sandia Sunset. If water surcharges out of the NMDOT inlet upstream near MH-47, flows will travel overland down Sandia Sunset and will likely jump the curb at this bend. Mark hand drew a detail and location of this on the previous submittal (sheet 5), but it did not get carried over this time:



# CITY OF ALBUQUERQUE

*Planning Department*  
David Campbell, Director



*Mayor Timothy M. Keller*

If you have any questions, you can contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is positioned above the printed name.

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Juan Tabo Hills Estates Building Permit #: \_\_\_\_\_ Hydrology File #: m-21/2018

DRB#: PR-2018-01388 (1005278) EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract A Juan Tabo Hills / Tract 1-A-1 Juan Tabo Hills Unit 2

City Address: Juan Tabo and Tijereras Arroyo

Applicant: Eastside Development Contact: Rex Wilson

Address: PO Box 9470 ABQ NM 87119

Phone#: 899-6768 Fax#: \_\_\_\_\_ E-mail: rwilson2000@aol.com

Other Contact: Mark Goodwin + Associates PA Contact: Mark Goodwin

Address: PO Box 90006 ASO NM 87199

Phone#: 828-2200 Fax#: \_\_\_\_\_ E-mail: mark@goodwinengineers.com

TYPE OF DEVELOPMENT: 132 PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes \_\_\_\_\_ No (Response to Comments)

DEPARTMENT \_\_\_\_\_ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL (Amendment)
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 8/30/18 By: Diane Hoelzer PE

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

August 30, 2018  
Dana Peterson, PE  
Hydrology Division, Planning Dept.  
Development and Building Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: Juan Tabo Hills Estates  
Revised Grading Plan  
Hydrology File-M21D018; DRB 1005278**

Attention Dana Peterson:

This letter is in response to your comment letter dated August 27, 2018:

1. The grading plan has been revised to eliminate the sump area that was previously shown east of Rocky Top Road near the entrance into the subdivision.
2. Section C-C has been modified to show an armored swale between each of the terraced areas between the retaining walls. All of the area in and around the shotcrete bank protection and the City storm pipe out fall is being protected with shotcrete and is being detailed on the bank protection DRC / AMAFCA plans. All other areas are being protected with gravel mulch.
3. A standard detail for the AMAFCA access and maintenance road has been added to the Details sheet. The detail indicates that there is a 2% cross slope away from the bank protection on the maintenance road. The runoff from this area will go into depression areas. The details of which will be worked out in the overall landscape plan being prepared by others. The ponding areas can be worked out in conjunction with the landscape plan.
4. The grading plan has been revised to show (1) 60" RCP at the SWQP. The grading plan has been corrected.
5. At this time the pond is functioning as a first flush pond facility. The details of the pond and outfall are being worked out through DRC process and AMAFCA.
6. Okay.

Please call me if you have any questions.

Sincerely,

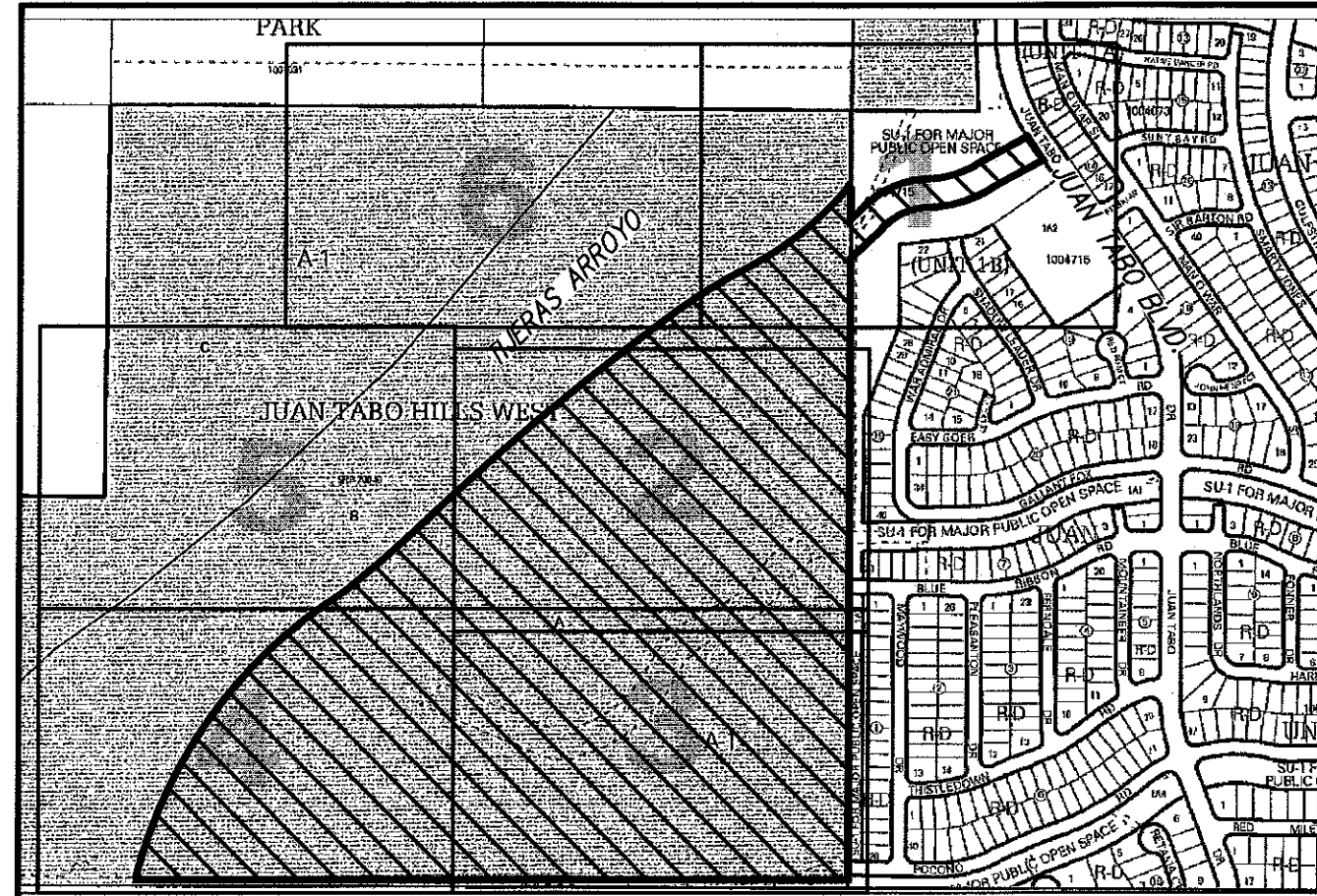
MARK GOODWIN & ASSOCIATES, P.A.

Diane Hoelzer, PE  
Senior Engineer

DLH/dlh

f:\11039 JTH Estates/Hydro\_itr\_11039\_DP\_DRB Final Plat.docx





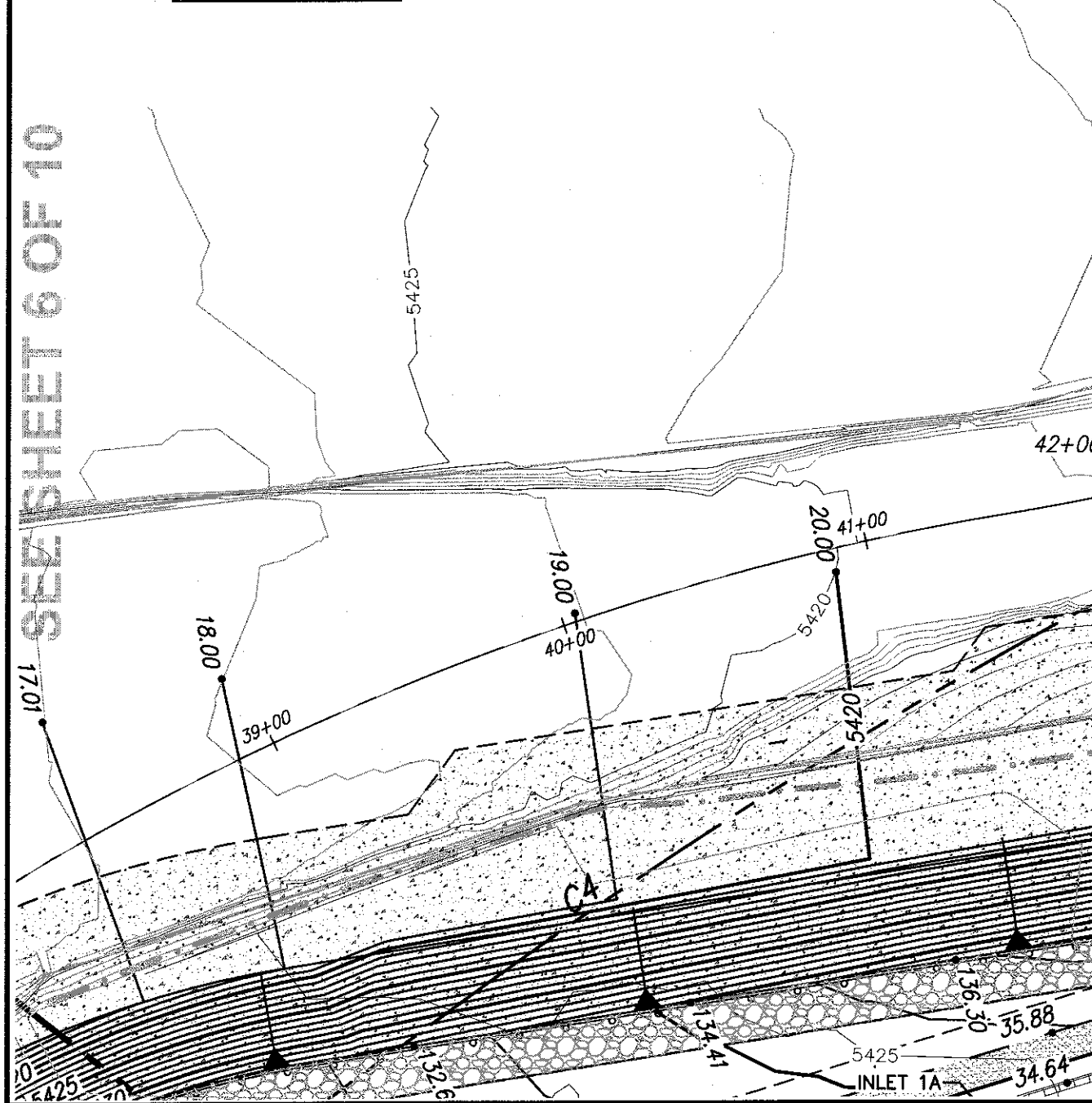
VICINITY MAP

ZONE MAP: M-21

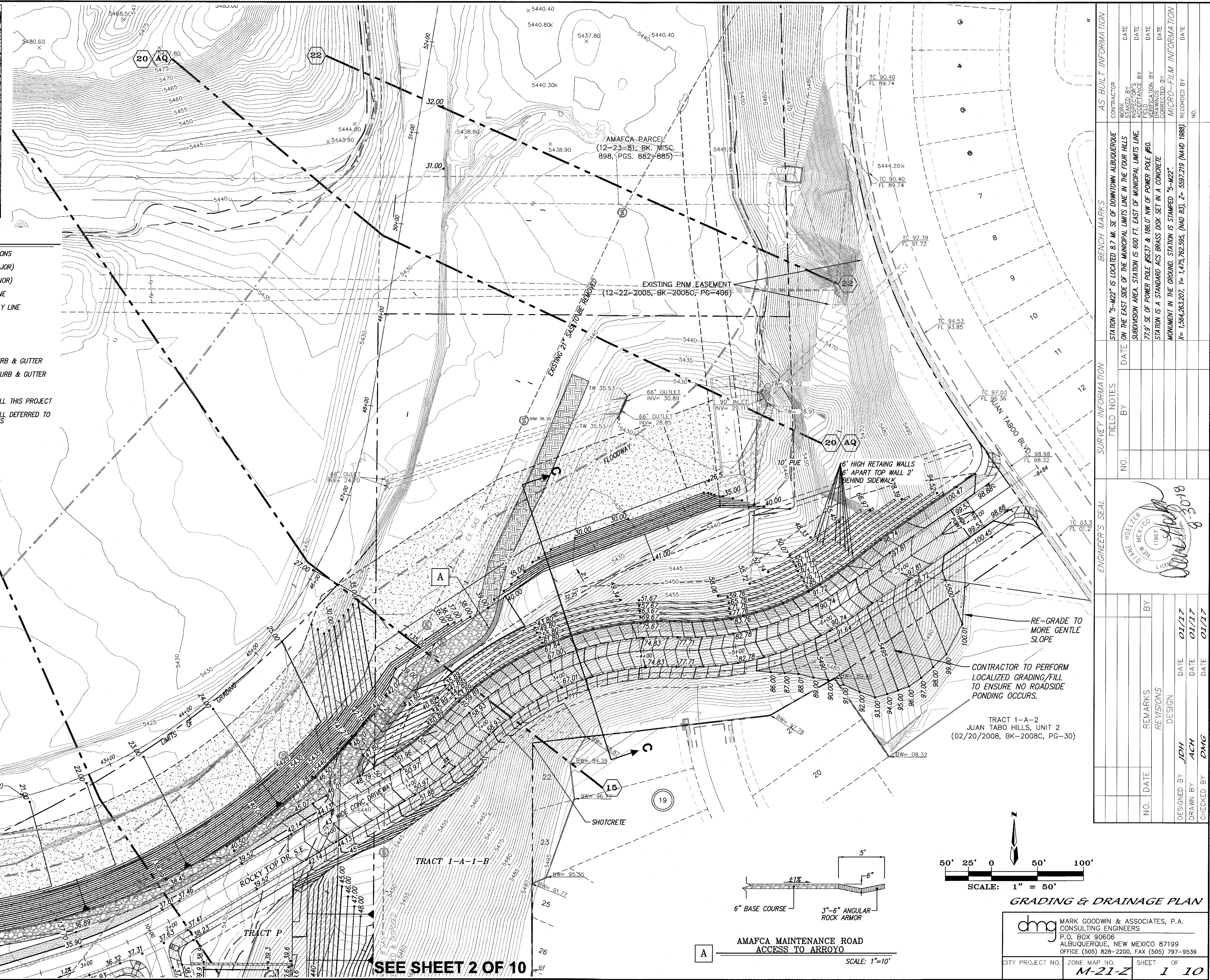
- LEGEND**
- |                               |          |  |
|-------------------------------|----------|--|
| EXIST. HANDRAIL               | • 29.29  | NEW SPOT ELEVATIONS                              |
| EXIST. CONCRETE CURB          | — 5390 — | NEW CONTOUR (MAJOR)                              |
| EXIST. CONCRETE/SIDEWALK      | — 5386 — | NEW CONTOUR (MINOR)                              |
| EXIST. WALL OR HEAD WALL      | — — —    | NEW BOUNDARY LINE                                |
| EXIST. TOP CURB/FLOWLINE      | — — —    | NEW RIGHT-OF-WAY LINE                            |
| EXIST. SPOT ELEV.             | — — —    | NEW LOT LINE                                     |
| EXIST. GUY WIRE               | — — —    | NEW CENTERLINE                                   |
| EXIST. MONITOR WELL           | — — —    | NEW EASEMENT                                     |
| EXIST. OVERHEAD ELECTRIC      | — — —    | NEW STANDARD CURB & GUTTER                       |
| EXIST. POWER POLE             | — — —    | NEW MOUNTABLE CURB & GUTTER                      |
| EXIST. SANITARY SEWER MANHOLE | — — —    | NEW SIDEWALK                                     |
| EXIST. STORM DRAIN MANHOLE    | — — —    | NEW RETAINING WALL THIS PROJECT                  |
| EXIST. WATER VALVE            | — — —    | NEW RETAINING WALL DEFERRED TO THE HOME BUILDERS |
| EXIST. WATER METER            | — — —    |  |

- — — — — LIMITS 100 YEAR FLOOD PLAIN
- — — — — LIMITS 500 YEAR FLOOD PLAIN
- — — — — LIMITS OF FLOODWAY
- — — — — LIMITS AO ZONE

- 13 BLOCK NUMBER INDENTITY
- 6" BASE COURSE/AMAFCA ROAD
- 10" PEDESTRIAN TRAIL
- AMAFCA UNIMPROVED ACCESS MAINT. ROAD
- 3" - 6" ANGULAR ROCK ARMOR

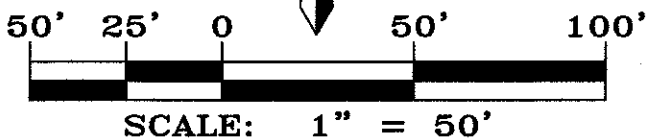
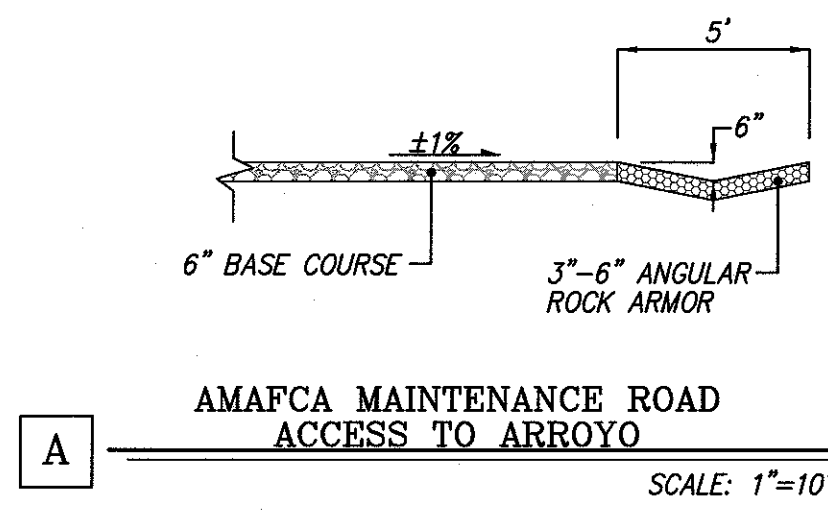


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SEE SHEET 6 OF 10

SEE SHEET 2 OF 10



GRADING & DRAINAGE PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY PROJECT NO.	ZONE MAP NO.	SHEET OF
	M-21-Z	1 10

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE
BY	BY	BY	BY	BY	BY
REMARKS	REVISIONS	REMARKS	REVISIONS	REMARKS	REVISIONS
DESIGNED BY	DATE	DESIGNED BY	DATE	DESIGNED BY	DATE
DRAWN BY	DATE	DRAWN BY	DATE	DRAWN BY	DATE
CHECKED BY	DATE	CHECKED BY	DATE	CHECKED BY	DATE

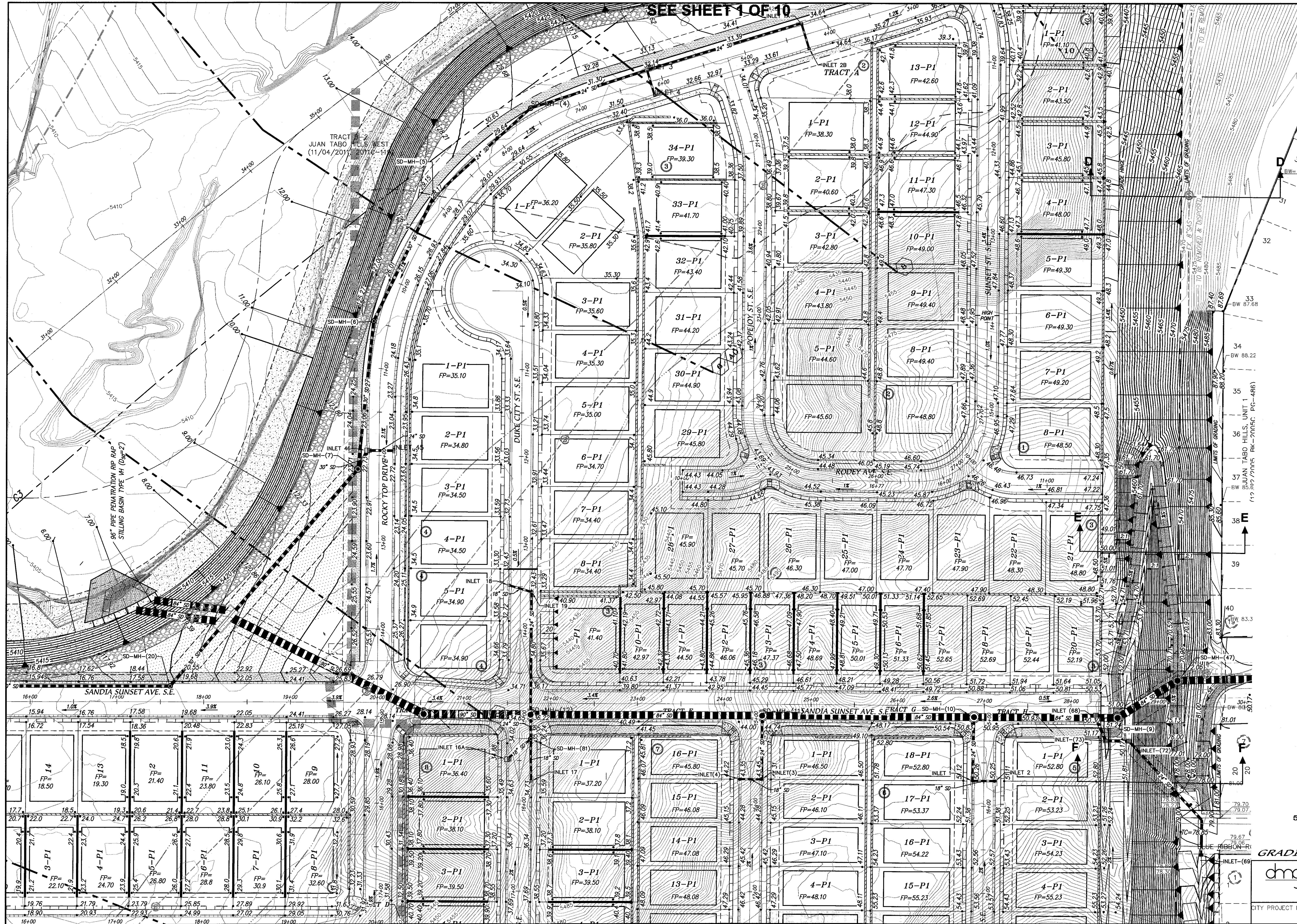


TRACT 1-A-2  
JUAN TABO HILLS, UNIT 2  
(02/20/2008, BK-2008C, PG-30)

RE-GRADE TO MORE GENTLE SLOPE

CONTRACTOR TO PERFORM LOCALIZED GRADING/FILL TO ENSURE NO ROADSIDE PONDING OCCURS.





50' 25' 0 50' 100'

SCALE: 1" = 50'

**GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

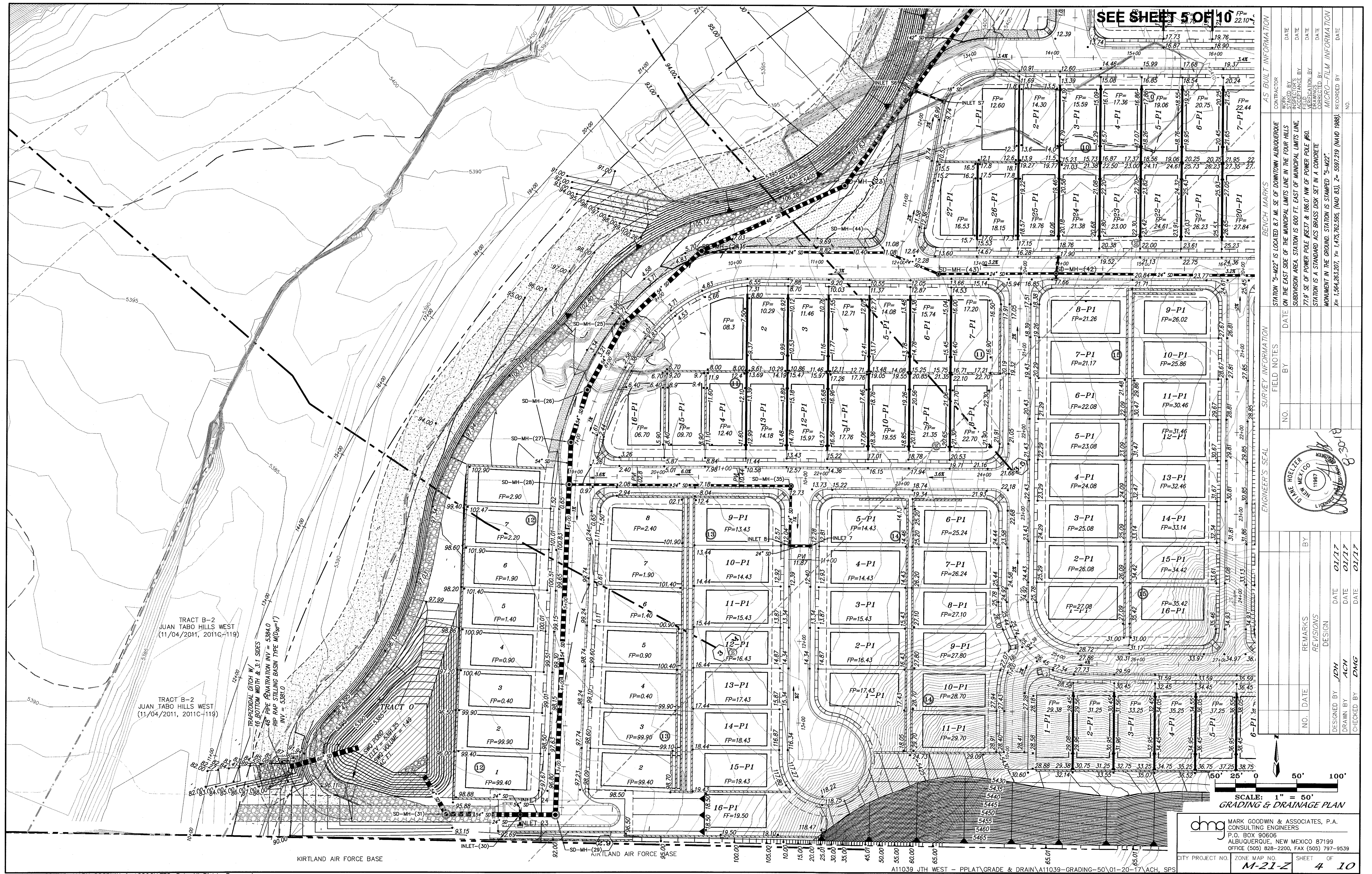
SHEET 2 OF 10

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**SEE SHEET 6 OF 10**

1. THE CONTRACTOR(S) MUST COMPLY WITH NPDES TEMPORARY CONSTRUCTION REQUIREMENTS AND OBTAIN A PERMIT. CONTRACTOR SHALL ALSO PROVIDE A COPY OF THE APPLICATION FOR PERMIT AND NOTICE OF TERMINATION TO THE OWNER.
2. THE CONTRACTOR(S) IS RESPONSIBLE FOR PREPARING AND MAINTAINING A SWPPP FOR THE DURATION OF INFRASTRUCTURE CONSTRUCTION AND UNTIL THE CITY OF ALBUQUERQUE ACCEPTS THE PUBLIC INFRASTRUCTURE. CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF THE SWPPP AT THE BEGINNING OF THE PROJECT AND AT THE TIME OF NOTICE OF TERMINATION.
3. THE CONTRACTOR(S) IS RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING EROSION CONTROLS FOR THE DURATION OF THE CONSTRUCTION OF THE PUBLIC INFRASTRUCTURE AND FOR THE REMOVAL OF THE EROSION CONTROLS WHERE DIRECTED TO DO SO BY THE OWNER AT THE TIME OF NOTICE OF TERMINATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND IS TO PROVIDE AN AS-BUILT SURVEY CERTIFIED BY A REGISTERED PROFESSIONAL SURVEYOR TO THE OWNER UPON COMPLETION OF THE CONSTRUCTION. THE EARTHWORK CONTRACTOR IS TO PROVIDE EARTHWORK SURVEY, AND THE WALL BUILDER IS TO PROVIDE WALL SURVEY.
5. EARTHWORK CONTRACTOR SHALL PREPARE ROUGH SUBGRADE FOR THE RETAINING WALL CONSTRUCTION AND PROVIDE SUFFICIENT BACKFILL MATERIAL STOCKPILED ON THE HIGH SIDE OF EACH WALL FOR THE WALL BUILDER TO COMPLETELY BACKFILL THE WALLS.
6. RETAINING WALLS ARE SHOWN FOR GRADING PURPOSES ONLY. RETAINING WALL DESIGN IS TO BE PERFORMED BY OTHERS, AND SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR REVIEW, APPROVAL, PERMIT, AND INSPECTION
7. EARTHWORK CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION BY GEOTEST, INC. DATED JUNE 29, 2012.
8. TOPOGRAPHIC AND BOUNDARY SURVEY ARE BY ALDRICH LAND SURVEYING NOVEMBER 2011.
9. BENCHMARK USED IS AGRS BRASS CAP STAMPED "7-M21" HAVING AN ELEVATION OF 5498.07 (NGVD29).
10. FEMA SPECIAL FLOOD HAZARD ZONE ON THIS PROPERTY AS SHOWN ON LMR CASE NO. 13-06-1053P EFFECTIVE JUNE 17, 2013.

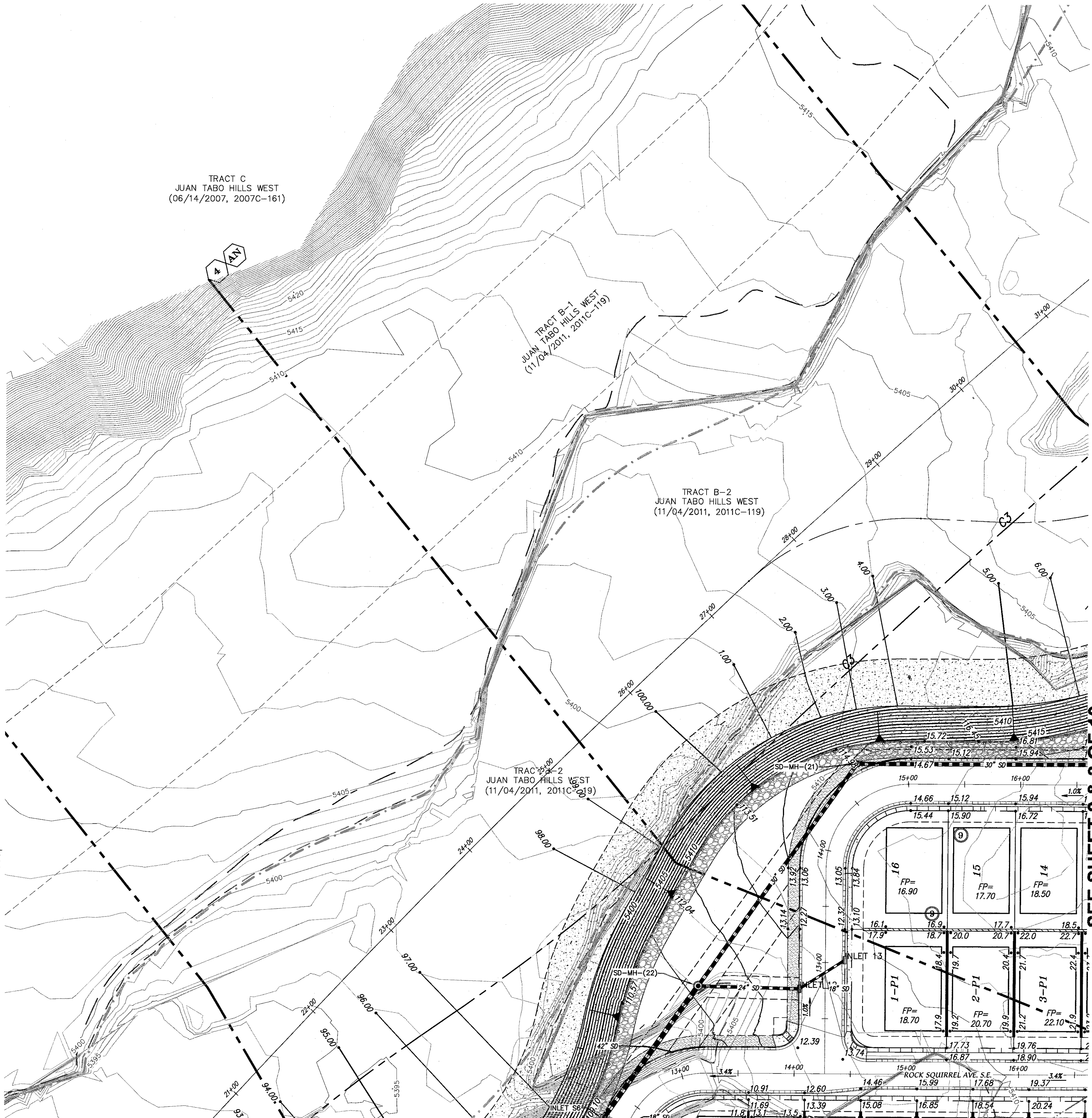
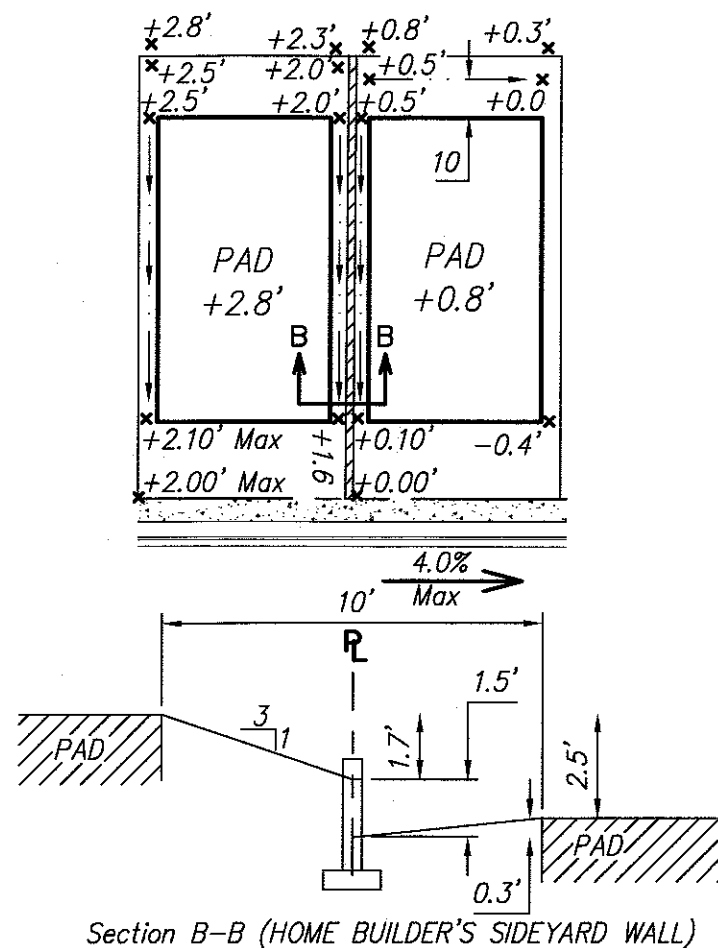
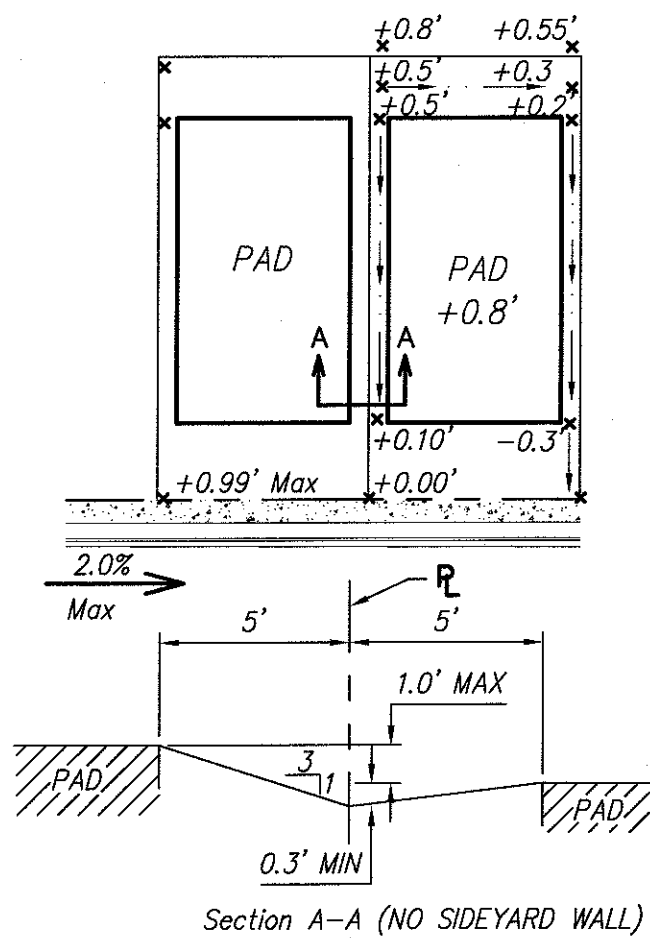
\_\_\_\_\_ LIMITS 100 YEAR FLOOD PLAIN

\_\_\_\_\_ LIMITS 500 YEAR FLOOD PLAIN

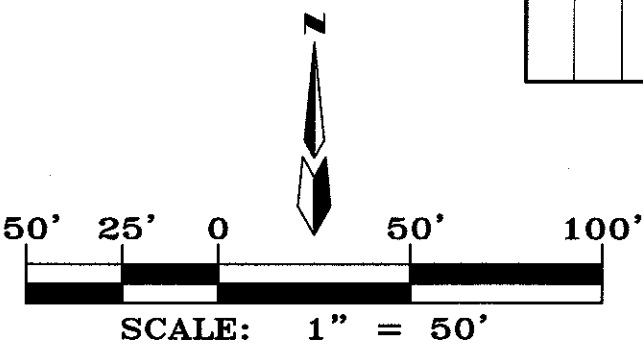
\_\_\_\_\_ LIMITS OF FLOODWAY

\_\_\_\_\_ LIMITS AO ZONE

## TYPICAL LOT GRADING WITH SIDEYARD WALL



SEE SHEET 2 & 3 OF 10



## GRADING & DRAINAGE PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY PROJECT NO.	ZONE MAP NO.	SHEET OF
	<b>M-21-Z</b>	<b>5 10</b>

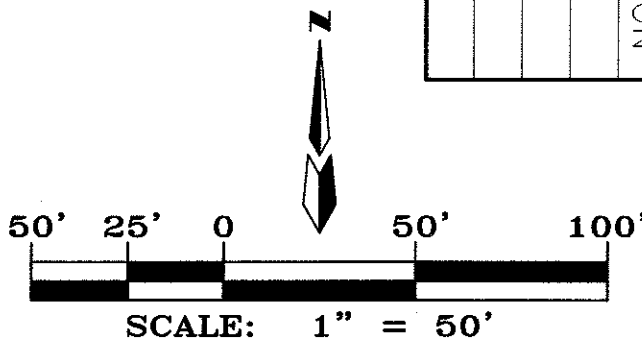
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES		STATION "S-M22" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE, 177.9' SE OF POWER POLE #337 & 186.0' NW OF POWER POLE #60. STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "S-M22". X= 1,564,263.207, Y= 1,475,762.595, (NAD 83), Z= 5597.219 (NAVD 1988)			
		NO.	BY	DATE	DATE	CONTRACTOR	
						WORK ORDER BY INSPECTOR'S ACCEPTANCE BY FIELD LOCATION BY DRAWINGS CORRECTED BY	
DESIGNED BY	JDH	DATE	01/17			MICRO-FILM INFORMATION	
DRAWN BY	ACH	DATE	01/17			RECORDED BY	
CHECKED BY	DWG	DATE	01/17			NO.	



F:\A11005\A11009 1TH West - PPH\GRADE & DRAIN\A11009-GRADE\50\_R1\_SPS\_2.dwg, 8/30/2018 11:49:05 AM, L\_OCE ARCH D BOND.PCS, CHRIS



SEE SHEET 1 OF 10



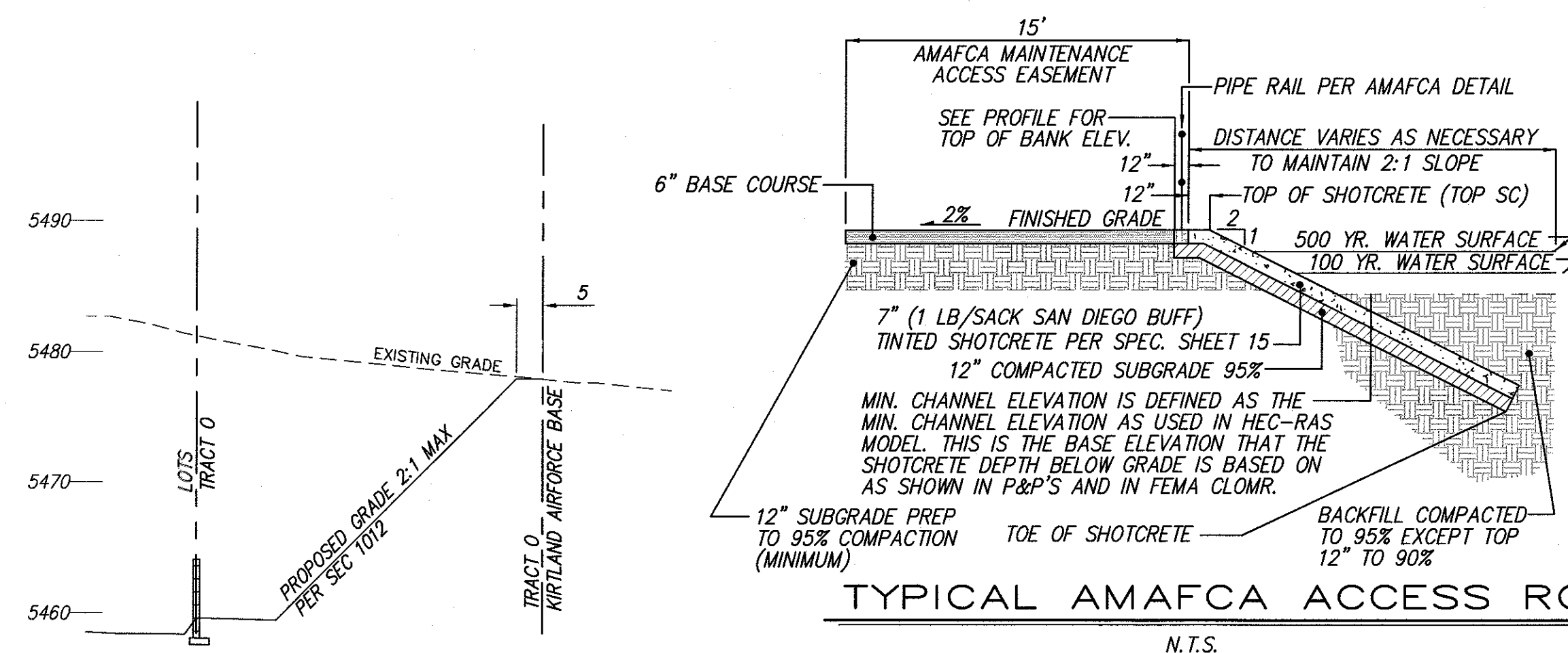
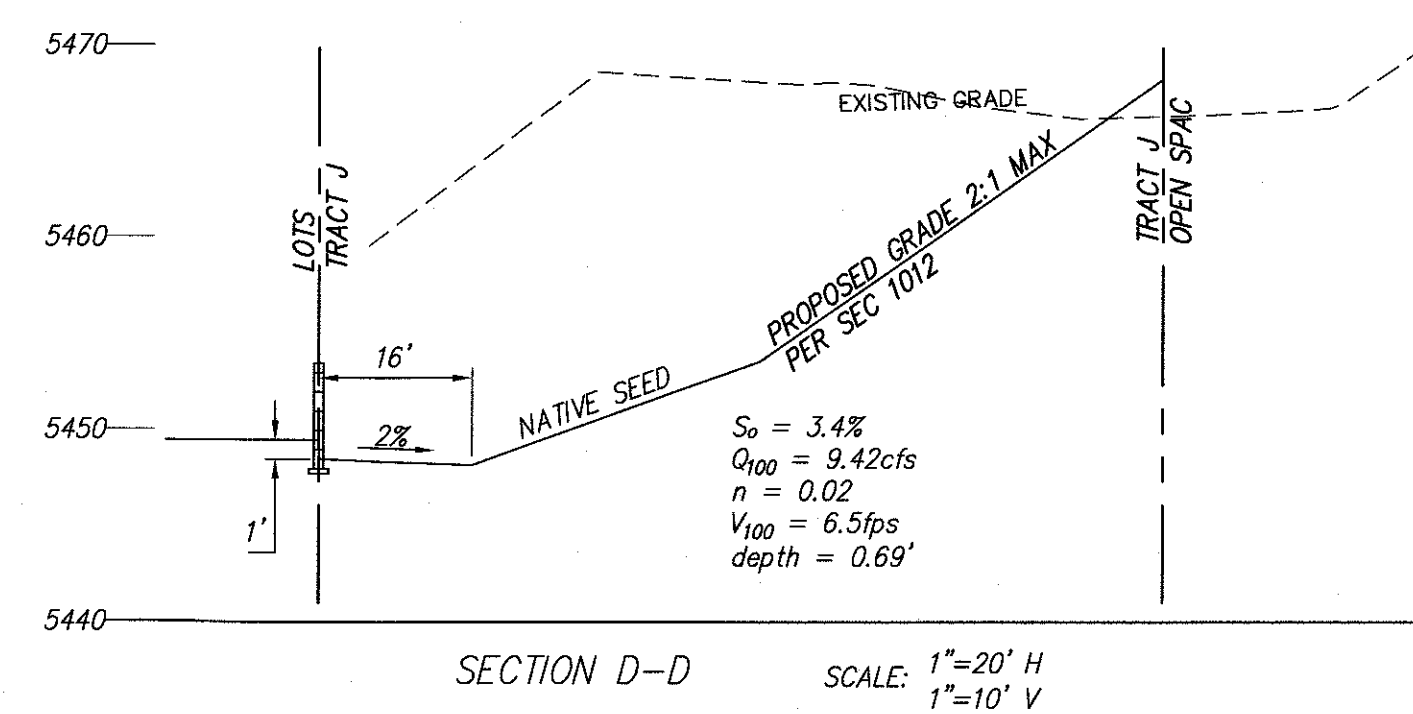
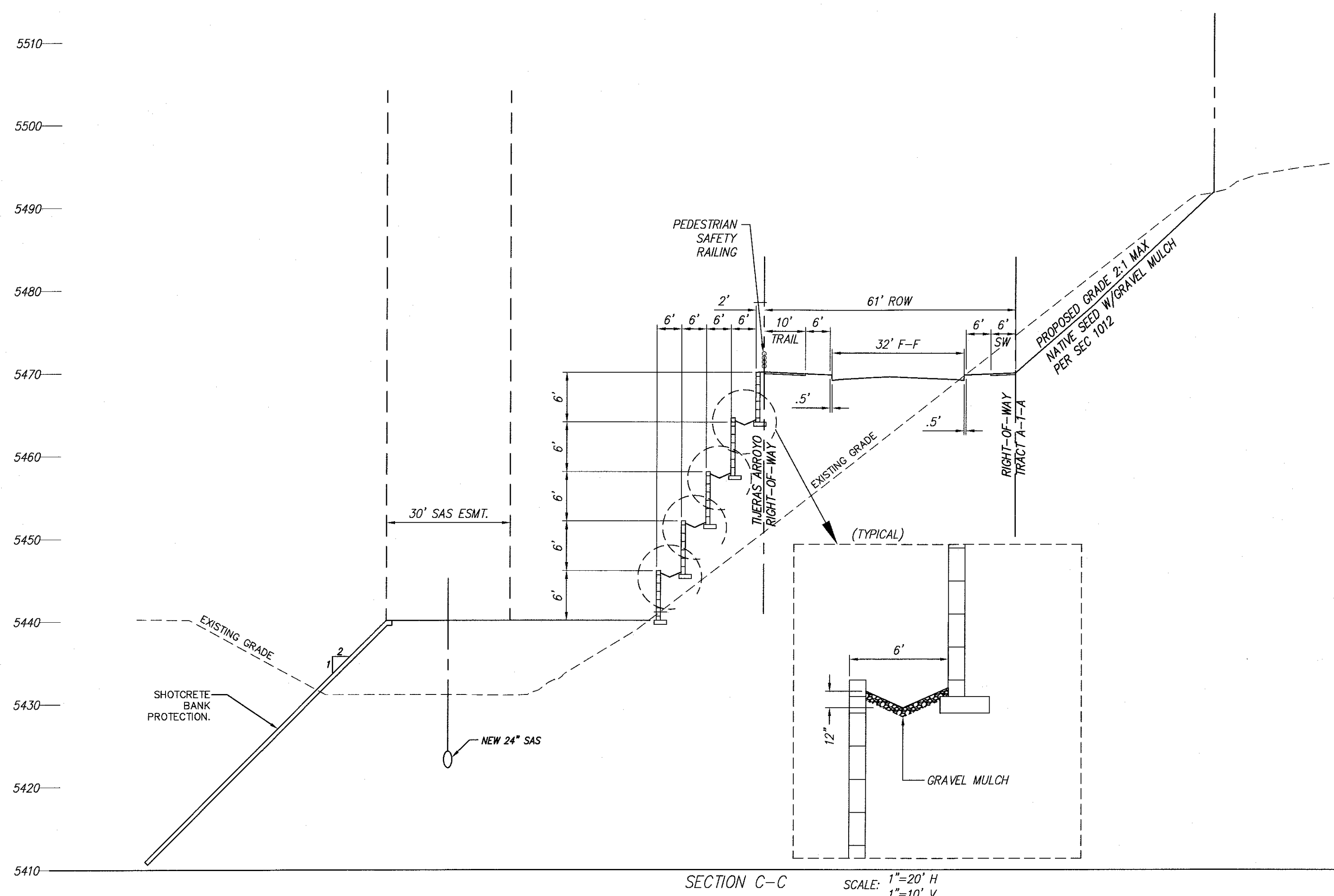
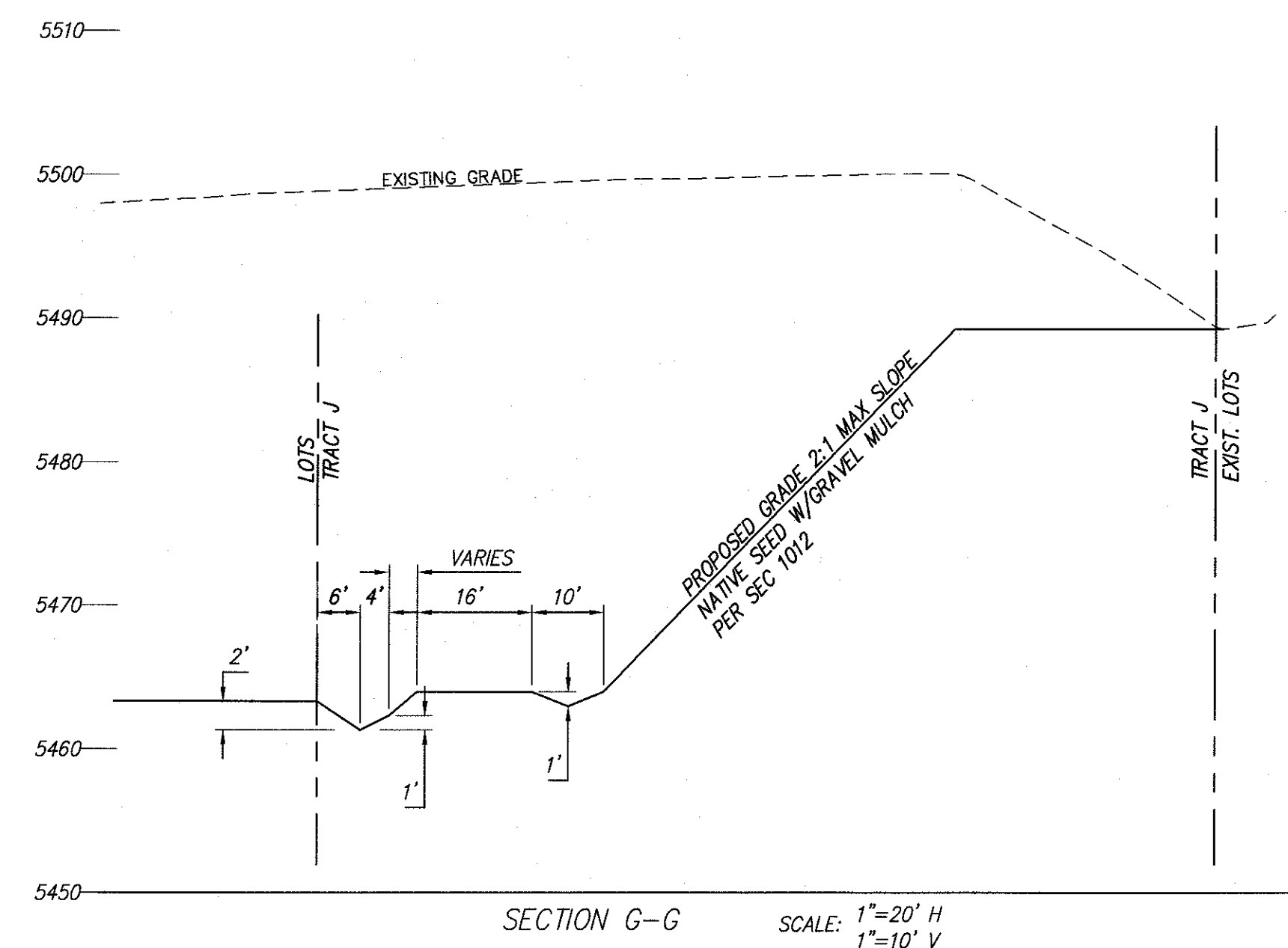
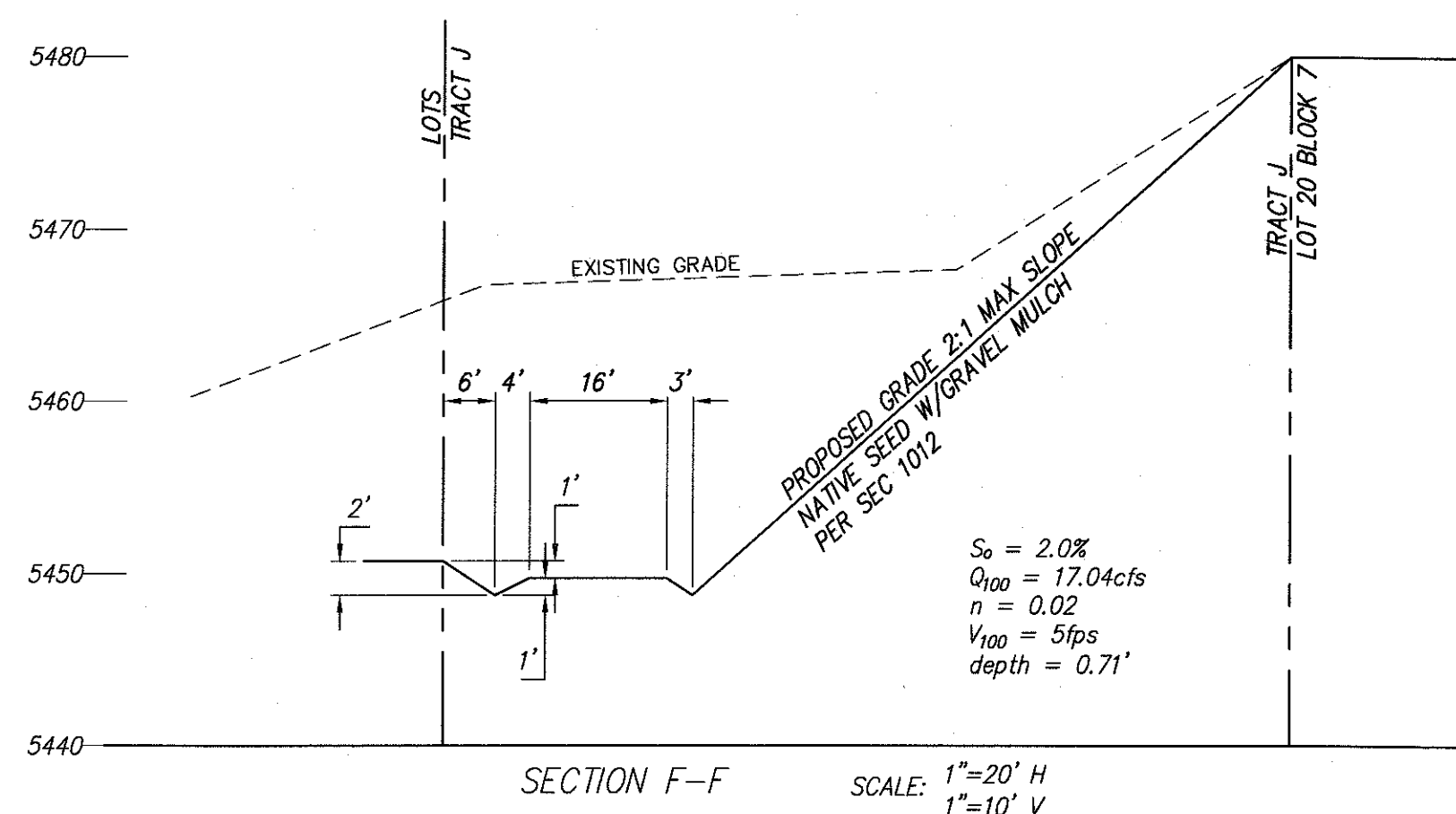
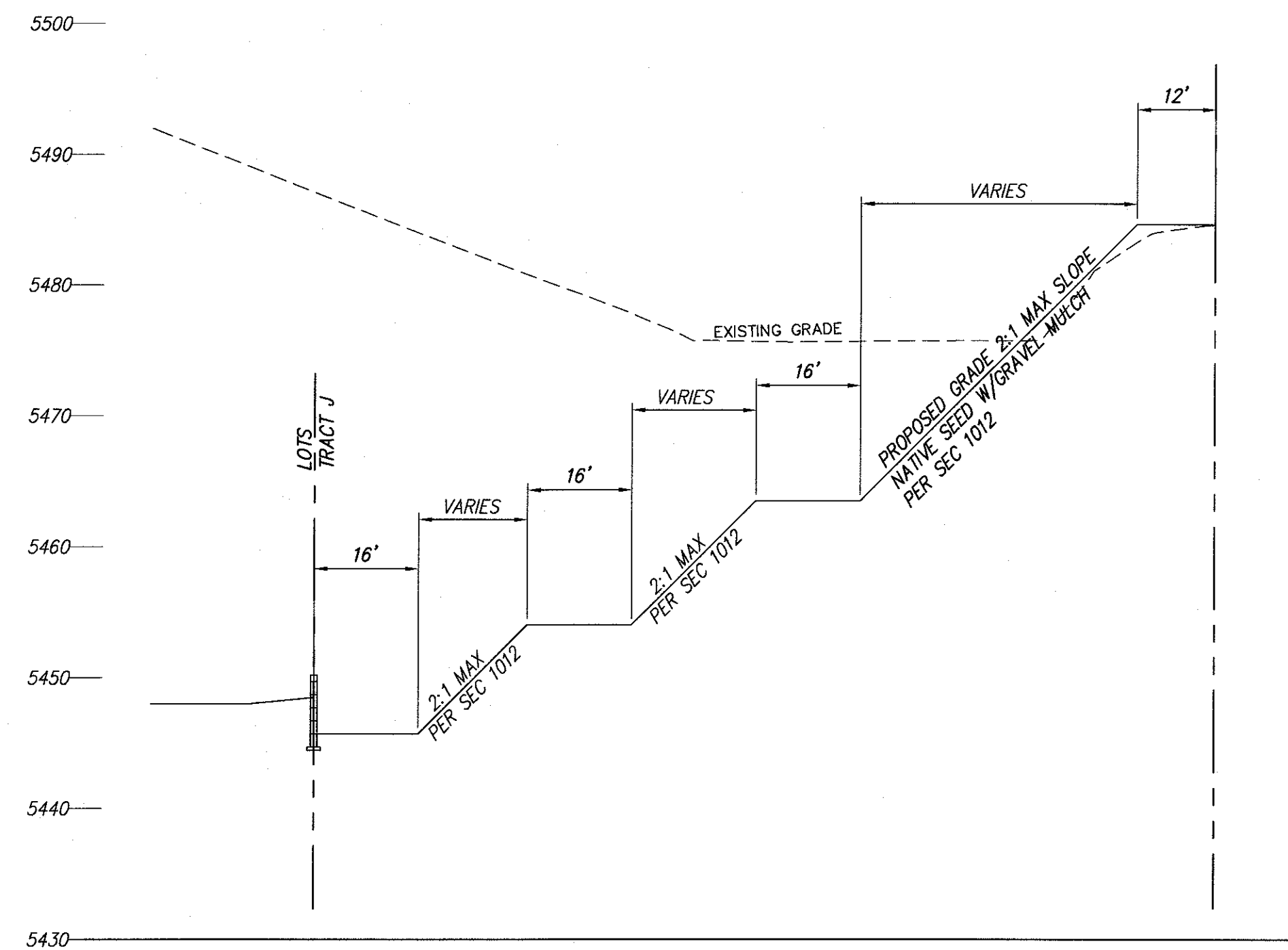
GRADING & DRAINAGE PLAN

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY PROJECT NO. ZONE MAP NO. SHEET OF  
**M-21-Z 6 10**

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS-BUILT INFORMATION		
			FIELD NOTES			STATION 'S-M22' IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE, 77.9' SE OF POWER POLE #357 & 186.0' NW OF POWER POLE #60. STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED 'S-M22'. X= 1,564,263.207, Y= 1,475,762.595, (NAD 83), Z= 5597.219 (NAD 1988).			CONTRACTOR		
			NO. BY DATE			STATIONED BY DATE			INSPECTOR'S		
			REMARKS			FIELD RANGE BY DATE			FIELD RANGE BY DATE		
			DESIGNED BY <b>JDH</b> DATE <b>01/17</b>			CORRECTED BY			MICRO-FILM INFORMATION		
			DRAWN BY <b>ACH</b> DATE <b>01/17</b>			RECORDED BY			NO.		
CHECKED BY <b>DMG</b> DATE <b>01/17</b>											





ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		STATION "5-M22" IS LOCATED 8.7 MI. SE OF DOWNTOWN ALBUQUERQUE ON THE EAST SIDE OF THE MUNICIPAL LIMITS LINE IN THE FOUR HILLS SUBDIVISION AREA. STATION IS 600 FT. EAST OF MUNICIPAL LIMITS LINE. 77.9' SE OF POWER POLE #E337 & 186.0' NW OF POWER POLE #A0. STATION IS A STANDARD ACS BRASS DISK SET IN A CONCRETE MONUMENT IN THE GROUND. STATION IS STAMPED "5-M22". X= 1,564,263.007, Y= 1,475,762.595 (NAD 83), Z= 5597.219 (NAVD 1988).		CONTRACTOR	
		NO.	DATE	BY	DATE	WORK STAGED BY	DATE
						FIELD ACCEPTANCE BY	DATE
						DRAWINGS CORRECTED BY	DATE
						MICRO-FILM INFORMATION	
						RECORDED BY	DATE
						NO.	
DESIGNED BY	JDH	DATE	01/17				
DRAWN BY	ACH	DATE	01/17				