

# CITY OF ALBUQUERQUE



March 13, 2020

Xavier Nuno Whelan  
Design-X  
879 Silver Ave SW  
Albuquerque, NM 87102

**Re: 4Hg-LLC- Alteration Level 2  
10520 Research Rd SE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp 11-20-19 (M21D022)  
Certification dated 3-11-20**

Dear Mr. Whelan,

Based upon the information provided in your submittal received 3-11-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please relocate Bike Rack out of ADA access. (See attached Photo)

Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

RESEARCH RD SE

EXISTING PRIVATE SCHOOL  
(NO WORK IN THIS AREA)

EXISTING PARKING LOT

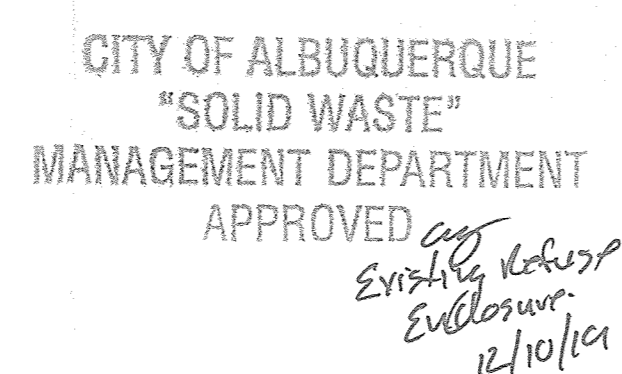
EXISTING OFFICE BUILDING  
(NO WORK IN THIS AREA)

EXISTING PARKING LOT

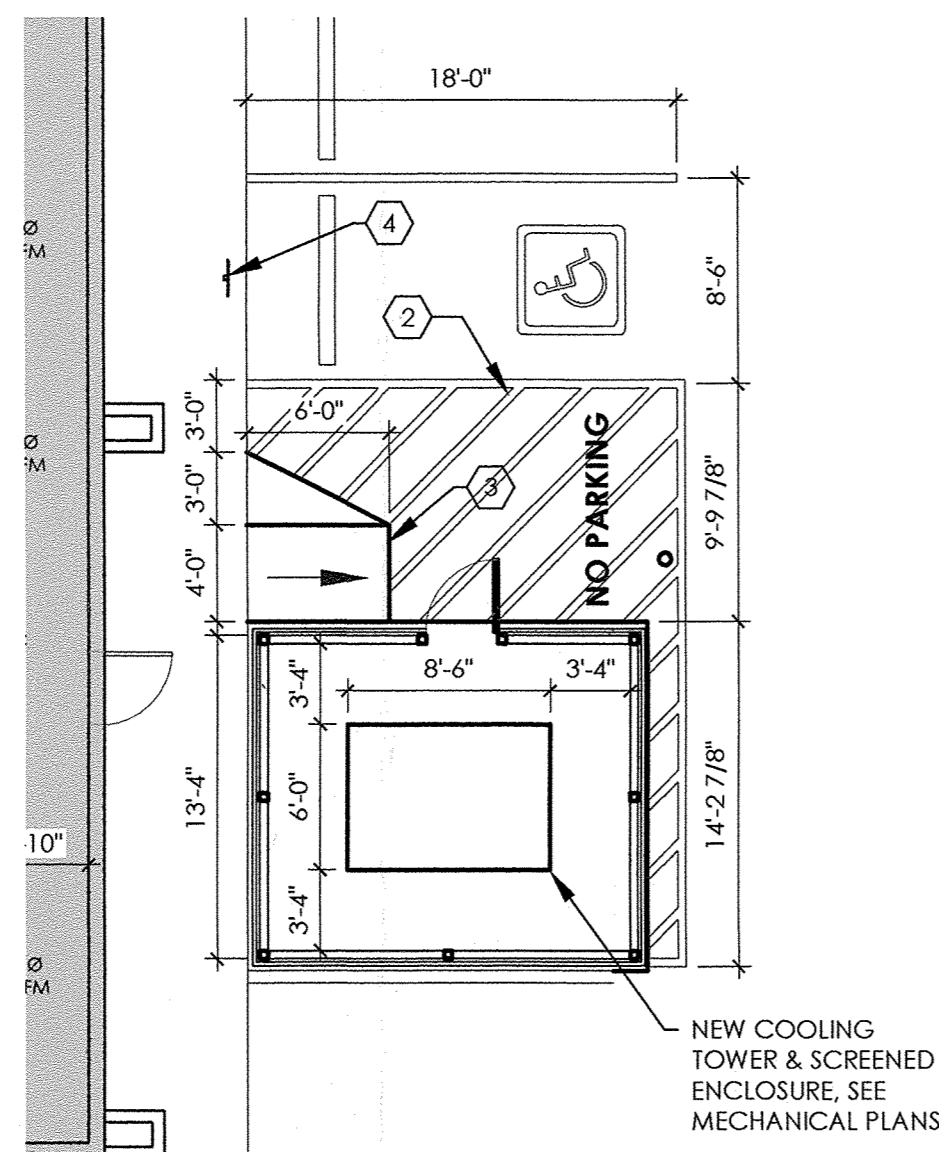
EXISTING REFUSE

EXISTING REFUSE

The site plan shows a rectangular area bounded by Research Rd SE to the north. Inside the area, there are two main buildings: a square 'EXISTING PRIVATE SCHOOL' on the left and a larger rectangular 'EXISTING OFFICE BUILDING' on the right. Both buildings are shaded gray and labeled 'NO WORK IN THIS AREA'. Between the school and the office building is a narrow vertical parking lot. To the left of the school is another parking lot. To the right of the office building is a small rectangular structure, likely a refuse container, labeled 'EXISTING REFUSE'. Below the office building is a large rectangular area labeled 'EXISTING PARKING LOT'. At the bottom left and right corners of the site are two more 'EXISTING REFUSE' containers. A dashed line indicates a boundary or path around the buildings and parking areas. Arrows indicate traffic flow or access points. The top of the plan shows the alignment of Research Rd SE with a dashed center line and solid edge lines.



N.T.S.




3

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
4. REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE. THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY. PROVIDE A COPY OF REFUSE APPROVAL.

[illegible]

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

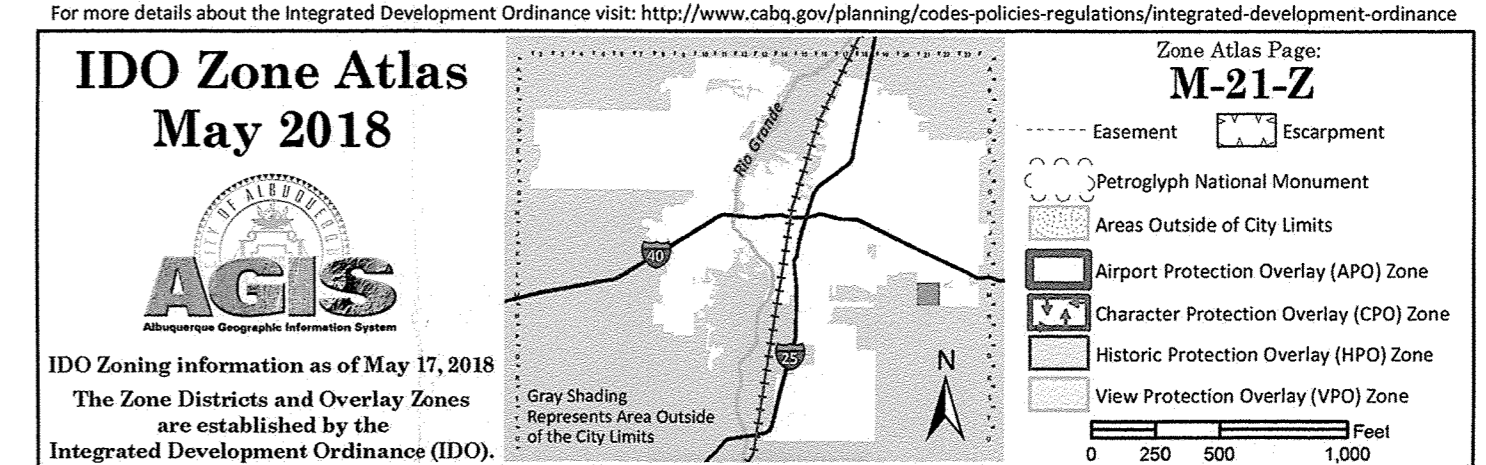
  
Signed \_\_\_\_\_

12-11-14  
Date \_\_\_\_\_

<b>PARKING CALCULATIONS</b> PARKING REQUIRED: PER CABQ IDO PART 14-16-5: DEV. STANDARDS:  OFFICE = 3.5 SPACES / 1,000 SQ. FT. G.F.A.  12,000 SF x 3.5 = <b>42 SPACES REQUIRED</b>	PARKING PROVIDED:  43 SPACES PROVIDED INCLUDING 2 HANDICAPPED
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## KEYED NOTES

1. EXISTING PARKING STRIPING TO BE RE-DONE IN AREA OF WORK ONLY
2. NEW ADA ACCESS ISLE TO HAVE THE WORDS "NO PARKING" PAINTED IN CAPITOL LETTERS EACH SHALL BE 1'-0" TALL AND 2" WIDE PLACED AT REAR OF PARKING SPACE
3. NEW CONCRETE HANDICAPPED RAMP WITH MAXIMUM 1:12 SLOPE FROM EXISTING SIDEWALK TO ASPHALT
4. NEW H.C. PARKING SIGN, DETAIL 3/C-1
5. NEW 10'-0" W X 4'-0" H. MONUMENT SIGN, SEE DETAIL 4/C-1
6. EXISTING FIRE DEPARTMENT CONNECTION AND ACCESS AISLE TO REMAIN
7. BICYCLE RACK SEE DETAIL, THIS SHEET
8. NEW 6'-0" WIDE STRIPED ACCESSIBLE PEDESTRIAN PATHWAY
9. NEW 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING



**CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION:**  
B OFFICE: 12,000 S.F.

**TABLE 503 ALLOWABLE HEIGHT AND BUILDING AREA:**  
B - S1 = 1 STORY, 144,000 S.F. - SPRINKLED

BUILDING AREAS:	SQ. FT.	OCCUPANT LOADS (TABLE 1004.1.1)
B OFFICE:	12,000 S.F.	80

**SECTION 907 FIRE ALARM AND DETECTION SYSTEM:**  
PROVIDED, BUILDING IS FULLY SPRINKLED WITH FIRE ALARM SYSTEM

**TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS:**  
TYPE V-B, FULLY SPRINKLED, NO FIRE-RESISTANCE RATING REQUIRED.

**TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES:**  
**NO SEPARATION REQUIRED**

**TABLE 1021.1 MIN. NO. OF EXITS PER OCC. LOAD:**  
1-500 OCCUPANTS = (2) EXITS REQUIRED, (4) EXITS PROVIDED.

**TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE:**  
B OCC. W/ SPRINKLER SYSTEM (IN ACCORDANCE WITH SECTION 903.3.1.1 = 300 FT.)

**SECTION 1005 EGRESS WIDTH REQUIRED:**  
OCC. LOAD = 60 x 0.2 = 12 INCH EGRESS WIDTH.

**EGRESS WIDTH PROVIDED:**  
(3) 36 INCH EGRESS DOORS WITH PANIC HARDWARE (1) 72" WIDE DOUBLE DOOR WITH PANIC HARDWARE

1. ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430
3. ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD DRAWING 2431
4. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD DRAWING 2450
5. ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING
6. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES





## TRAFFIC CERTIFICATION

I, PATRICK WHELAN, NMPE OR NMRA 3255, OF THE FIRM DIZIGNX, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-24-19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY XAVIER NUÑO-WHELAN OF THE FIRM DIZIGNX. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-11-20 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY

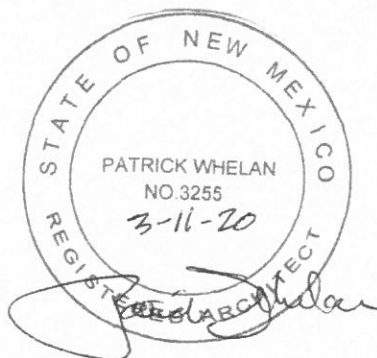
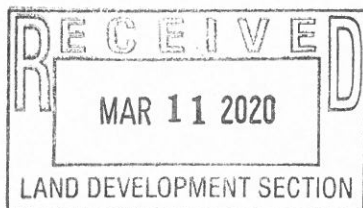
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Patrick Whelan  
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

3-11-20  
Date





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4HG LLC ALT. 2 Building Permit #: BP2019-46805 Hydrology File #: M21D022

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: RESEARCH RD SE

City Address: 10520 RESEARCH RD SE

Applicant: XAVIER NUÑO-WHIGAN Contact: 505-507-3408

Address: 2440 MARES RD SW.

Phone#: 505-507-3408 Fax#: \_\_\_\_\_ E-mail: DIIGNX@GMAIL.COM

Other Contact: 4HG LLC Contact: \_\_\_\_\_

Address: 2350 ALAMO AVE. SE SUITE 220

Phone#: 505-720-4633 Fax#: \_\_\_\_\_ E-mail: AVERA@IDEAS-TEK.COM

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

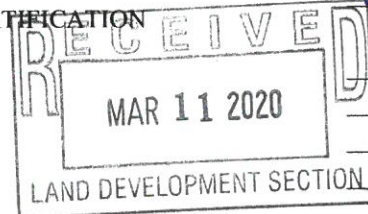
IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?



### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 3-11-2020 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

03/11/2020 Issued By: E08375 365767

**Permit Number:** 2018 062 083

**Category Code 970**

**Application Number:** 18REV-62083, Review: Drain Plan-Lomr-Traffic Impact

**Address:**

**Location Description:** 4HG LLC ALT.2

**Project Number:** null

**Applicant**  
XAVIER NUNO-WHELAN

**Agent / Contact**

2440 MARES RD SW  
NM  
5055073408

**Application Fees**

REV Actions	\$110.00
<b>TOTAL:</b>	<b>\$110.00</b>

City of Albuquerque Treasury  
Date: 3/11/2020 Office: ANHEX  
Stat ID: Cashier: E41709  
Batch: 11167 Trans #: 23  
Permit: 2018062083  
Receipt Num 00625877  
Payment Total: \$110.00  
03/07 REV Actions  
VISA Tended \* \$110.00  
\$110.00