

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 31, 2019

Amit Pathak, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: Cooperative Educational Services (CES)
10601 Research Rd. SE
Grading and Drainage Plan
Engineer's Stamp Date: 10/30/19
Hydrology File: M21D021

Dear Mr. Pathak:

PO Box 1293

Based upon the information provided in your resubmittal received 10/22/2019, the Grading & Drainage Plan and Drainage Report are approved for Building Permit and Grading Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also as a reminder, please provide a Drainage Covenant for the proposed detention ponds and private storm drain per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Cooperative Educational Services (CES) **Building Permit #:** _____ **Hydrology File #:** M21D01
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract F-2B, Sandia Science and Technology Park
City Address: _____

Applicant: Bohannon Huston Inc. **Contact:** Amit Pathak
Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109
Phone#: 505-823-1000 **Fax#:** _____ **E-mail:** apathak@bhinc.com
Owner: Cooperative Educational Services (CES) **Contact:** David Chavez
Address: 4216 Balloon Park Road NE
Phone#: 505-344-5470 **Fax#:** 505-344-9343 **E-mail:** david@ces.org

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE MASTER PLAN
☒ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 10-21-2019 **By:** Amit Pathak, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

October 21, 2019

Ms. Renee Brissette, P.E. CFM
Senior Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87103

Re: Cooperative Educational Services (CES)
10601 Research Road, S.E.
Grading and Drainage Plan Stamp Date 04/15/19
Hydrology File: M21D01

Dear Ms. Brissette:

Enclosed are responses to the comments provided on June 19, 2018. Responses are listed in red below.

1. Per the DPM Chapter 22 Section 7, 24"x36" is currently the City's standard. This applies to all site plans, Grading & Drainage Plans, Traffic Circulation Plans, DRC Plans etc. **Upon completion of the City's review and approval of the plans, we will provide the final set on a 24" x 36" sheets.**
2. Per the DPM Chapter 22 Section 7 - Grading Plan Checklist, the following must be on the Grading Plan. Please ensure that items c, d, e, & f are on the Grading & Drainage Plan.
 - a. Please provide an engineer's stamp with a signature and date. **Updated**
 - b. Please use 1" = 20' for the scale. **Updated**
 - c. Please provide a Vicinity Map. **Vicinity Map has been provided on the Drainage Management Plan (Sheet C302).**
 - d. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided. **A benchmark note has been provided on the grading plan to refer to sheet (C101) for benchmark information.**
 - e. Please provide the FIRM Map and flood plain note with effective date. **FIRM Map has been provided on the Drainage Management Plan (Sheet C302).**
 - f. Please provide a legal description of the property. **Legal Description is described in the first paragraph of the Drainage Management Plan (Sheet C302).**
3. Sheet C300. Please provide the benchmark information for the survey contour information provided. **A benchmark note has been provided on the grading plan to refer to sheet (C101) for benchmark information.**

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

4. Sheet C300. Please label the existing 35' Public Drainage Easement. Also please extend the easement into the adjacent property along the existing 36-inch storm pipe. **The existing easements are only shown on our property. Existing and easements cannot be obtained, or proposed easements created for the other property owners.**
5. Sheet C300. Please label the existing 36-inch storm pipe. **Label has been added.**
6. Sheet C300. At the SW entrance, please label the existing storm manhole rim elevation. This manhole also appears to be within the proposed gutter. Please ensure that this is buildable, and that Transportation does not have an issue with this. Also please label the proposed new elevation of the manhole rim. This will have to be adjusted (lowered). **Elevations have been added, and the 2' diameter lid of this storm drain manhole is outside of the gutter pan and therefore is buildable as shown.**
7. Sheet C300. The proposed storm drain pipe within the existing 35' Public Drainage Easement must be RCP. If the proposed private storm drain pipe is to be HDPE, then at the edge of the drainage easement please call out the connector from HDPE to RCP and provide a detail. The whole storm drain pipe at this location could also be RCP. **Two notes have been added to the grading plan. One note specifies the fitting and that the contractor is to submit shop drawings to the engineer before installation. The other note specifies the different pipe types.**
8. Please double check with the DRC personnel about having the proposed storm sewer manhole, the section of the RCP within the existing 35' Public Drainage Easement, and the existing storm manhole adjustment in a mini work order or does these items need to be on an Infrastructure List? If an IL is needed, then this will have to go the DRB for approval. **Per a previous conversation with Jim Roder, an infrastructure list is not anticipated.**
9. Please be advised that if maintenance of the public storm pipe is needed and since the depth of the existing 36-inch storm drain, the proposed retaining wall will be removed at the Owner's expense and the City is not responsible for replacing the retaining wall once any future maintenance is completed. **Acknowledged.**
10. Since the plat of Tracts F-2A and F-2B Sandia Science & Technology Part did not include the required language for a cross lot drainage easement, please create a paper blanket cross lot drainage easement specifying the beneficiary and maintenance agreement for Tracts F-1, F-2A, and F-2B. **See the attached blanket easement. This blanket easement has been submitted and is in the process of being recorded.**

11. Sheet C300 & C302. Please label the site plan items on the adjacent property to the North as future development. **Future development is no longer imminent. Future development plans have been removed from the plan set for clarity.**
12. Sheet C302. Please add the drainage arrows for site. **Flow arrows have been added.**
13. Sheet C302. Please show the Stormwater Quality volume provided within each pond along with the water surface elevation of the SWQ volume in a chart. **Storm water quality volume and surface elevations have been added.**
14. Sheet C302. Please use the broad crest weir equation in the DPM for the curb cuts. If you use a "C" value of 2.7, then the proposed 4 ft curb cuts can be reduced to a 2 ft curb cut and the 9 ft curb cut will be reduced to a 5 ft curb cut. **Although we realize that we can optimize the size of the curb cut by using a "C" value of 2.7, we have decided to utilize a more conservative approach and use a "C" value of 3.1 and a wider curb cut due to geometry and a conservative approach.**
15. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, ccherne@cabq.gov, 924-3420) 14 days prior to any earth disturbance. **Acknowledged. This will be completed and submitted by the Contractor prior to the start of construction.**
16. Also, as a reminder, please provide and Drainage Covenant for the detention ponds and private storm drain per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required. **Acknowledged. This will be completed after construction.**
17. Standard review fee of \$150 will be required at the time of resubmittal. **Acknowledged.**

Revised Grading Plans are enclosed. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,

Amit Pathak, P.E.
Senior Project Manager
Community Development and Planning

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Sincerely,



Amit Pathak, P.E.
Senior Project Manager
Community Development and Planning

1

2

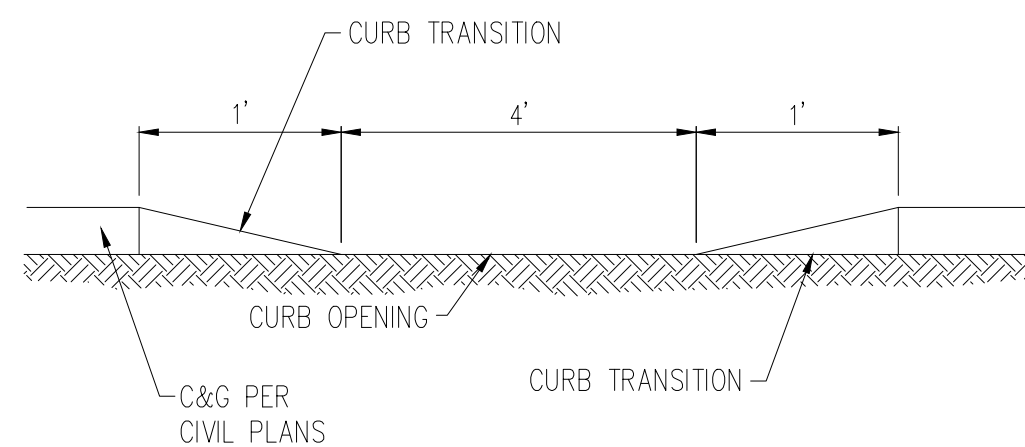
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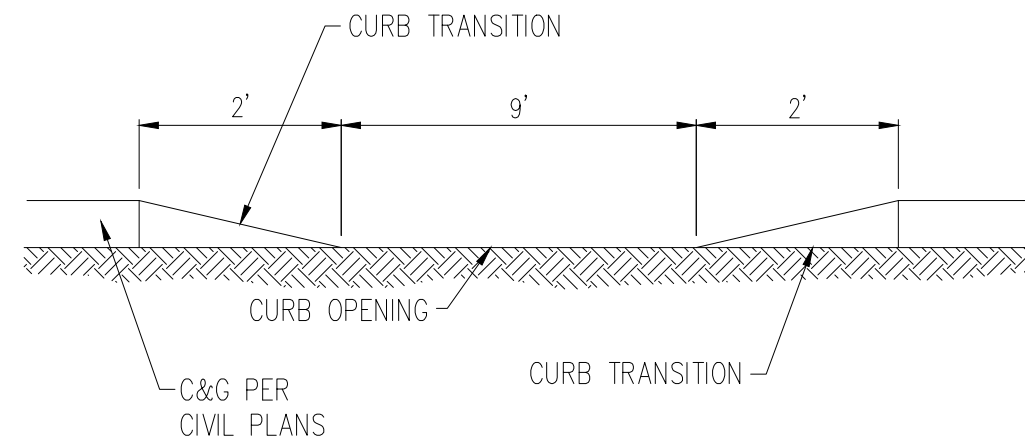
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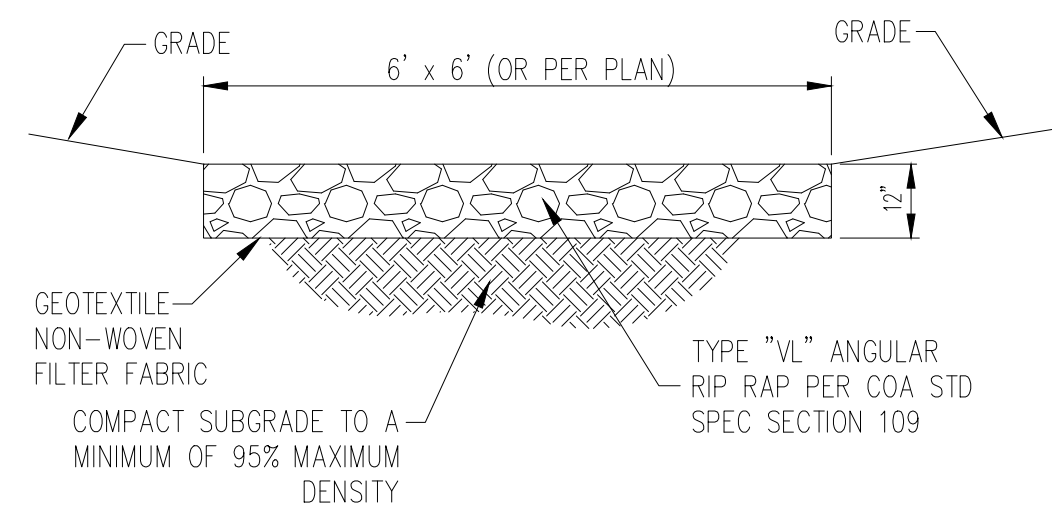


D1 STANDARD CURB OPENING
N.T.S.

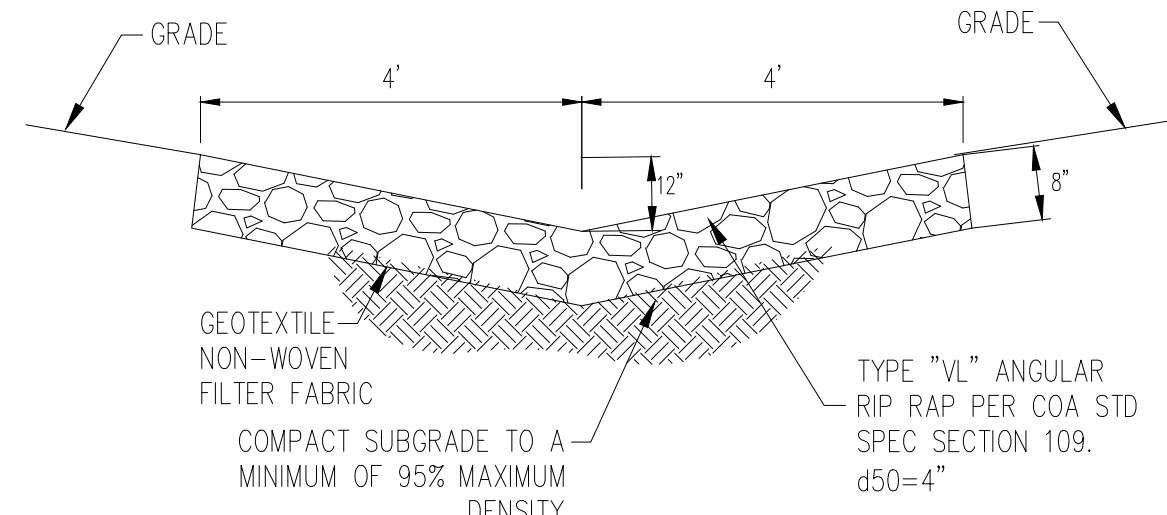
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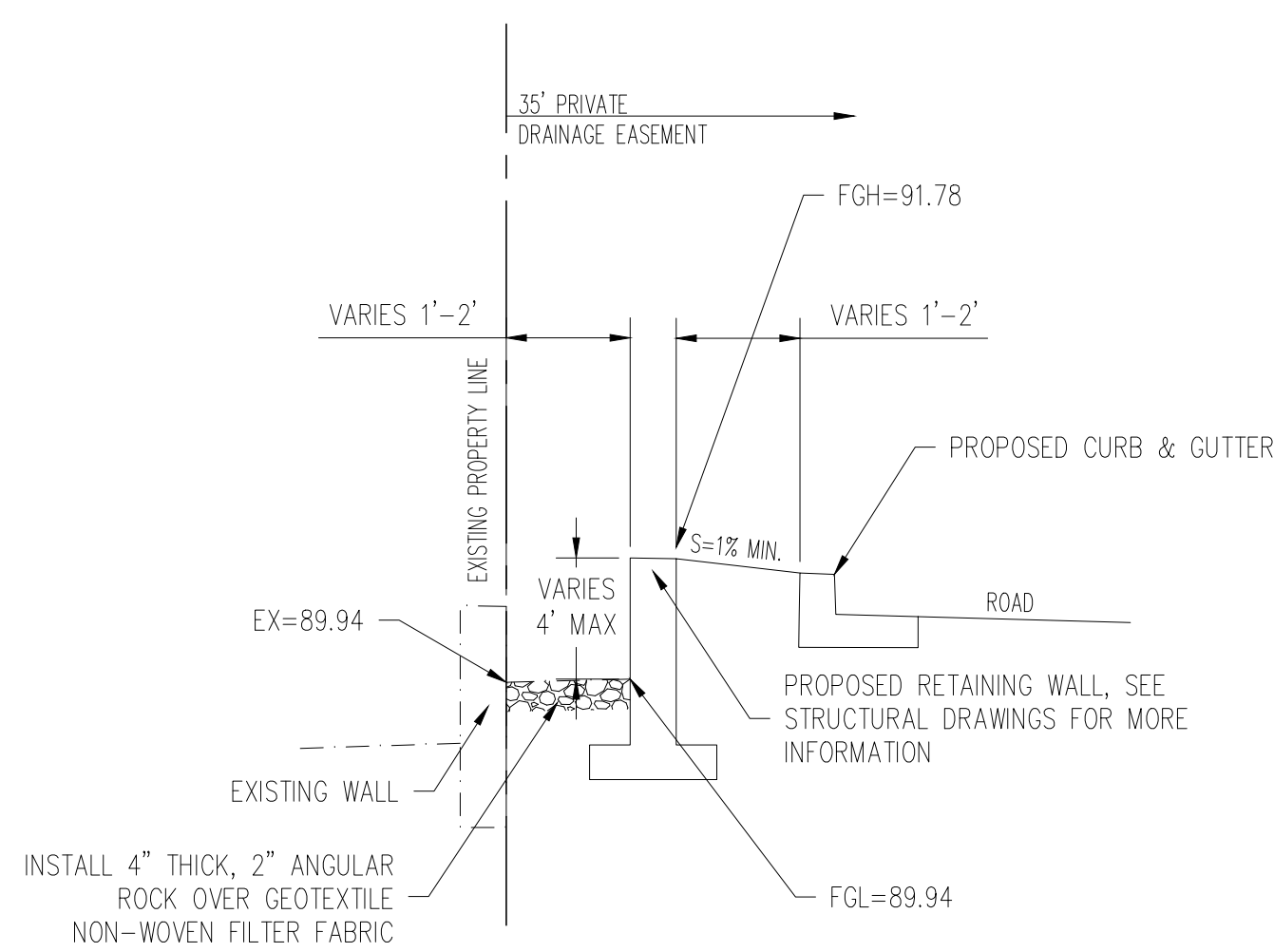
D2 LARGE CURB OPENING
N.T.S.



D3 TYPICAL RIP RAP BLANKET
NOT TO SCALE

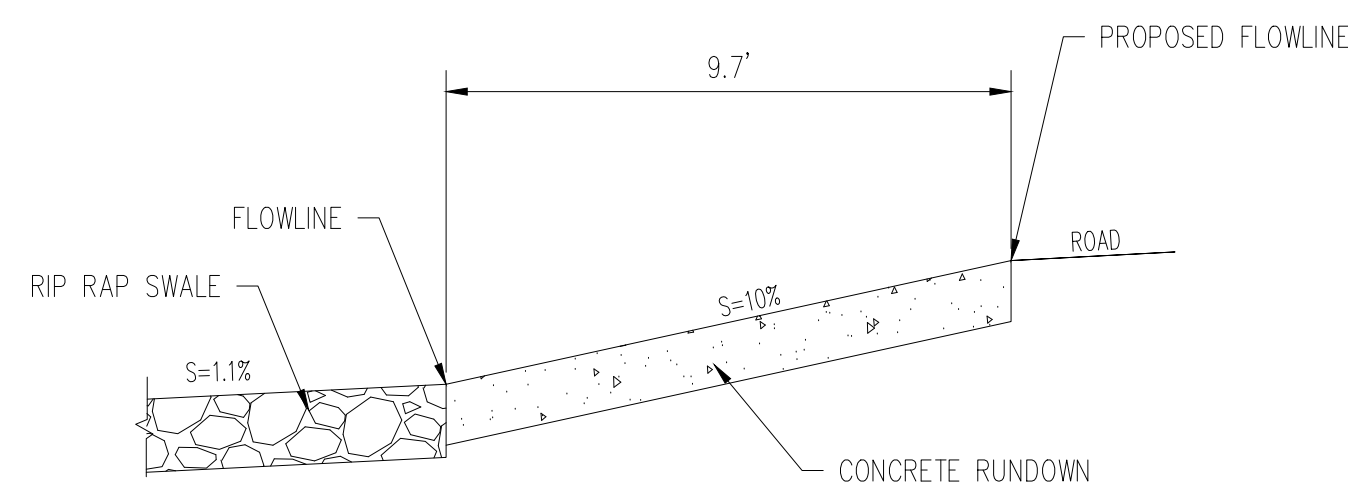


D4 RIP RAP SWALE
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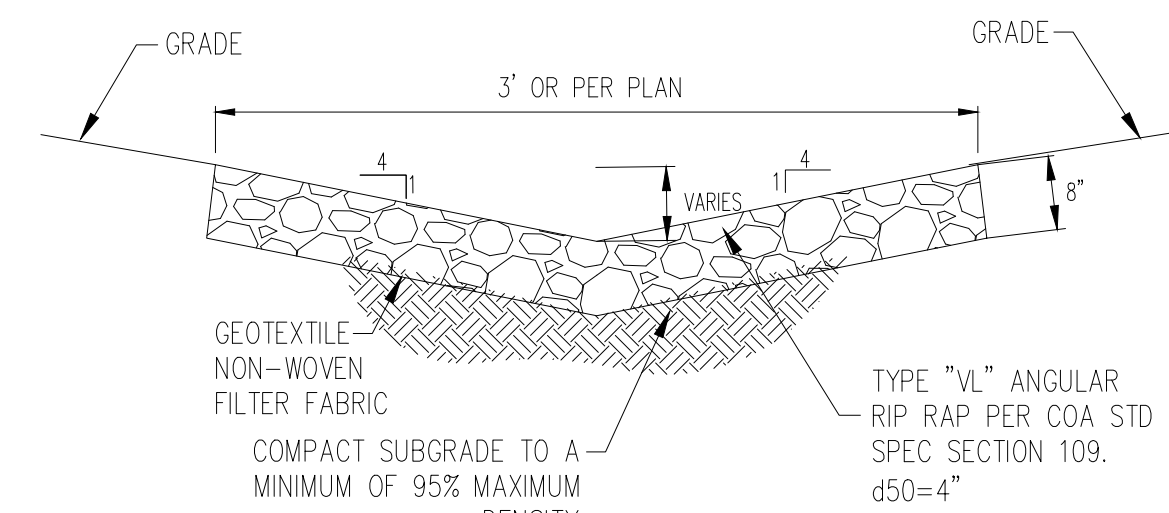


D5 A-A RETAINING WALL
NOT TO SCALE

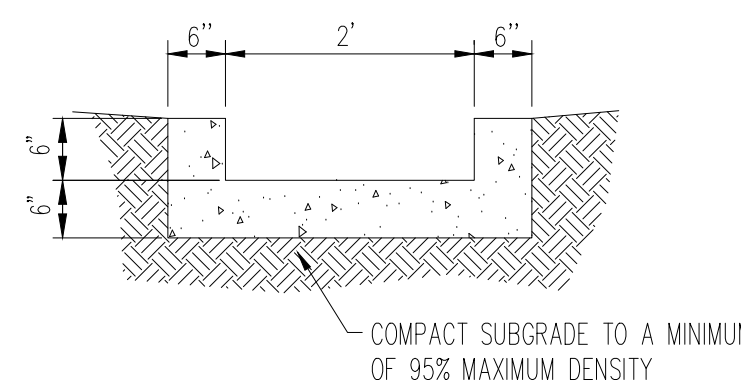
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C3 CONCRETE RUNDOWN
NOT TO SCALE

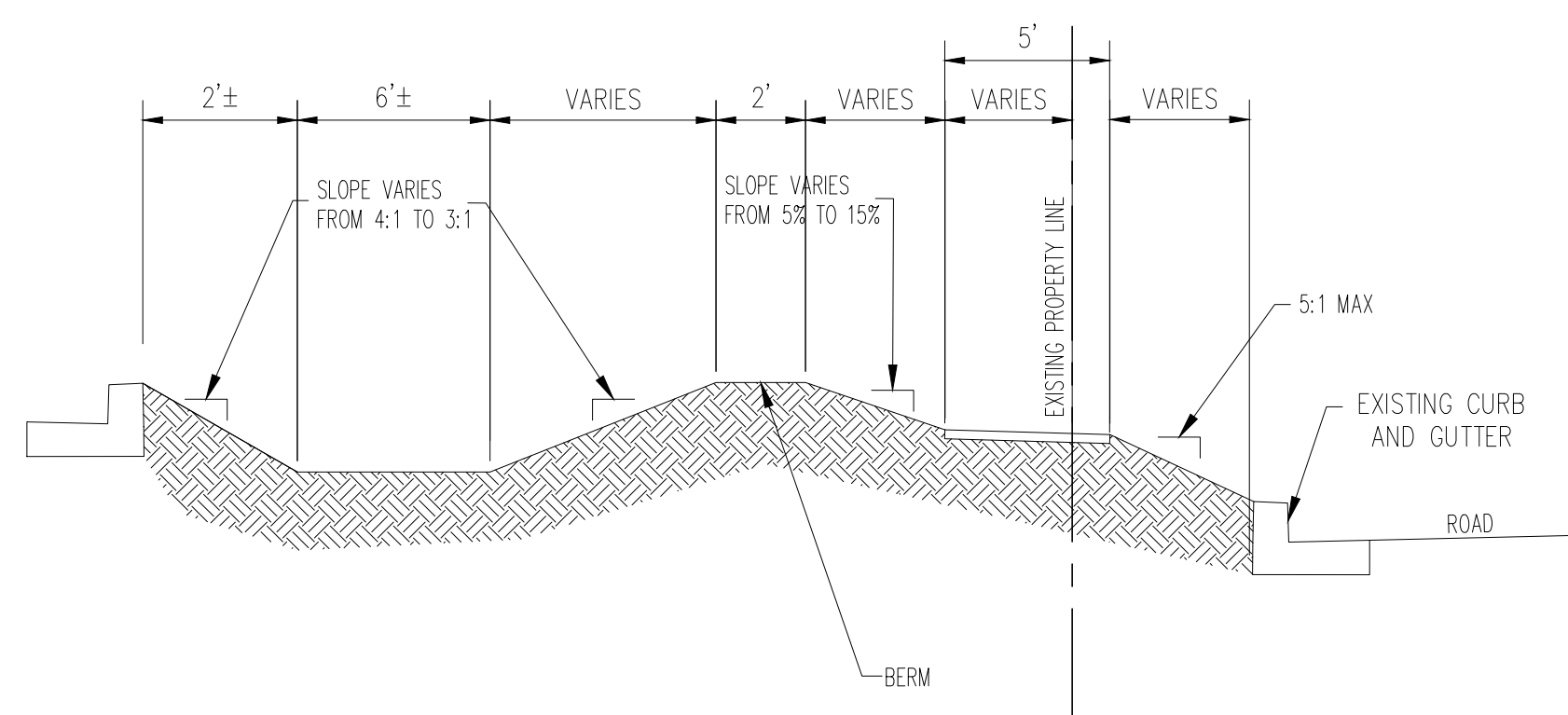


C4 RIP RAP SWALE
NOT TO SCALE



B1 CONCRETE RUNDOWN
NOT TO SCALE

B



B3 C-C BERM DETAIL
NOT TO SCALE

A

1

2

3

4

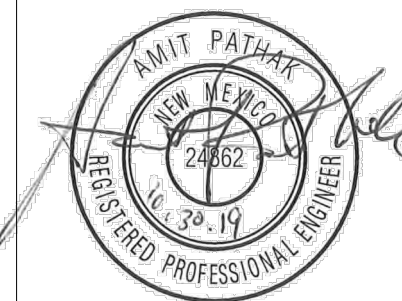
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GREER STAFFORD/S&F ARCHITECTURE, INC.
1717 LOUISIANA NE, SUITE 205
ALBUQUERQUE, NM 87110-7087
(505) 821-0825 • FAX: (505) 821-0848
3005 NORTHIDGE DR, SUITE F
FARMINGTON, NM 87401-2085
(505) 825-7475 • FAX: (505) 825-6464



THIS DRAWING IS INCOMPLETE AND NOT TO
USED FOR CONSTRUCTION UNLESS IT IS
STAMPED, SIGNED, AND DATED BELOW



NEW OFFICE BUILDING
COOPERATIVE EDUCATIONAL SERVICES (CES)
10601 RESEARCH RD. SE, ALBUQUERQUE, NM 87123

[illegible]

A	PROJECT NO: 5354.00
	DRAWN BY:
	CHECKED BY:
	© GREER-STAFFORD/SJCF, INC.
	SHEET TITLE
	GRADING & DRAINAGE PLAN
	DRAWING SHEET

DRAWING SHEET

C30 1

C303