

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

April 28, 2021

Amit Pathak  
7500 Jefferson St. NE  
Albuquerque, NM 87109

**RE: Cooperative Educational Services  
10601 Research Rd. SE  
Permanent Certificate of Occupancy - Accepted  
Grading and Drainage Plan Stamp Date: 4/30/19  
Certification Dated: 4/19/21  
Drainage File: M21D021**

Dear Mr. Pathak:

PO Box 1293

Based on the submittal received on 4/20/21 and site inspection on 4/23/21, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Cooperative Educational Services (CES) **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** M21D021  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract F-2B, Sandia Science and Technology Park  
**City Address:** \_\_\_\_\_

**Applicant:** Bohannon Huston Inc. **Contact:** Amit Pathak  
**Address:** 7500 Jefferson St NE CY2 Albuquerque, NM, 87109  
**Phone#:** 505-823-1000 **Fax#:** \_\_\_\_\_ **E-mail:** apathak@bhinc.com  
**Owner:** Cooperative Educational Services (CES) **Contact:** David Chavez  
**Address:** 4216 Balloon Park Road NE  
**Phone#:** 505-344-5470 **Fax#:** 505-344-9343 **E-mail:** david@ces.org

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 04-19-2021 **By:** Josh Lutz, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



6/20/2018 10:55:16 AM  
N:\5354\00\DRAWINGS\Drawings-New\Office\A  
6/20/2018 10:55:16 AM

# GRADING AS-BUILT PERFORMED ON 12/19/2020



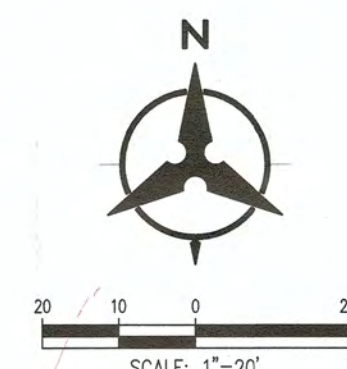
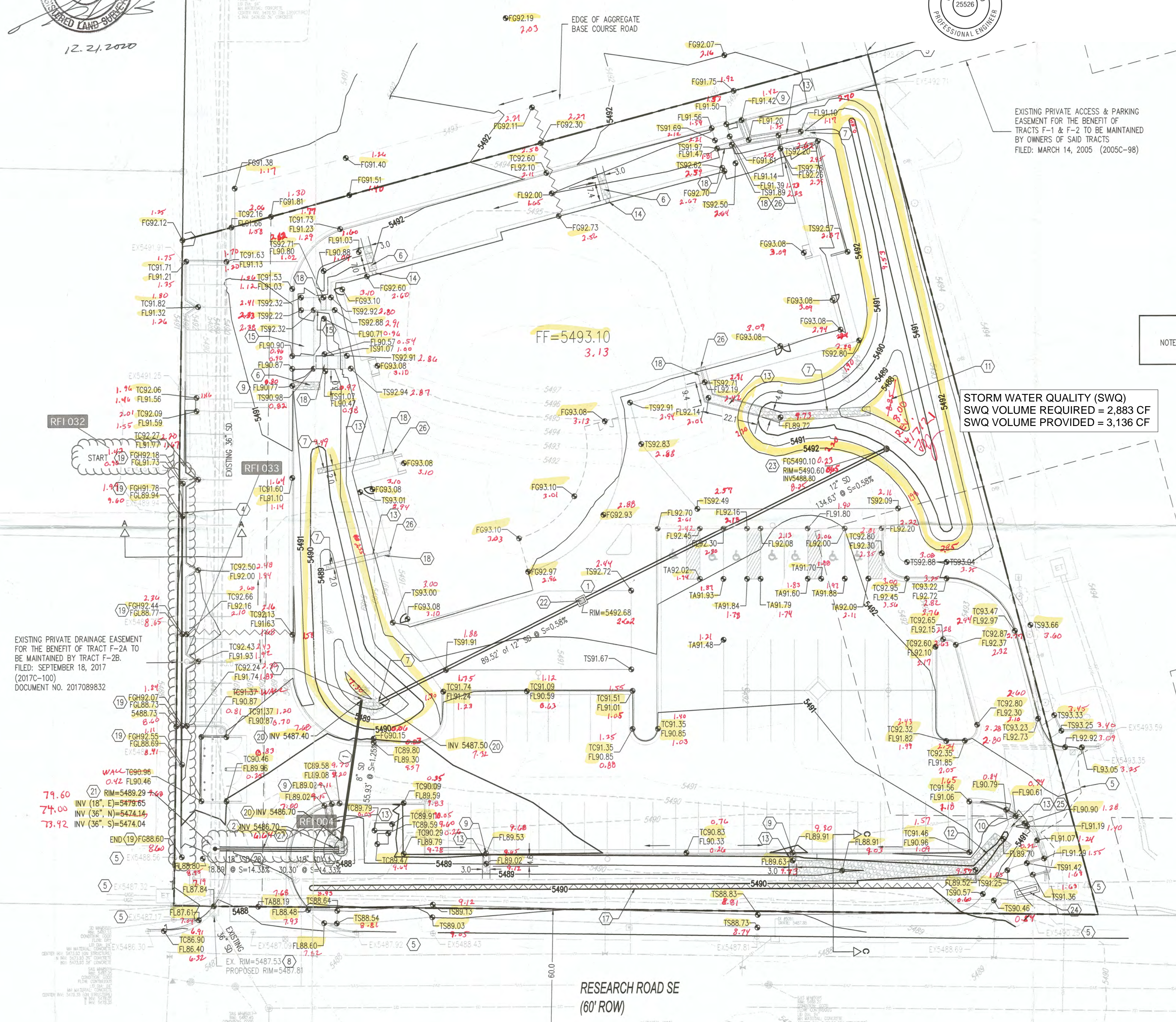
12.21.2020

## GRADING AND DRAINAGE CERTIFICATION

I, JOSHUA J. LUTZ, NMPE 25526, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY COOPERATIVE EDUCATIONAL SERVICES (CES), HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 10/30/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY THOMAS D. JOHNSTON, NMPS 14269. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 04/19/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Josh Lutz, NMPE 25526  
DATE 04-19-2021



NOTE: SEE SHEET C101 FOR BENCHMARK INFORMATION.

STORM WATER QUALITY (SWQ)  
SWQ VOLUME REQUIRED = 2,883 CF  
SWQ VOLUME PROVIDED = 3,136 CF

EXISTING PRIVATE ACCESS & PARKING  
EASEMENT FOR THE BENEFIT OF  
TRACTS F-1 & F-2 TO BE MAINTAINED  
BY OWNERS OF SAID TRACTS  
FILED: MARCH 14, 2005 (2005C-98)

## GRADING KEYED NOTES

1. HDPE (N12 OR APPROVED EQUAL) STORM DRAIN PIPE, SIZE & SLOPE PER PLAN.
2. INSTALL CMP STORM DRAIN END SECTION. SEE PLAN FOR SIZE.
3. ENSURE ROOF DRAIN OUTFALL TO RUNDOWN.
4. CONTRACTOR TO POTHOLE EXISTING DRY UTILITY TO CONFIRM SIZE, LOCATION, AND INVERT AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
5. MATCH EXISTING ELEVATION.
6. INSTALL RIP RAP SWALE PER DETAIL C4 PER SHEET C303.
7. INSTALL RIP RAP BLANKET PER DETAIL D3 PER SHEET C303.
8. ADJUST RIM TO GRADE.
9. INSTALL CURB CUT PER DETAIL D1 PER SHEET C303.
10. INSTALL CURB CUT PER DETAIL D2 PER SHEET C303.
11. DEPRESSED WATER QUALITY FEATURE / RETENTION POND, SEE LANDSCAPE PLAN FOR PLANTING AND GROUND COVER DETAILS.
12. INSTALL RIP RAP SWALE PER DETAIL D4 PER SHEET C303.
13. INSTALL CONCRETE RUNDOWN PER DETAIL B1 PER SHEET C303.
14. CONTRACTOR TO INSTALL SPLASH BLOCK AT ROOF DRAINS. SEE ARCHITECTURAL PLANS FOR MORE INFO.
15. INSTALL HAND RAIL. SEE ARCHITECTURAL PLAN.
16. INSTALL TYPE E MANHOLE PER COA STD DWG 2102.
17. SEE BERM DETAIL B3 PER SHEET C303.
18. INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
19. RETAINING WALL. SEE STRUCTURAL PLANS FOR CONTINUATION.
20. END OF PIPE TO MATCH EXISTING SLOPE.
21. INSTALL 6" DIAMETER TYPE "E" MANHOLE PER COA STD DWG 2102.
22. INSTALL STORM INLET STRUCTURE (NYLOPLAST OR APPROVED EQUAL) WITH 18" DIAMETER SOLID GRATE.
23. INSTALL STORM INLET STRUCTURE (NYLOPLAST OR APPROVED EQUAL) WITH 18" DIAMETER GRATE.
24. MONUMENT SIGN. SEE ARCHITECTURAL PLAN FOR MORE INFORMATION.
25. CONCRETE RUNDOWN. SEE DETAIL C3 PER SHEET C303 FOR CROSS SECTION.
26. CONTRACTOR TO INSTALL FITTING TO ROOF DRAIN TO CONNECT TO SIDEWALK CULVERT.
27. INSTALL HDPE TO RCP TRANSITION. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL BEFORE INSTALLATION.
28. RCP STORM DRAIN PIPE, SIZE & SLOPE PER PLAN.

## LEGEND

- PROPERTY LINE
- LIMITS OF GRADING
- 5025- EXISTING INDEX CONTOUR
- 5024- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- 5025- PROPOSED INDEX CONTOUR
- 5024- PROPOSED INTERMEDIATE CONTOUR
- 26.75 PROPOSED FINISHED GRADE SPOT ELEVATION
- TO-TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TS=TOP OF GRATE, FSH=FINISH GROUND HIGH, FSL=FINISH GROUND LOW
- PROPOSED CURB & GUTTER
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- SWALE FLOWLINE
- TOP OF BERM
- GRADE BREAK

GREER STAFFORD/SJCF ARCHITECTURE, INC.  
1717 LOUISIANA NE, SUITE 805  
ALBUQUERQUE, NM 87110-7087  
(505) 881-0835 • FAX: (505) 881-0848  
3005 NORTHRIDGE DR., SUITE F  
FARMINGTON, NM 87401-3085  
(505) 882-7475 • FAX: (505) 882-5464



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED, AND DATED BELOW.



PROJECT NO. 5354.00  
DRAWN BY:  
CHECKED BY:  
© GREER-STAFFORD/SJCF, INC.  
SHEET TITLE  
GRADING & DRAINAGE PLAN

NEW OFFICE BUILDING  
COOPERATIVE EDUCATIONAL SERVICES (CES)  
10601 RESEARCH RD. SE, ALBUQUERQUE, NM 87123

PERMIT COMMENTS  
Description  
1 11/08/19  
Mark I Date  
ISSUE  
APRIL 22, 2019

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GRADING & DRAINAGE PLAN



**PRIVATE FACILITY**  
**DRAINAGE COVENANT**

This Drainage Covenant ("Covenant"), between Cooperative Educational Services (CES) ("Owner"), whose address is 4216 Balloon Park Road NE, and whose telephone number is (505) 344-5470 and the City of Albuquerque, New Mexico, a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. **Recital.** The Owner is the current owner of the following described real property located at [give legal description, and street address]  
Tract F-2B, Sandia Science and Technology Park  
10601 Research Rd, SE Albuquerque, NM 87123

recorded on 9-18-2017, pages      through     , as Document No. 2017C-100 in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facility.** The Owner shall construct the following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:  
East, West, and South detention ponds and drainage swales as shown on the stamped Construction Drawings dated 10-30-2019, hyrdology file M21D021

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and made a part hereof.

3. **Maintenance of Drainage Facility.** The Owner shall maintain the Drainage Facility at Owner's sole cost in accordance with the approved Drainage Report and plans.

4. **Benefit to Property.** The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. **Inspection of Drainage Facility.** The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

**OWNER:**

By [signature]: David Chavez  
Name [print]: David Chavez  
Title: Executive Director  
Dated: 1-13-2021

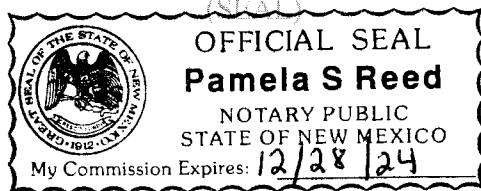
**CITY OF ALBUQUERQUE:**

By: \_\_\_\_\_  
Shahab Biazar, P.E., City engineer  
Dated: \_\_\_\_\_

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO           )  
  )ss  
COUNTY OF BERNALILLO       )

This instrument was acknowledged before me on this 13<sup>th</sup> day of January,  
2021, by David Chavez (name of person signing),  
Executive Director (title of person signing) of  
Cooperative Educational Services (CES) (Owner).



Pamela S Reed  
Notary Public  
My Commission Expires: Dec. 28, 2024

**CITY'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO           )  
  )ss  
COUNTY OF BERNALILLO       )

This instrument was acknowledged before me on this \_\_\_\_\_ day of  
\_\_\_\_\_, 20\_\_\_\_, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,  
a municipal corporation, on behalf of said corporation.

(SEAL)

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

**(EXHIBIT A ATTACHED)**



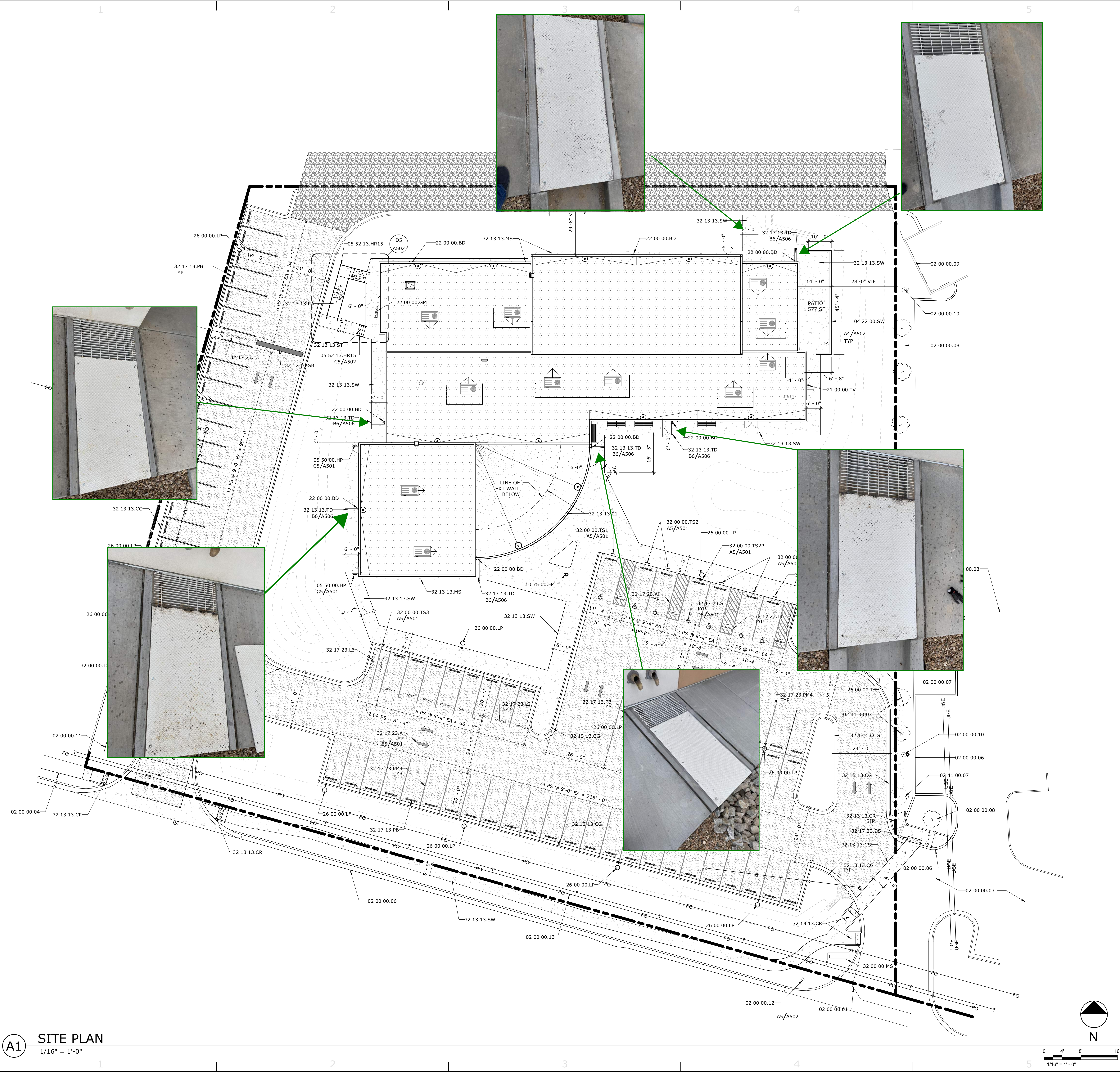




A1

SITE PLAN

1/16" = 1'-0"



GENERAL NOTES: SITE PLAN

- UNLESS OTHERWISE NOTED, ALL UTILITIES SHOWN ON THIS PLAN ARE EXISTING AND THEIR LOCATIONS ARE BASED ON INFORMATION PROVIDED BY THE OWNER. NO GUARANTEE OF ACCURACY IS MADE BY GREER-STAFFORD / SJCF ARCHITECTURE. CONTRACTORS SHALL VERIFY ALL UTILITIES (IONABLE INFORMATION ON SITE. CONTACT THE SANDIA SCIENCE AND TECHNOLOGY PARK CORPORATION FOR EXISTING UTILITY INFORMATION.
- CONTRACTOR SHALL VERIFY ALL STATE STATUTES BY CONTACTING NM ONE CALL AND OWNER'S RECORDS FOR THE EXISTING LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO ANY WORK ON SITE.
- REFER TO DIMENSION PLANS FOR POINT OF ORIGIN AND BUILDING CONTROL INFORMATION.
- REFER TO SHEET C350 FOR PAVING MATERIALS.
- REFER TO SHEETS C400 FOR NEW UTILITY INFORMATION.
- CONTRACTOR SHALL ALLOW FOR 650 LF OF PAINTED CURB FOR FIRE LANE WITHIN PARKING LOT DRIVES. VERIFY IN FIELD EXACT LOCATION AND CURB LENGTH TO BE PAINTED AS FIRE LINES WITH FIRE CODE OFFICIAL. MARK "NO PARKING" OR "FIRE LANE" OR OTHER STENCILING AS REQUIRED BY FIRE CODE OFFICIAL.
- REFER TO SHEET G001 FOR ZONING REVIEW INCLUDING IDO ALLOWABLE USES, LEGAL DESCRIPTION, AND OFF-STREET PARKING CALCULATIONS.

KEYNOTE LEGEND

02 00 00.01	EXISTING CONSTRUCTION TO REMAIN
02 00 00.02	EXISTING ASPHALT PAVING ON ADJACENT SITE TO REMAIN
02 00 00.04	EXISTING CONCRETE SIDEWALK TO REMAIN
02 00 00.05	EXISTING CONCRETE CURB AND GUTTER TO REMAIN
02 00 00.07	EXISTING ELEC TRANSFORMER TO REMAIN
02 00 00.08	EXISTING LANDSCAPING TO REMAIN
02 00 00.09	EXISTING TRASH ENCLOSURE TO REMAIN
02 00 00.10	EXISTING LAMP POLE TO REMAIN
02 00 00.11	EXISTING FIBER OPTIC CONNECTION BOX TO REMAIN, PROTECT DURING CONSTRUCTION
02 00 00.12	EXISTING FIRE HYDRANT TO REMAIN
02 00 00.13	EXISTING FIBER OPTIC LINE TO REMAIN, PROTECT DURING CONSTRUCTION. CONTACT THE SANDIA SCIENCE AND TECHNOLOGY PARK CORPORATION FOR EXACT LINE LOCATION AND NUMBER OF RUNS.
02 41 00.07	REMOVE EXISTING TREE IN ITS ENTIRETY
04 22 00.SW	MASONRY SITE WALL - REFER TO DETAIL
05 50 00.HP	HAIRPIN DOOR STOP
05 50 00.PB	STEEL BOLLARD, PAINT, COLOR PER ARCHITECT
05 52 13.HR15	1-1/2" DIAMETER TUBE STEEL PIPE HANDRAIL, PAINT
10 75 00.FP	FLAGPOLE
21 00 00.TV	INSPECTOR TEST VALVE - REFER TO FIRE PROTECTION
22 00 00.BD	BRASS DOWNSPOUT NOZZLE - REFER TO PLUMBING
22 00 00.GM	GAS METER - REFER TO PLUMBING
26 00 00.LP	LIGHT POLE - REFER TO ELECTRICAL
26 00 00.T	TRANSFORMER, SET ON CONCRETE PAD PER UTILITY PROVIDER REQUIREMENTS - REFER TO ELECTRICAL
32 00 00.MS	MONUMENT SIGN
32 00 00.RT	RETAINING WALL, REFER TO CIVIL
32 00 00.TS	8" CMU TRASH ENCLOSURE PER THE REQUIREMENTS OF THE COA SOLID WASTE MANAGEMENT DEPARTMENT
32 00 00.TS1	VAN ACCESSIBLE PARKING SIGN, TYPE TS-1
32 00 00.TS2	ACCESSIBLE PARKING SIGN, TYPE TS-2
32 00 00.TS2P	ACCESSIBLE PARKING SIGN, TYPE TS-2, MOUNTED ON LAMP POLE
32 00 00.TS3	MOTORCYCLE PARKING SIGN, TYPE TS-3
32 12 16.SB	SPEED BUMP PER COA STANDARDS
32 13 13.01	EXTEND CONCRETE SIDEWALK TO BUILDING EXTERIOR WALL UNDER CANOPY
32 13 13.01	CONCRETE CURB AND GUTTER OR MEDIAN CONCRETE CURB AND GUTTER. REFER TO CIVIL
32 13 13.CR	CONCRETE RAMP WITH ADA DETECTABLE WARNING DEVICE PER COA STANDARD DETAILS & E1/A501
32 13 13.CS	CONCRETE SLAB, 6", 4,000 PSI. 3/4" AGGREGATE WITH 6X6-10-10 WWM OR EQUAL
32 13 13.MS	MOW STRIP - REFER TO C4/A501 & CIVIL
32 13 13.RA	CONCRETE RAMP - REFER TO CIVIL AND DETAIL
32 13 13.S1	CONCRETE STAIRS - REFER TO CIVIL AND DETAIL
32 13 13.SW	CONCRETE SIDEWALK, REFER TO DETAIL D4/A501 & CIVIL
32 13 13.TD	TRENCH DRAIN AT DOWNSPOUT - REFER TO DETAIL
32 17 13.PB	PARKING BUMPER
32 17 20.DS	DETECTABLE WARNING SURFACE TILE
32 17 23.A	PAINTED TRAFFIC ARROW
32 17 23.A1	PAINTED ADA ACCESS AISLE, 4" WIDE, 45 DEGREE DIAGONAL STRIPES AT 24" OC
32 17 23.L1	PAINTED LETTERING, "NO PARKING", 8" TALL AT END OF ACCESS AISLE
32 17 23.L2	PAINTED LETTERING, "COMPACT", 8" TALL AT END OF PARKING STALL
32 17 23.L3	PAINTED LETTERING, "MOTORCYCLE", 8" TALL AT CENTER OF PARKING STALL
32 17 23.PM4	PAINTED PAVEMENT MARKINGS, 4" WIDE
32 17 23.S	PAINTED ADA SYMBOL

REQUIRED SETBACKS FROM SS&TP MASTER DEV. PLAN

**BUILDING:**  
35' FROM ROW LINE ON RESEARCH ROAD  
15' FROM PROPERTY LINE ON ADJACENT PROPERTIES

**PARKING:**  
15' FROM ROW LINE ON RESEARCH ROAD  
15' FROM PROPERTY LINE ON ADJACENT PROPERTIES\*

**STREETSCAPE:**  
15' ON RESEARCH ROAD

\*VARIANCE APPROVED FOR REDUCED PARKING SETBACK PER ZONING HEARING EXAMINER PROJECT NO. PR-2019-007202/VA-2019-00261, WITH DECISION DATE OF OCTOBER 2, 2019.

SITE PLAN LEGEND

- PROPERTY LINE
- NEW GRAVEL ROADWAY SECTION - REFER TO CIVIL
- NEW CONCRETE PAVING - REFER TO PLANS FOR CONCRETE PAVING SECTION
- NEW ASPHALT PAVING - REFER TO CIVIL FOR ASPHALT PAVING SECTION
- EXISTING FIBER OPTIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING UNDERGROUND ELECTRICAL LINE

GREER STAFFORD/SJCF ARCHITECTURE, INC.



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS SIGNED, SEALED, AND DATED BELOW



NEW OFFICE BUILDING

COOPERATIVE EDUCATIONAL SERVICES (CES)  
10601 RESEARCH RD SE, ALBUQUERQUE, NM 87123

Mark	Date	Description
1	10/21/19	PERMIT REVIEW

PROJECT NO: 5354.00

DRAWN BY:

CHECKED BY:

© GREER-STAFFORD/SJCF, INC.

SHEET TITLE

DRAWING SHEET

AS101