

CITY OF ALBUQUERQUE



March 18, 2020

Xavier Nuno Whelan
Design-X
879 Silver Ave SW
Albuquerque, NM 87102

**Re: 4Hg-LLC- Alteration Level 2
10520 Research Rd SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp 11-20-19 (M21D022)
Certification dated 3-11-20**

Dear Mr. Whelan,

Based upon the information provided in your pictures received 3-18-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

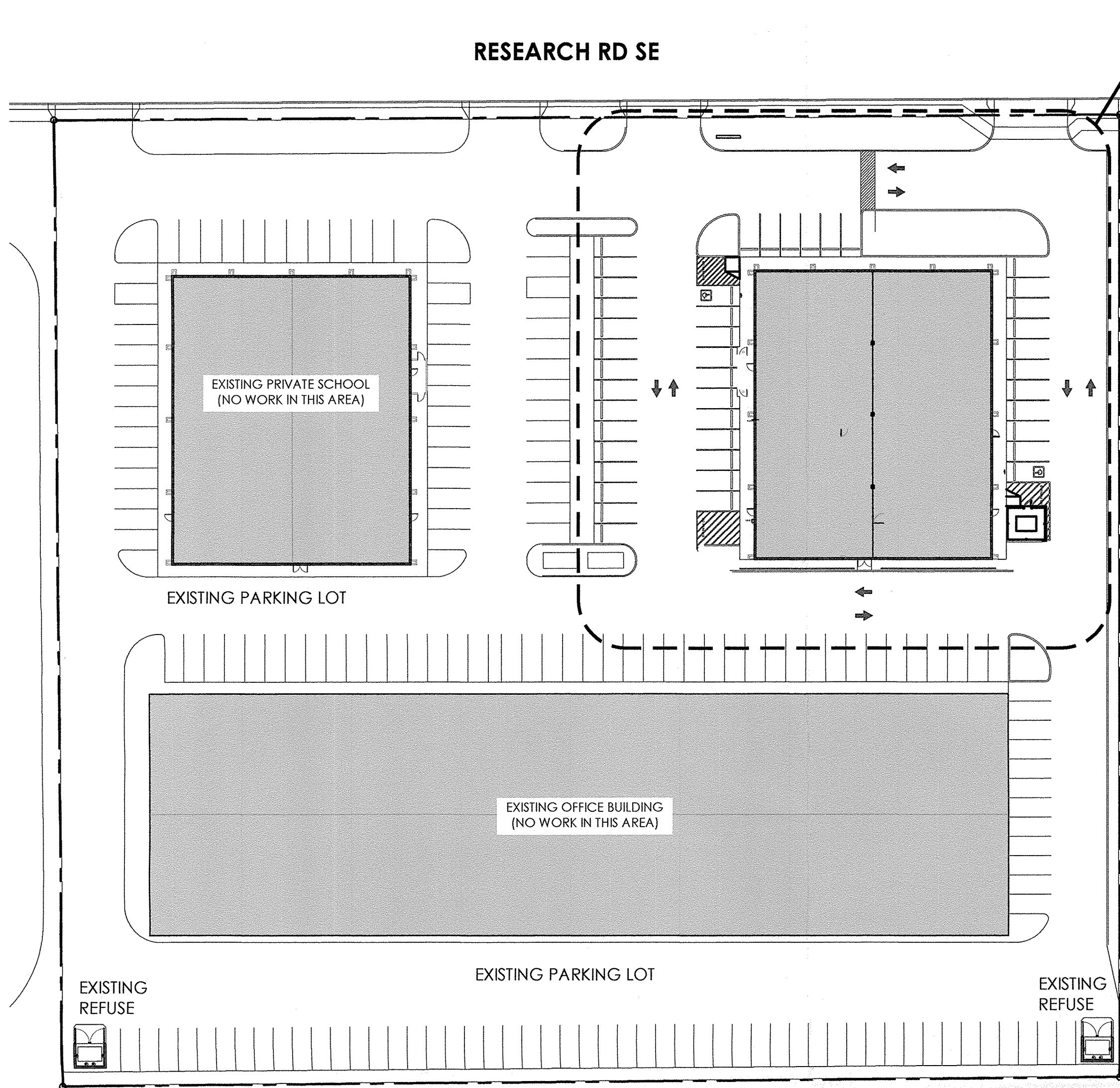
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

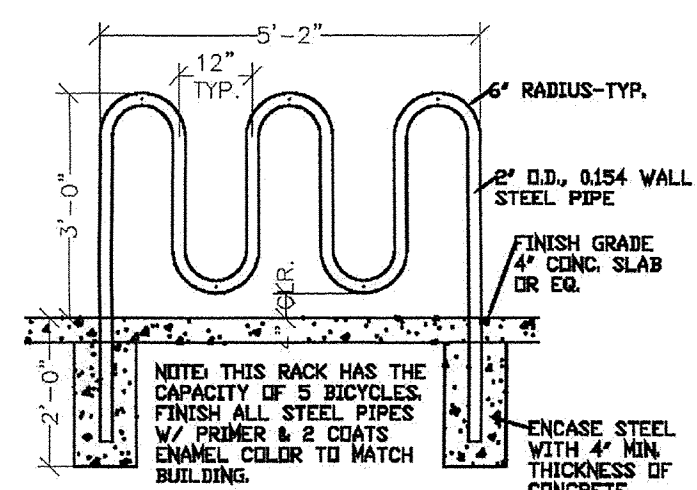
Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

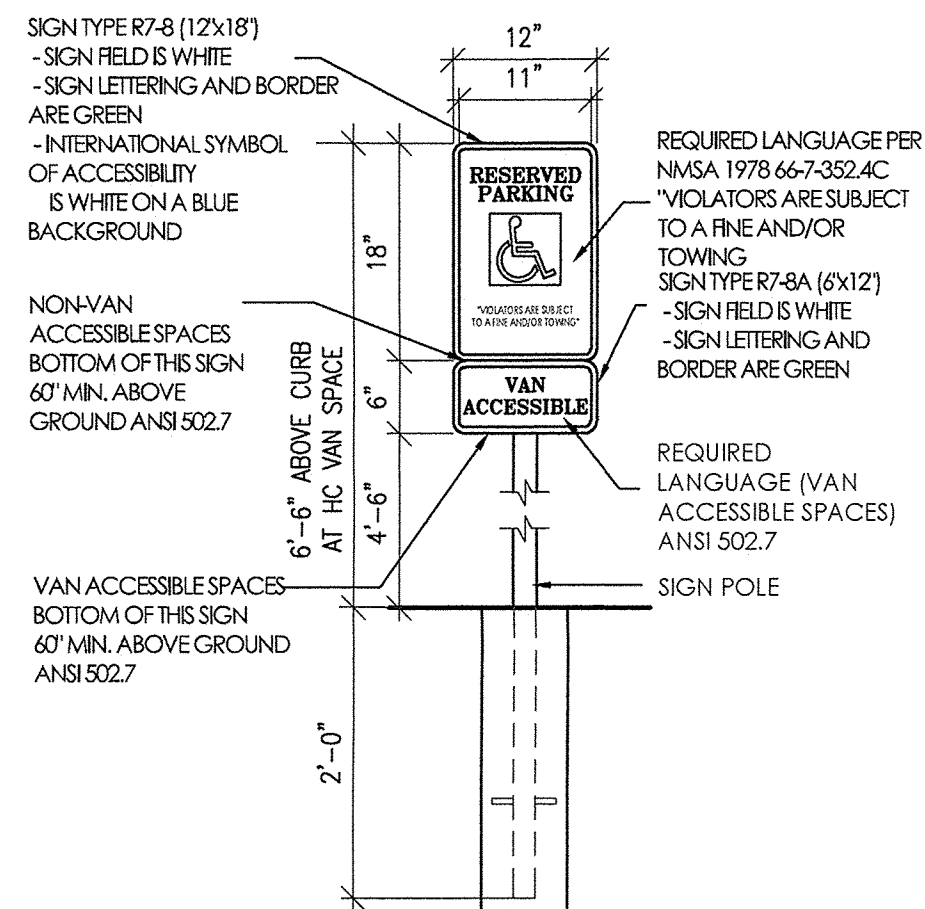
EG via: email
C: CO Clerk, File



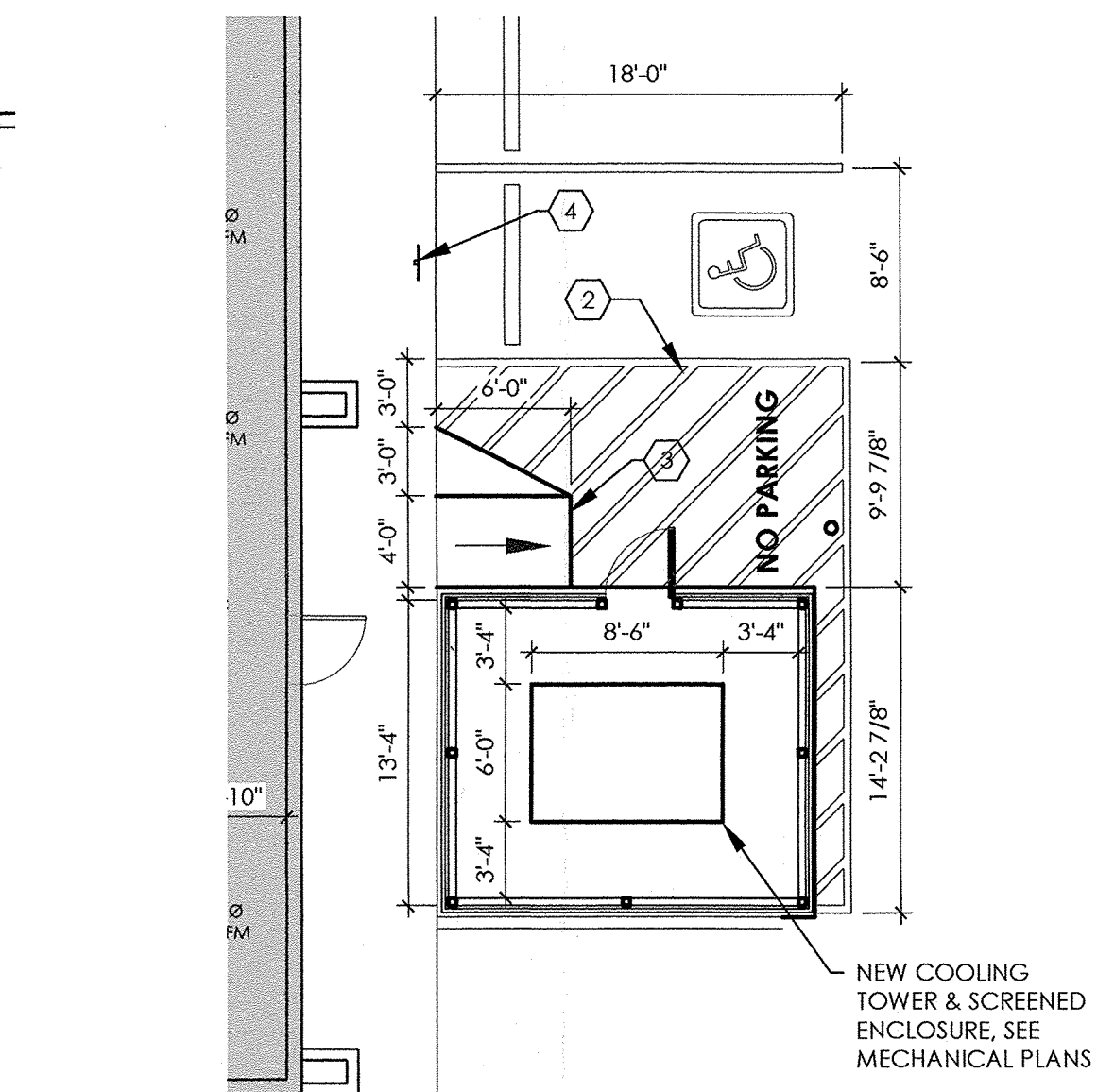
2 EXISTING OVERALL SITE PLAN
1" = 40'-0"



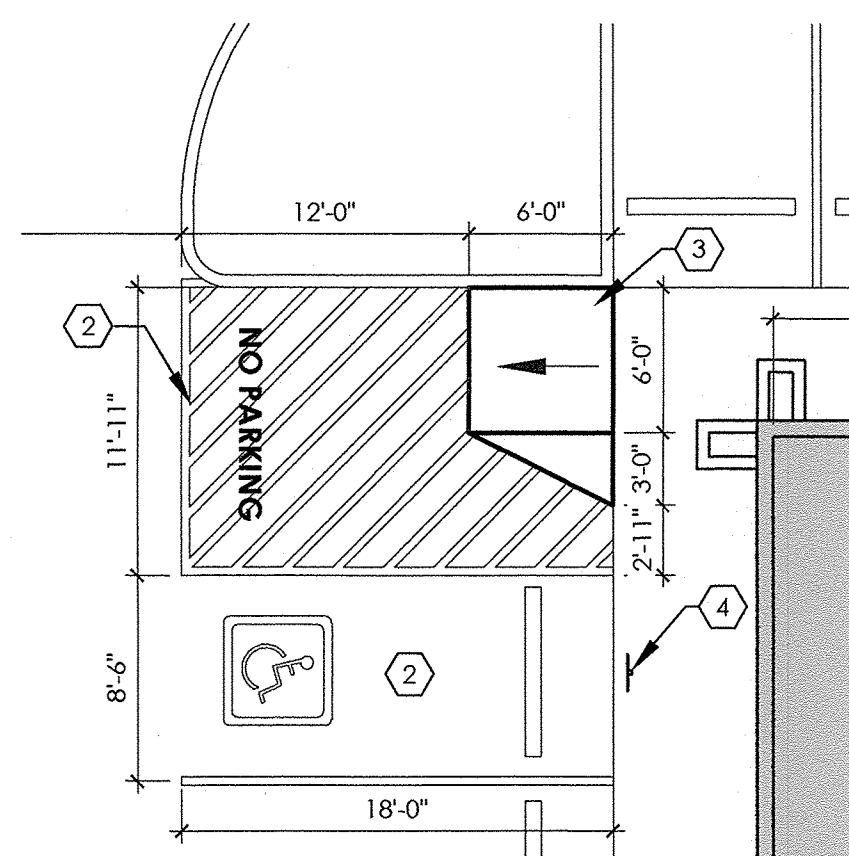
BIKE RACK DETAIL
N.T.S.



3 H.C. PARKING SIGN
3/4" = 1'-0"



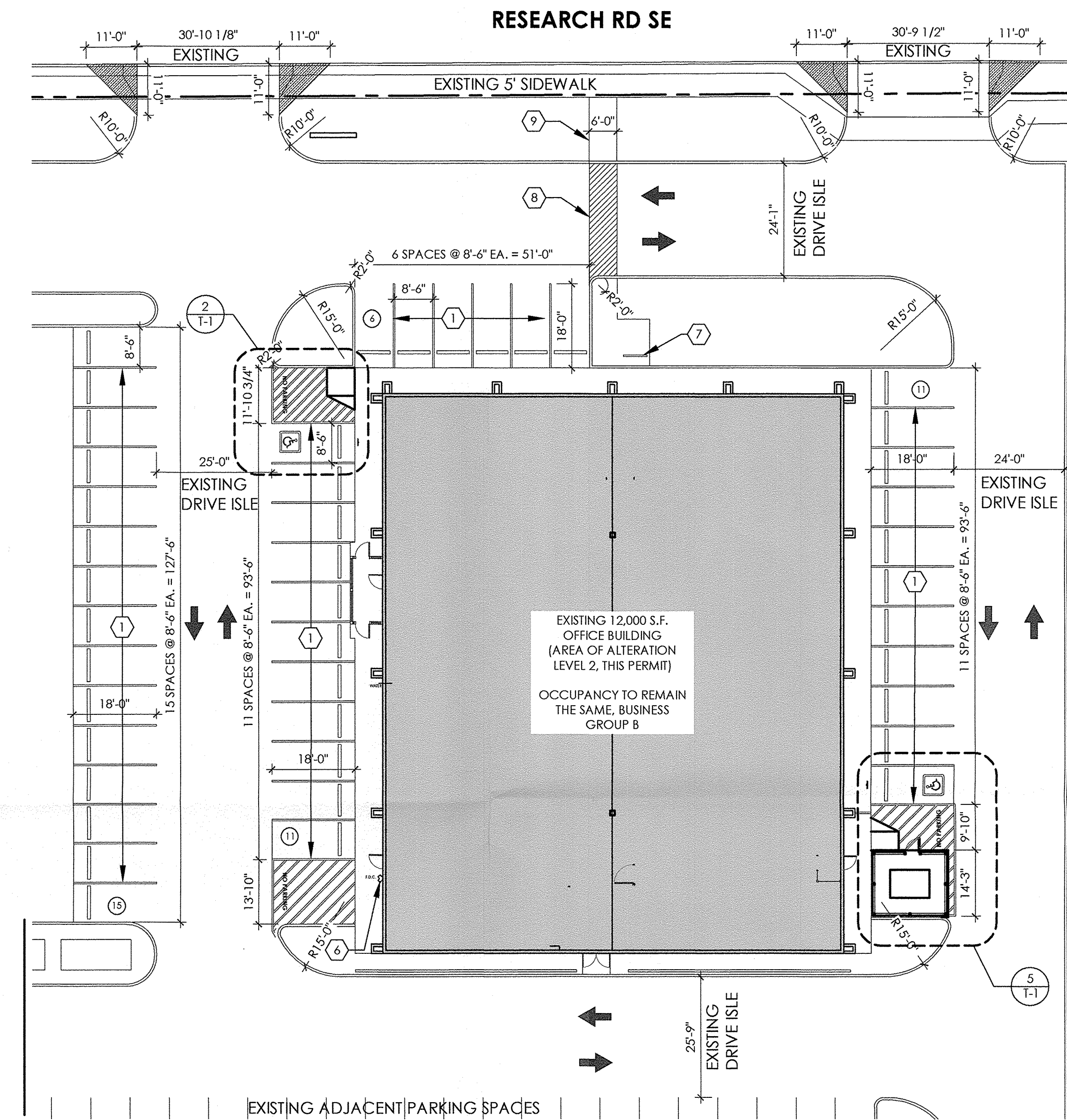
5 NEW H.C. PARKING PLAN
1/8" = 1'-0"



2 NEW H.C. PARKING PLAN
1/8" = 1'-0"

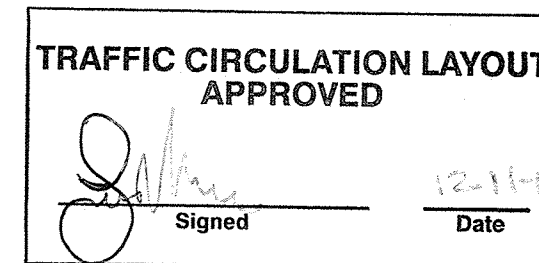
TCL NOTES:

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
4. REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE. THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY. PROVIDE A COPY OF REFUSE APPROVAL.



1 ENLARGED SITE PLAN
1" = 20'-0"

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



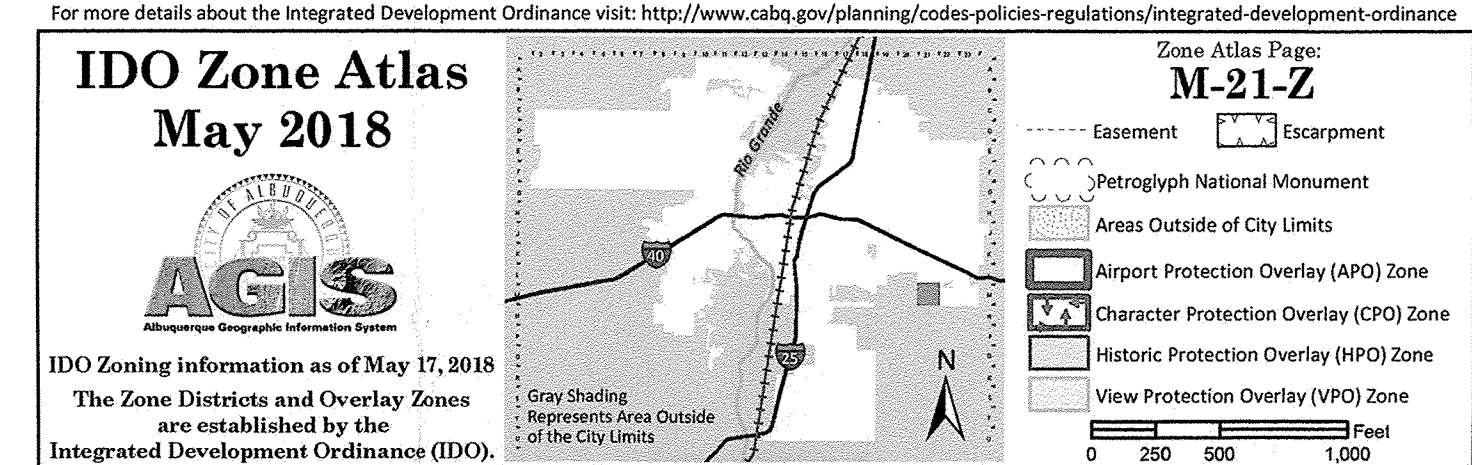
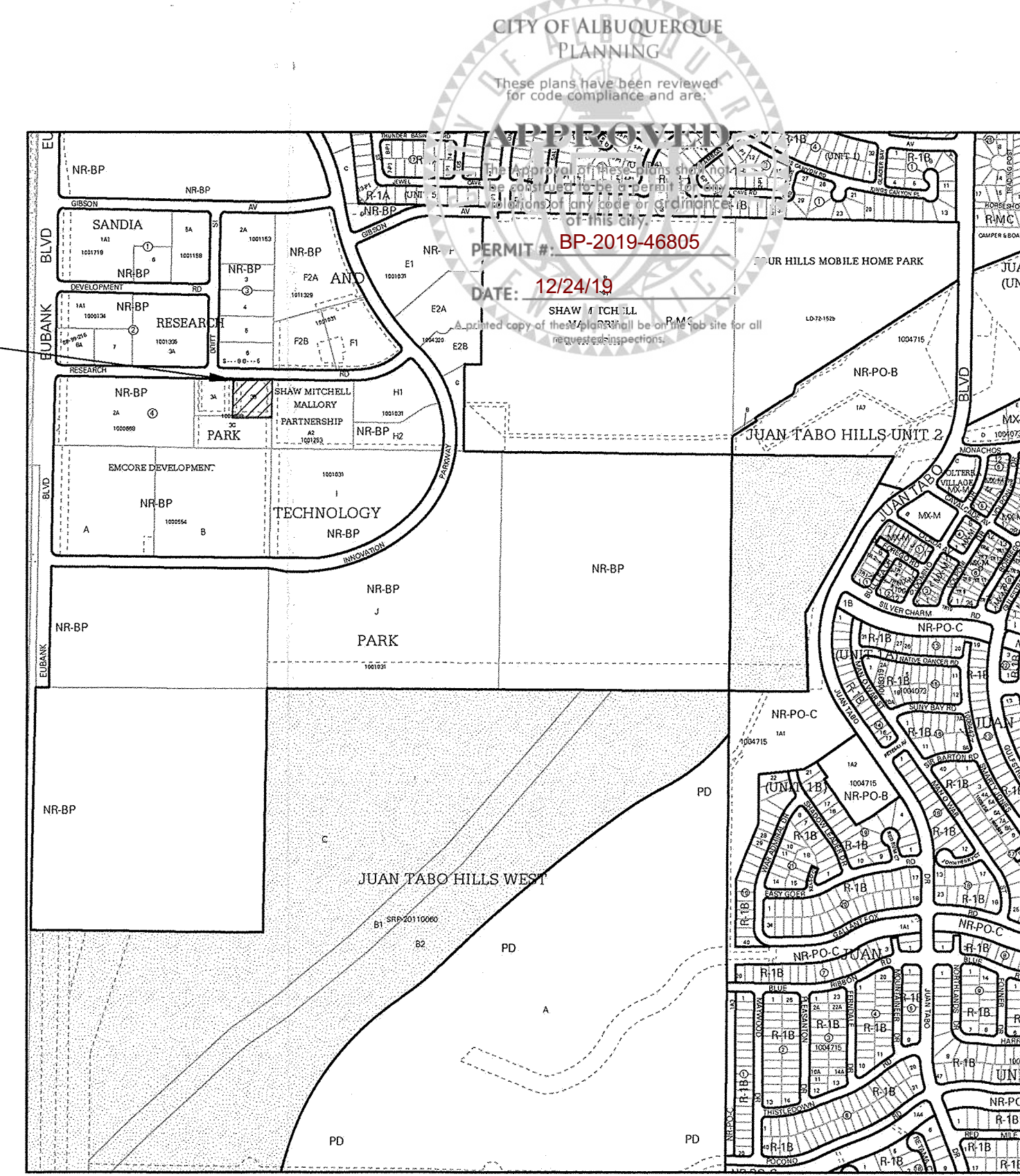
PARKING CALCULATIONS

PARKING REQUIRED:
PER CABQ IDO PART 14-16-5; DEV. STANDARDS:
OFFICE = 3.5 SPACES / 1,000 SQ. FT. G.F.A.
12,000 SF x 3.5 = 42 SPACES REQUIRED

PARKING PROVIDED:
43 SPACES PROVIDED
INCLUDING 2 HANDICAPPED

KEYED NOTES

1. EXISTING PARKING STRIPING TO BE RE-DONE IN AREA OF WORK ONLY
2. NEW ADA ACCESS ISLE TO HAVE THE WORDS "NO PARKING" PAINTED IN CAPITOL LETTERS EACH SHALL BE 1'-0" TALL AND 2" WIDE PLACED AT REAR OF PARKING SPACE
3. NEW CONCRETE HANDICAPPED RAMP WITH MAXIMUM 1:12 SLOPE FROM EXISTING SIDEWALK TO ASPHALT
4. NEW H.C. PARKING SIGN, DETAIL 3/C-1
5. NEW 10'-0"W x 4'-0"H. MONUMENT SIGN, SEE DETAIL 4/C-1
6. EXISTING FIRE DEPARTMENT CONNECTION AND ACCESS AISLE TO REMAIN
7. BICYCLE RACK SEE DETAIL, THIS SHEET
8. NEW 6'-0" WIDE STRIPED ACCESSIBLE PEDESTRIAN PATHWAY
9. NEW 6'-0" WIDE CONCRETE SIDEWALK TO CONNECT TO EXISTING



ZONE ATLAS MAP

2015 IBC CODE DESIGN DATA:

CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION:
B OFFICE: 12,000 S.F.

TABLE 503 ALLOWABLE HEIGHT AND BUILDING AREA:
B - S1 = 1 STORY, 144,000 S.F. - SPRINKLED

BUILDING AREAS: SQ. FT. OCCUPANT LOADS (TABLE 1004.1.1)
B OFFICE: 12,000 S.F. 80

SECTION 907 FIRE ALARM AND DETECTION SYSTEM:
PROVIDED, BUILDING IS FULLY SPRINKLED WITH FIRE ALARM SYSTEM

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS:
TYPE V-B, FULLY SPRINKLED, NO FIRE-RESISTANCE RATING REQUIRED.

TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES:
NO SEPARATION REQUIRED

TABLE 1021.1 MIN. NO. OF EXITS PER OCC. LOAD:
1-500 OCCUPANTS = (2) EXITS REQUIRED, (4) EXITS PROVIDED.

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE:
B OCC. W/ SPRINKLER SYSTEM (IN ACCORDANCE WITH SECTION 903.3.1.1 = 300 FT.

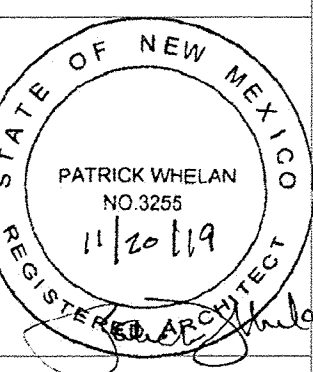
SECTION 1005 EGRESS WIDTH REQUIRED:
OCC. LOAD = 60 x 0.2 = 12 INCH EGRESS WIDTH.

EGRESS WIDTH PROVIDED:
(3) 36 INCH EGRESS DOORS WITH PANIC HARDWARE (1) 72" WIDE DOUBLE DOOR WITH PANIC HARDWARE

DESIGN STANDARDS

1. ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430
3. ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD DRAWING 2431
4. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD DRAWING 2450
5. ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING
6. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES

DESIGN *** X
ARCHITECTURE + VISUALIZATION
XAVIER NIÑO-WHELAN
877 SILVER AVE SW
ALBUQUERQUE, NM 87102
DESIGN@XNWA.COM



PROJECT TITLE:
4HQ LLC - ALTERATION LEVEL 2
10520 RESEARCH RD SE
ALBUQUERQUE, NM 87106

SHEET TITLE:
TRAFFIC CIRCULATION LAYOUT

REVISION DATES:
01 DECEMBER 4, 2019

SHEET NUMBER:

T-1

TRAFFIC CERTIFICATION

I, PATRICK WHELAN, NMPE OR NMRA 3255, OF THE FIRM DIZIGNX, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-24-19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY XAVIER NUÑO-WHELAN OF THE FIRM DIZIGNX. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-11-20 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Patrick Whelan
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

3-11-20
Date

