

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 23, 2022

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 1328 Wagon Trail Dr. SE - Addition  
Permanent C.O. – Accepted  
Engineer’s Certification Date: 12/16/22  
Engineer’s Stamp Date: 11/08/21  
Hydrology File: M22D006A**

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 12/19/2022 and site visit on 12/23/2022, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

NM 87103

www.cabq.gov

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 1328 WAGON TRAIN SE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** lot 17 block 33 FOUR HILLS - 5 TH EDITION  
**City Address:** 1328 WAGON TRAIN SE

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:**  PLAT  RESIDENCE  DRB SITE  ADMIN SITE

Check all that Apply:

**DEPARTMENT:**  
 HYDROLOGY/ DRAINAGE  
 TRAFFIC/ TRANSPORTATION

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**  
 BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY

**TYPE OF SUBMITTAL:**  
 ENGINEER/ARCHITECT CERTIFICATION  
 PAD CERTIFICATION  
 CONCEPTUAL G & D PLAN  
 GRADING PLAN  
 DRAINAGE REPORT  
 DRAINAGE MASTER PLAN  
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
 ELEVATION CERTIFICATE  
 CLOMR/LOMR  
 TRAFFIC CIRCULATION LAYOUT (TCL)  
 TRAFFIC IMPACT STUDY (TIS)  
 STREET LIGHT LAYOUT  
 OTHER (SPECIFY) \_\_\_\_\_  
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL  
 SITE PLAN FOR SUB'D APPROVAL  
 SITE PLAN FOR BLDG. PERMIT APPROVAL  
 FINAL PLAT APPROVAL  
 SIA/ RELEASE OF FINANCIAL GUARANTEE  
 FOUNDATION PERMIT APPROVAL  
 GRADING PERMIT APPROVAL  
 SO-19 APPROVAL  
 PAVING PERMIT APPROVAL  
 GRADING/ PAD CERTIFICATION  
 WORK ORDER APPROVAL  
 CLOMR/LOMR  
 FLOODPLAIN DEVELOPMENT PERMIT  
 OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**Weighted E Method**

Basin	Area (sq)	Area (acres)	Treatment				100-Year 6-hr.		Flow cfs	10-day Volume (ac-ft)				
			A	B	C	D	Weighted E	Volume						
EXISTING	20870	0.479	0%	0	30.0%	0.144	41.0%	0.19643	29%	0.139	1.688	0.067	1.88	0.086
PROPOSED	20870	0.479	0%	0	30.0%	0.144	33.0%	0.15811	37%	0.177	1.783	0.071	1.94	0.095

**Equations:**

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted E \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.64	Qd= 5.25

PONDING TO ACCOMMODATE REQUIRED PROVIDED 387.59 CF 433 CF

**DRAINAGE NARRATIVE**  
THIS SITE IS A LOT WITHIN A FULLY DEVELOPED RESIDENTIAL SUBDIVISION. THE SITE IS ADJACENT TO FULLY DEVELOPED ROADWAYS. A PUBLIC DRAINAGE EASMENT APPEARS TO ABUT THIS SITE TO THE SOUTH RUNNING ALONG THE KIRTLAND AIRFORCE BASE PROPERTY. THE DENSITY OF THIS DEVELOPMENT IS SIMILAR TO THE SURROUNDING FULLY DEVELOPED CONDITIONS. THE SITE CURRENTLY FREE DISCHARGES TO THE REAR. THE SITE WILL RETAIN THE INCREASE IN STORMWATER GENERATED BY THIS ADDITION. THE EXISTING DRAINAGE PATTERNS WILL REMAIN

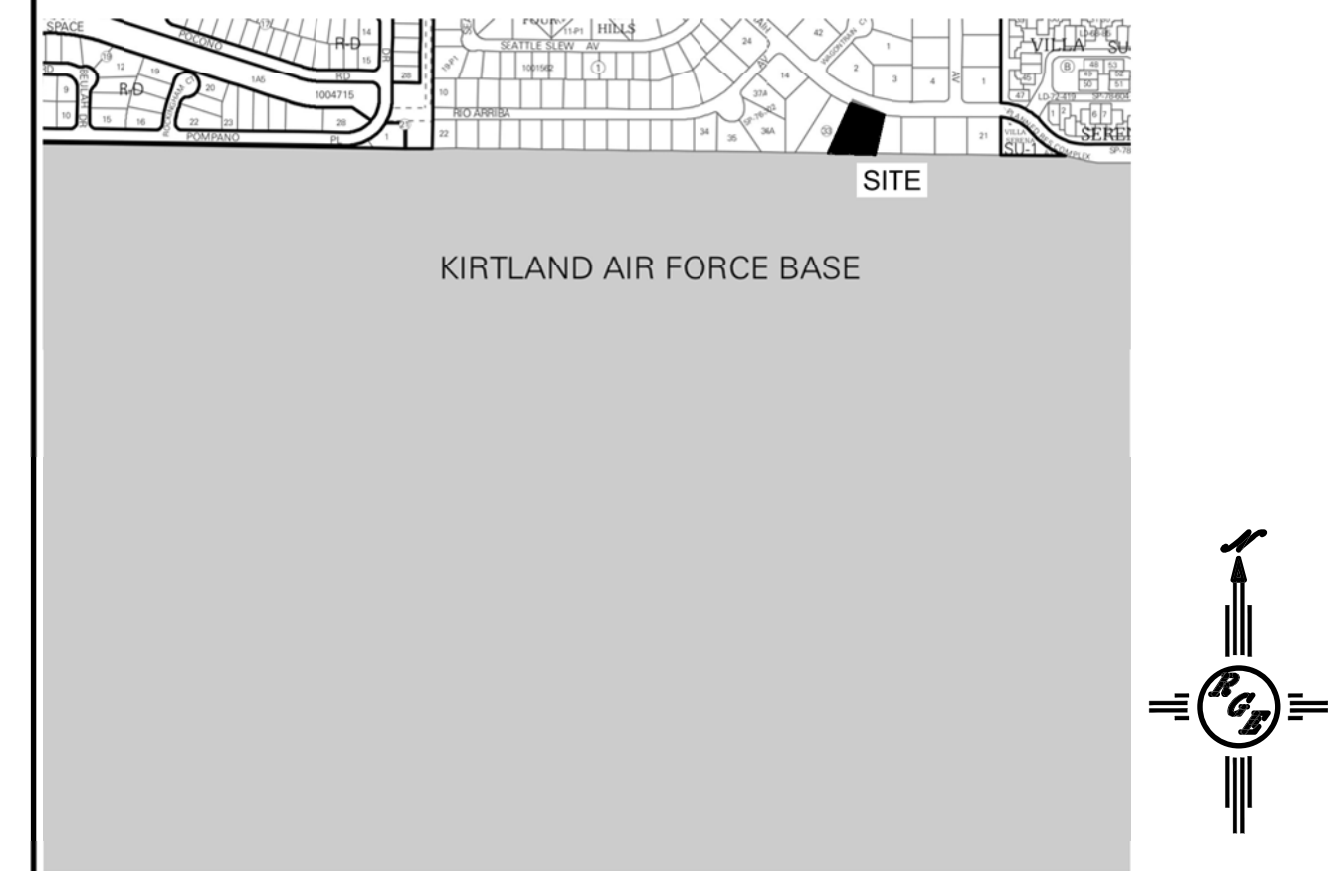
I **David Soule**, NMPE 14522, of the firm **Rio Grande Engineering**, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11/8/21. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for **PERMANENT CERTIFICATE OF OCCUPANCY**. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



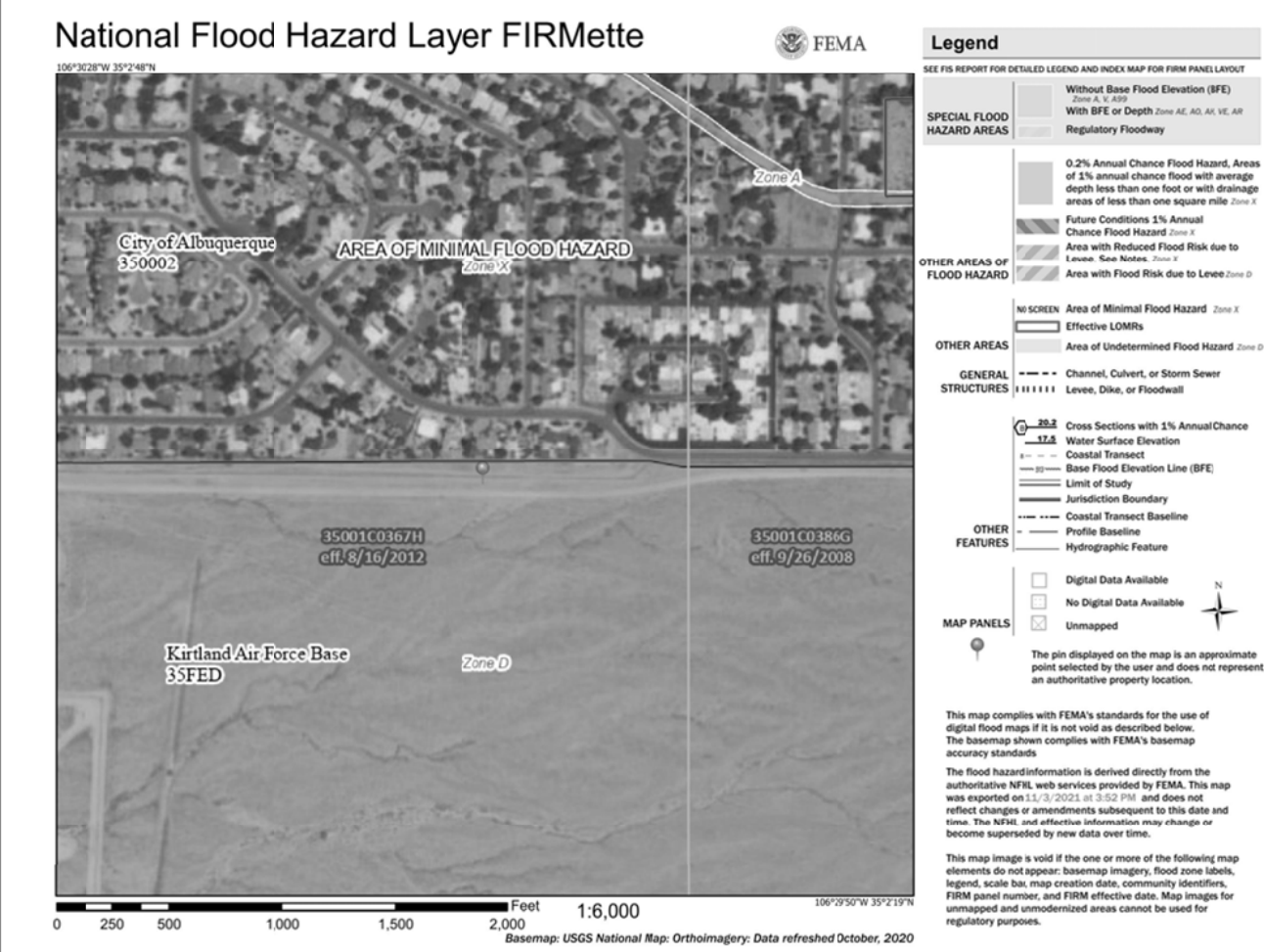
12/16/22

**EROSION CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**VICINITY MAP: N-22-Z**



**FIRM MAP:**

**LEGAL DESCRIPTION:**

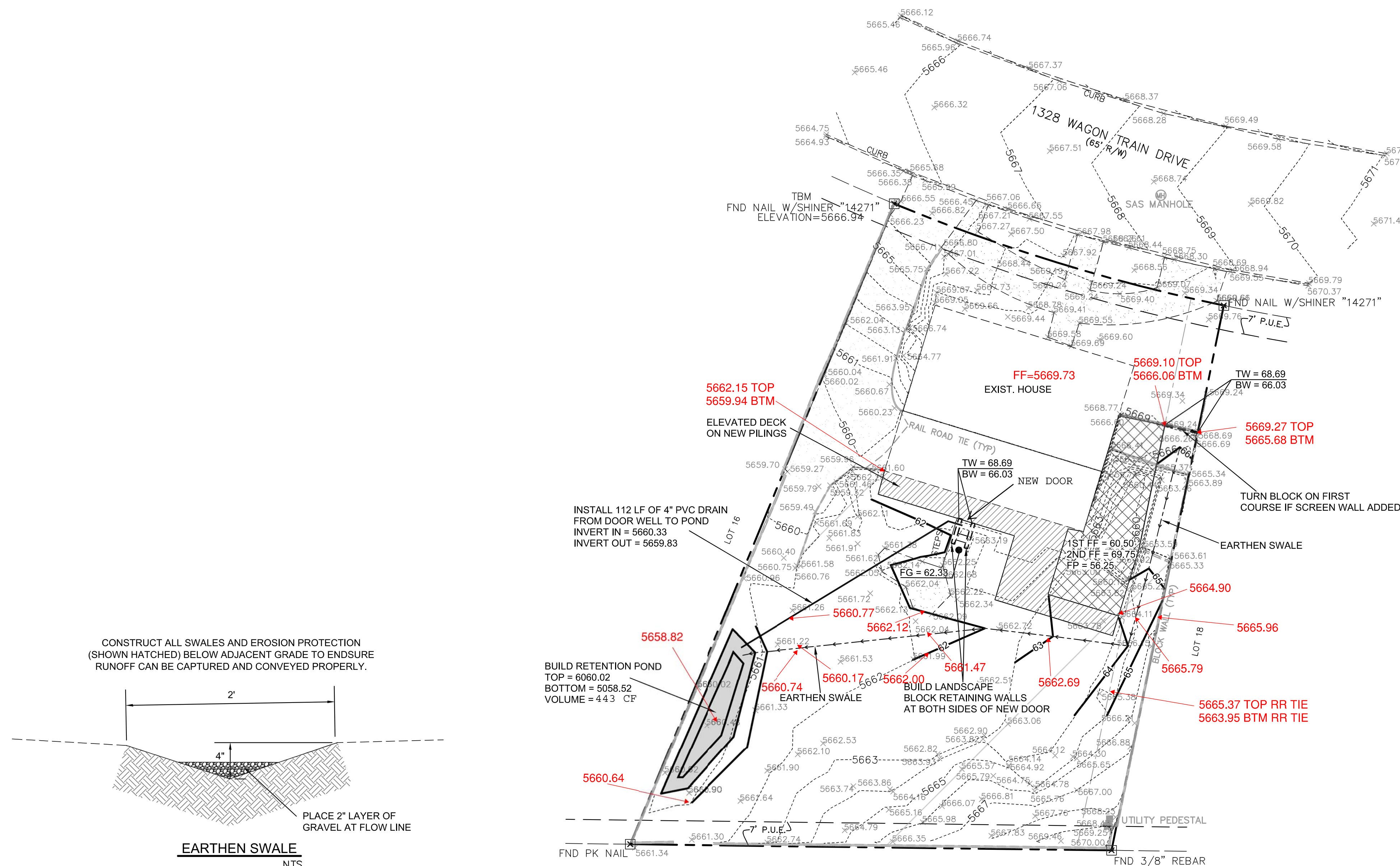
LOT 17, BLOCK 33 FOUR HILLS VILLAGE 5TH INSTALLMENT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

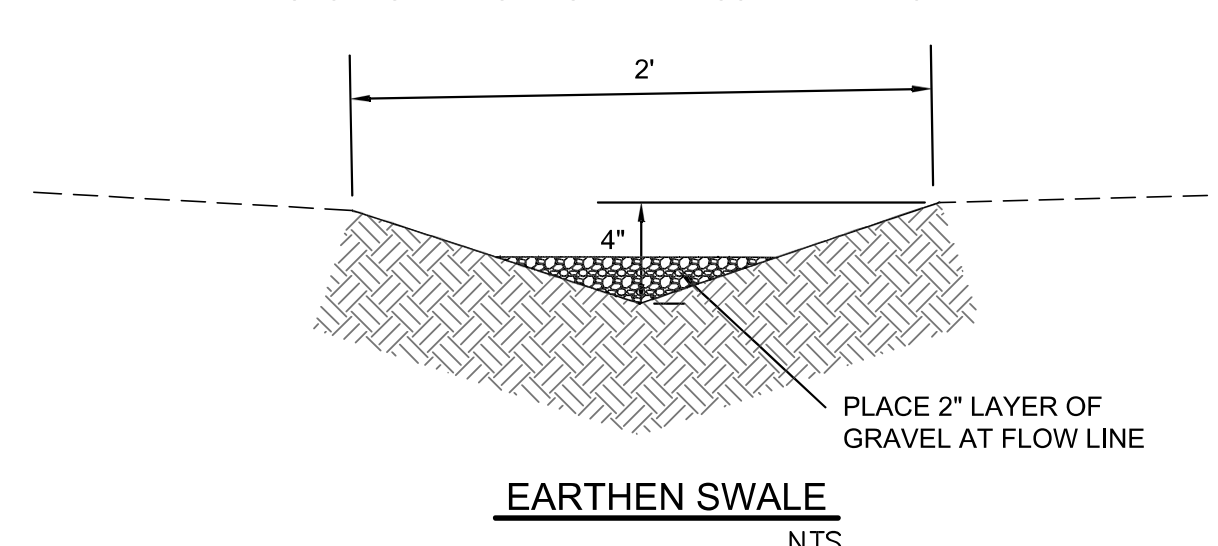
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

**LEGEND**

- XXXX--- EXISTING CONTOUR
- - - - - EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- +XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED RETAINING WALL
- PROPOSED ELEVATED DECK ON NEW PILING
- PROPOSED NEW ADDITION



CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



**EARTHEN SWALE**  
NTS

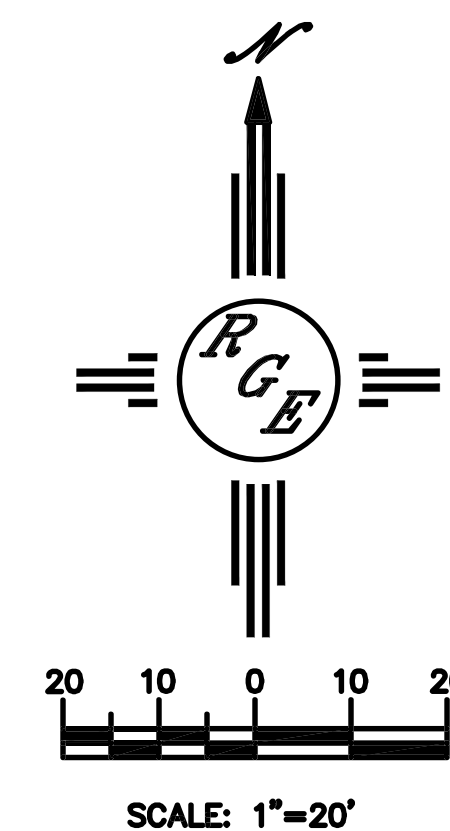
**CAUTION:**

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

"AS-BUILT"



12/12/2022 DATE



ENGINEER'S SEAL	<b>LOT 17, BLOCK 33 FOUR HILLS VILLAGE 1328 WAGON TRAIN DR</b>	DRAWN BY DEM
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522		DATE 11-5-21
	<b>GRADING AND DRAINAGE PLAN</b>	1328 WAGON TRAIN DR. DWG
	<b>Rio Grande Engineering</b>	SHEET # <b>C1</b>
DAVID SOULE P.E. #14522	RD BOX 53304 ALBUQUERQUE, NM 87199 (505) 321-8099	JOB #