

# 50' PUBLIC DRAINAGE EASEMENT

A 50' PUBLIC DRAINAGE EASEMENT SITUATE WITHIN TRACT 2-A, JUAN TABO HILLS UNIT 1, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 22, 2005, IN BOOK 2005C, PAGE 406.

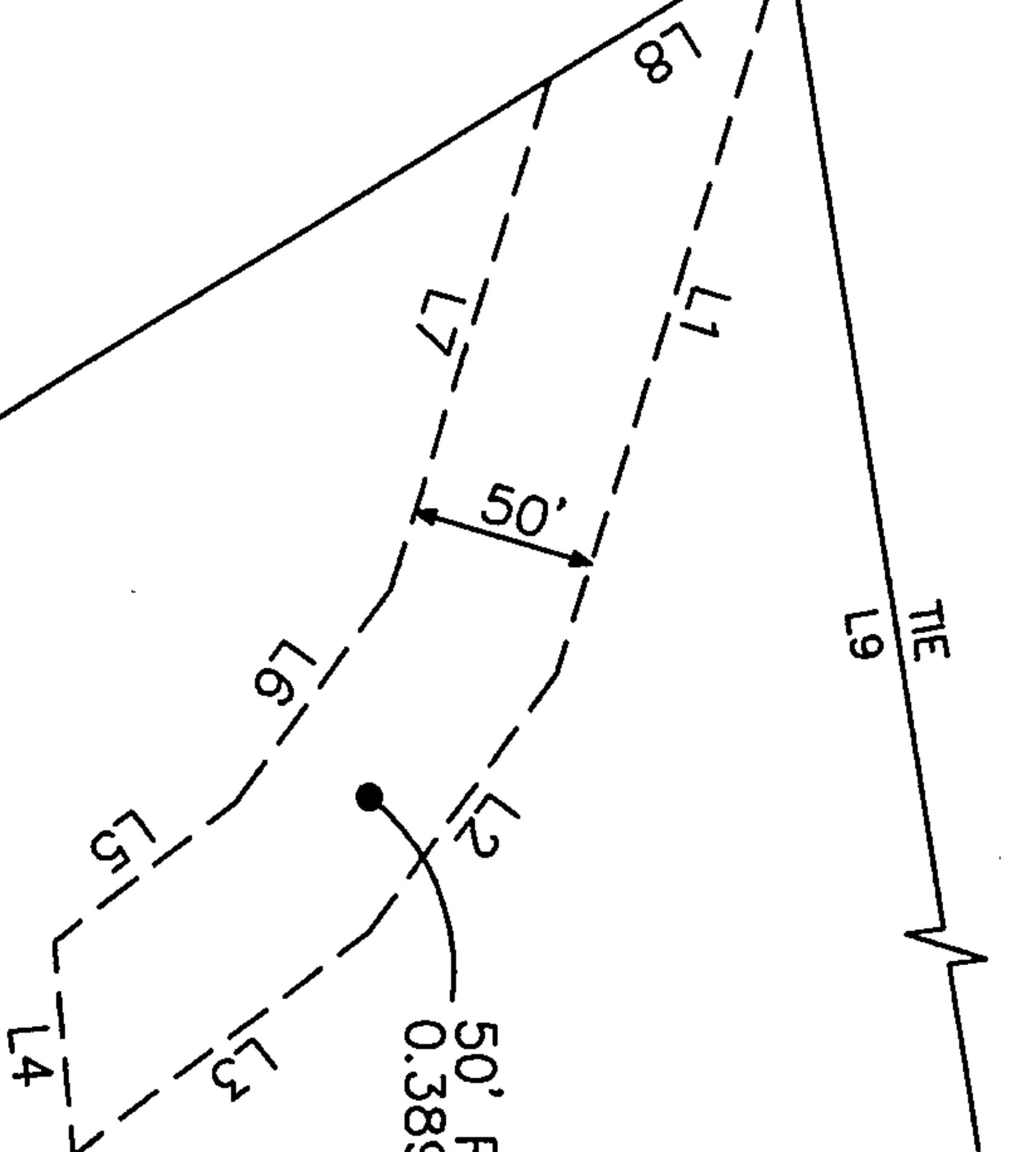
TRACT 1-C  
JUAN TABO HILLS  
UNIT 1

TRACT 2-A  
JUAN TABO HILLS  
UNIT 1

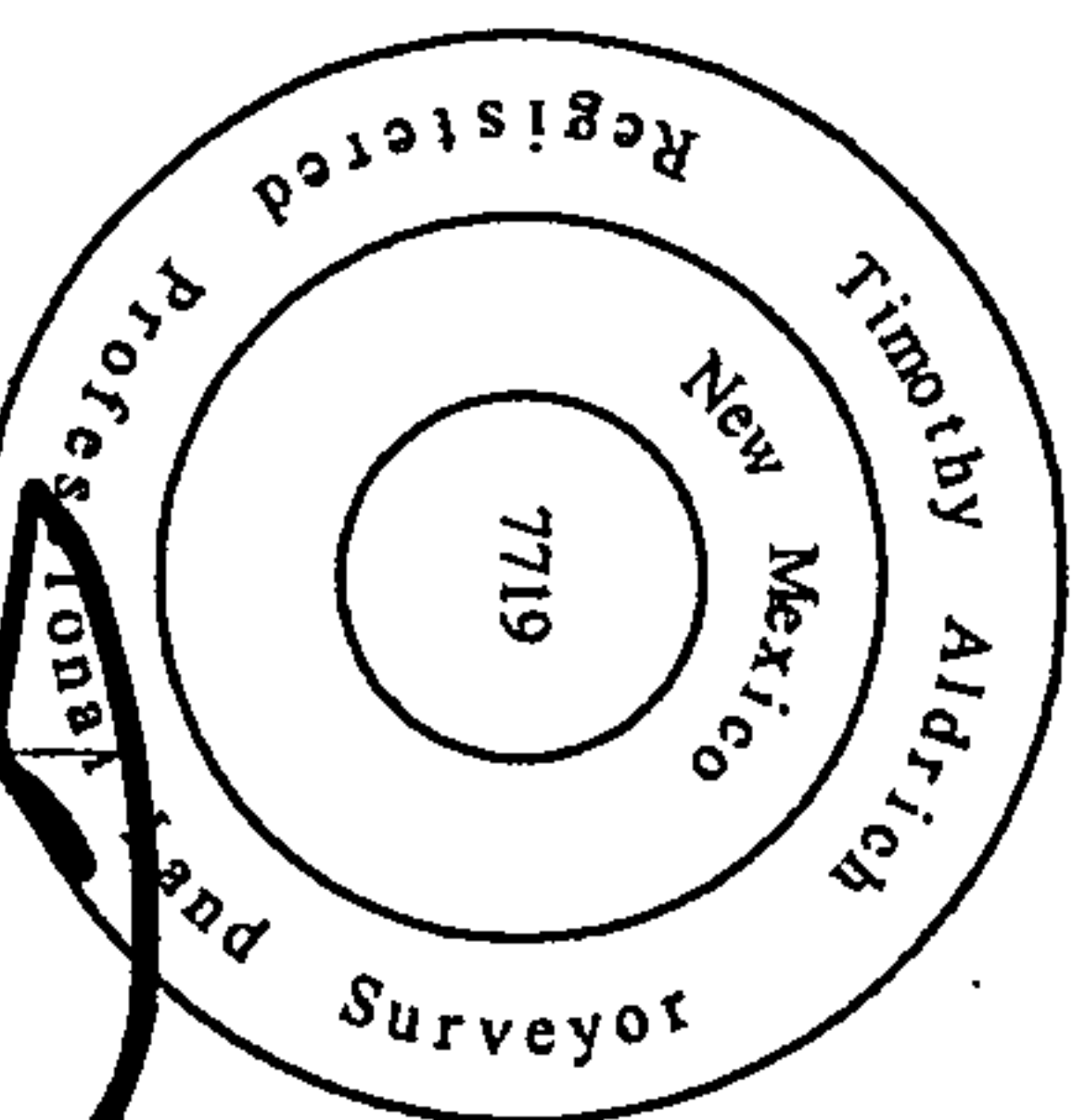
LINE	BEARING	DISTANCE
L1	S 72°53'02" E	211.42'
L2	S 54°00'53" E	86.73'
L3	S 37°41'13" E	101.31'
L4	S 84°47'59" W	59.28'
L5	N 37°41'13" W	62.30'
L6	N 54°00'53" W	71.24'
L7	N 72°53'02" W	145.97'
L8	N 31°41'51" W	75.93'
L9	N 80°58'40" E	2593.43'
L10	N 31°41'51" W	233.29'

AGRS MON  
"5-M22"

TRACT 1-C  
JUAN TABO HILLS  
UNIT 1



0'  
100'  
SCALE: 1" = 100'



12-10-2013

TRACT 1-C  
JUAN TABO HILLS  
UNIT 1

EXHIBIT "A"

ALDRICH LAND  
SURVEYING  
P.O. BOX 30701, ALBU., N.M. 87180  
505-884-1890

**PERMANENT EASEMENT**

Grant of Permanent Easement, between ITH LLC ("Grantor"),  
whose address is P.O. Box 1443 Corrales, NM 87048 and the City of  
Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293,  
Albuquerque, NM, 87103.

Subject to existing rights of record, Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the ~~construction, installation,~~ maintenance, repair, modification, replacement and operation of drainage, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CITY OF ALBUQUERQUE:

GRANTOR: \_\_\_\_\_

By: \_\_\_\_\_

By [signature]: \_\_\_\_\_

Bryan Wolfe, City Engineer

Name [print]: \_\_\_\_\_

Date: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

County Clerk's Recording Label

**GRANTOR'S NOTARY**

STATE OF \_\_\_\_\_ )  
 ) ss  
COUNTY OF \_\_\_\_\_ )

This instrument was acknowledged before me on \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,  
by \_\_\_\_\_ (name), \_\_\_\_\_ (title)  
of \_\_\_\_\_ (entity), a \_\_\_\_\_ (i.e. a  
New Mexico) corporation, on behalf of the corporation.

(SEAL)

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

**(EXHIBIT "A" ATTACHED)**



**TERMINATION AND RELEASE OF PUBLIC DRAINAGE EASEMENT**

THIS TERMINATION AND RELEASE OF PUBLIC DRAINAGE EASEMENT is made and entered into as of the \_\_\_\_\_ day of \_\_\_\_\_, 2011, by the City of Albuquerque, (the "City").

WHEREAS, \_\_\_\_\_, a New Mexico Corporation, as Grantor, entered into a Public Drainage Easement dated \_\_\_\_\_, (the "Easement"), with the City as Grantee, which Easement was recorded \_\_\_\_\_, in the office of the County Clerk of Bernalillo County, New Mexico, in Book \_\_\_\_\_, Page \_\_\_\_\_ thru \_\_\_\_\_; as Document No. \_\_\_\_\_; and

WHEREAS, the City has determined that the Easement is no longer required.

THEREFORE, City terminates the Easement and hereby releases and discharges the Property described in the grant of Easement:

IN WITNESS WHEREOF, the undersigned has executed this Termination and Release of Public Drainage Easement as of the day and year first above written.  
CITY OF ALBUQUERQUE  
a municipal corporation

By: \_\_\_\_\_  
Richard Dourte, City Engineer      Date \_\_\_\_\_

STATE OF NEW MEXICO    )  
  ) ss  
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on \_\_\_\_\_, 2012, by Richard Dourte, City Engineer of the City of Albuquerque, a New Mexico municipal corporation on behalf of said corporation.

My Commission Expires: \_\_\_\_\_  
Notary Public

# CITY OF ALBUQUERQUE



October 17, 2012

Diane Hoelzer, P.E.  
Mark Goodwin & Associates, PA  
P.O. Box 90606  
Albuquerque, NM 87199

**Re: Juan Tabo Hills Unit 3B Open Space Grading and Drainage Plan  
Engineer's Stamp dated 9-20-12 (M22/DD017)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 9-21-12, the above referenced plan is approved for Preliminary Plat action by the DRB and Grading Permit.

A Floodplain Development Permit, through this office, will be required for any grading or construction in a floodplain.

Since this plan proposes grading on City of Albuquerque Open Space property, approval from the Open Space Division is required.

Albuquerque

If you have any question, please contact me at 924-3986.

Sincerely,

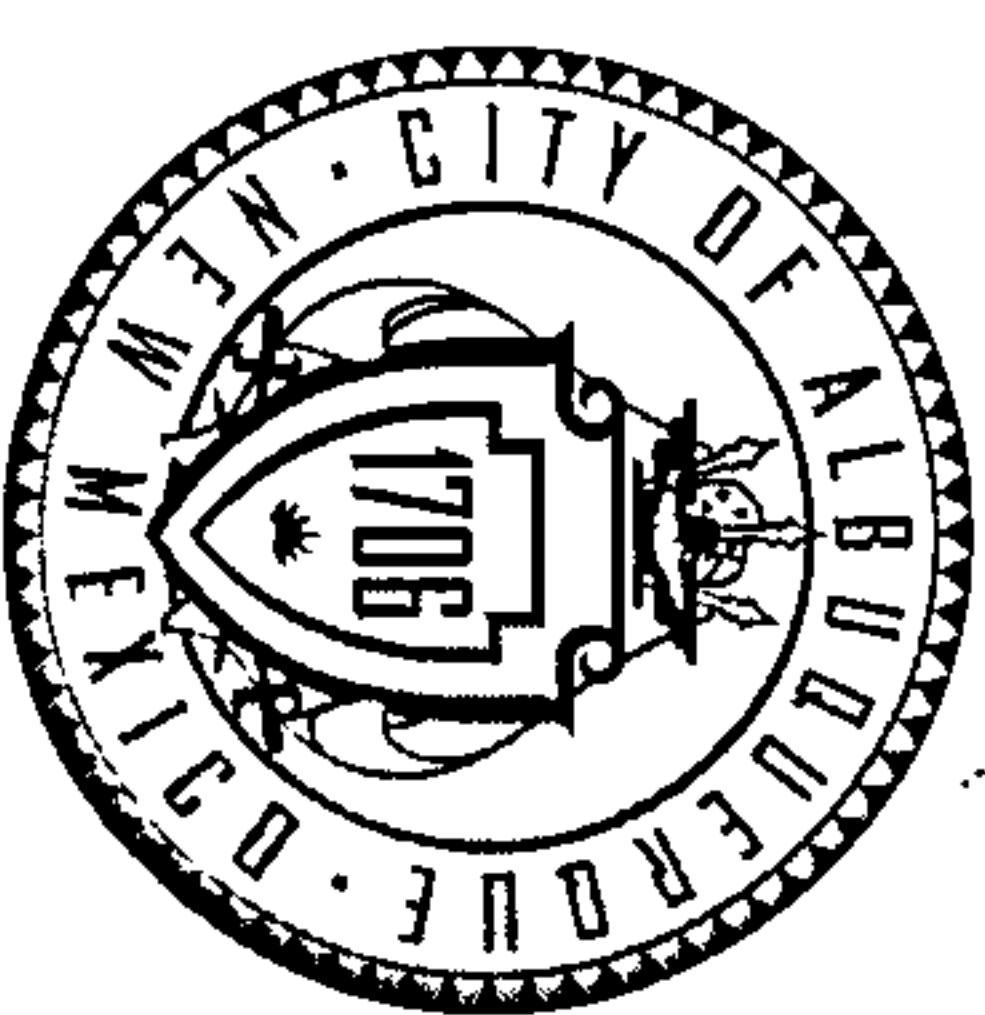
Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Copy: e-mail

# CITY OF ALBUQUERQUE



May 20, 2013

Diane Hoelzer, P.E.  
Mark Goodwin & Associates, PA  
P.O. Box 90606  
Albuquerque, NM 87199

Re: **Juan Tabo Hills Unit 3A**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date 4-3-13 (M22/D015)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 4-29-13, the above referenced plan is approved for Grading Permit. Tract 1-C-2 is not part of this submittal. A letter of agreement from open space is required to grade in this area.

PO Box 1293

This is the plan to certify for Release of Financial Guarantee (ROFG) and Building Permit. At the time of ROFG, the effectiveness of the inlets to remove stormwater from the street should not be reduced by the use of SWPPP controls.

Albuquerque

If you have any question, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

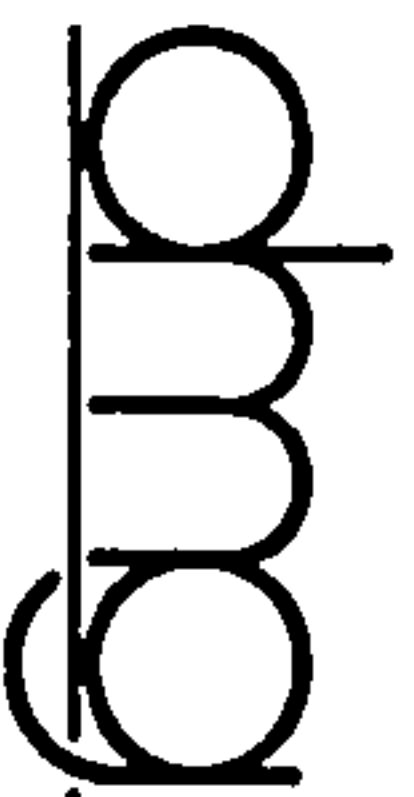
Curtis A. Cherne  
Principal Engineer, Planning Dept.  
Development and Review Services

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

RR/CC

Copy: e-mail



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~  
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

April 26, 2013

Mr. Curtis Cherne  
City Hydrology  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

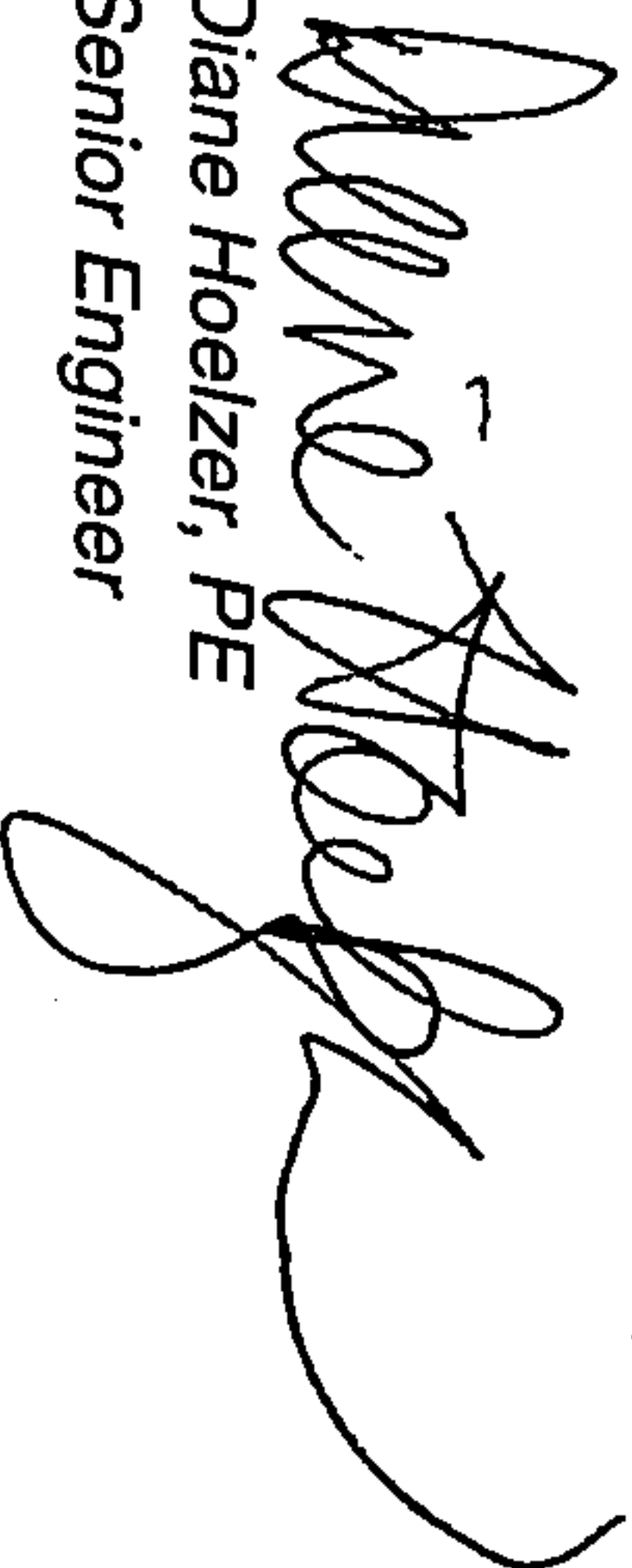
Re: Juan Tabo Hills Unit 3A Grading and Drainage Plan  
Revised Engineers stamp date 4-3-13 (M22/D017)

Dear Mr. Cherne:

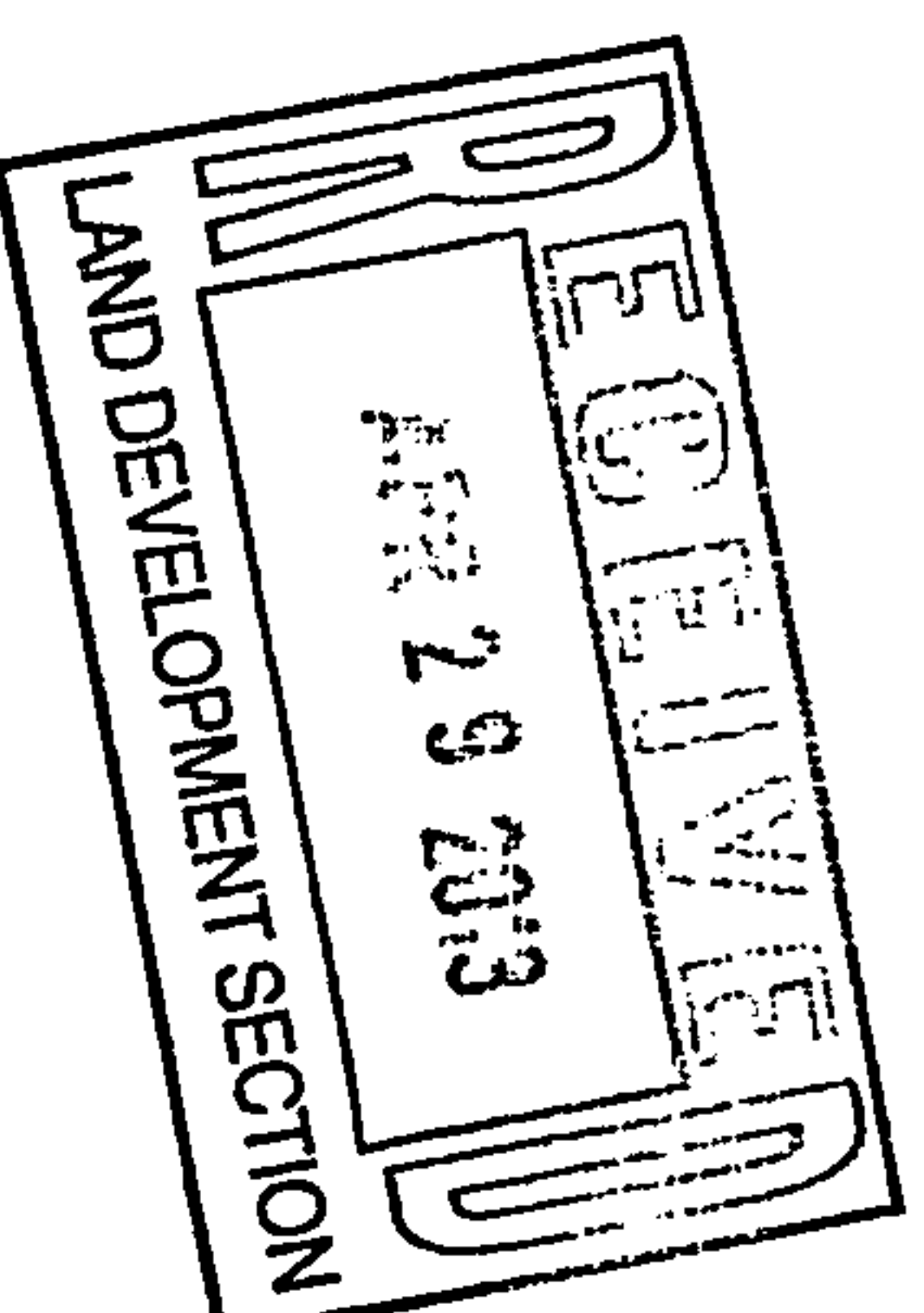
The only revision to the previously approved plan was to reduce the number of retaining walls along the east property line from 4 to 3 as detailed on sheet 2 in the back yards of lots

If you have any further questions, please contact me.

Sincerely,  
MARK GOODWIN & ASSOCIATES, PA

  
Diane Hoelzer, PE  
Senior Engineer

DLH/dlh





(Rev. 12/05)

M22D015

ZONE MAP/DRG. FILE M-22A-D017  
WORK ORDER#: 756186

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CONTACT: Diane Hoelzer, PE  
PHONE: 828-2200  
ZIP CODE: 87199

CONTACT: Scott Grady  
PHONE: 892-5533  
ZIP CODE: 87048

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTACT: Tim Aldrich  
PHONE: 328-3988  
ZIP CODE: 87190

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

ASIA/FINANCIAL GUARANTEE RELEASE  
PRELIMINARY PLAT APPROVAL(AMENDED)  
S. DEV. PLAN FOR SUB'D APPROVAL  
S. DEV. FOR BLDG. PERMIT APPROVAL  
SECTOR PLAN APPROVAL  
FINAL PLAT APPROVAL  
FOUNDATION PERMIT APPROVAL  
BUILDING PERMIT APPROVAL  
CERTIFICATE OF OCCUPANCY (PERM)  
CERTIFICATE OF OCCUPANCY (TEMP)  
GRADING PERMIT APPROVAL  
PAVING PERMIT APPROVAL

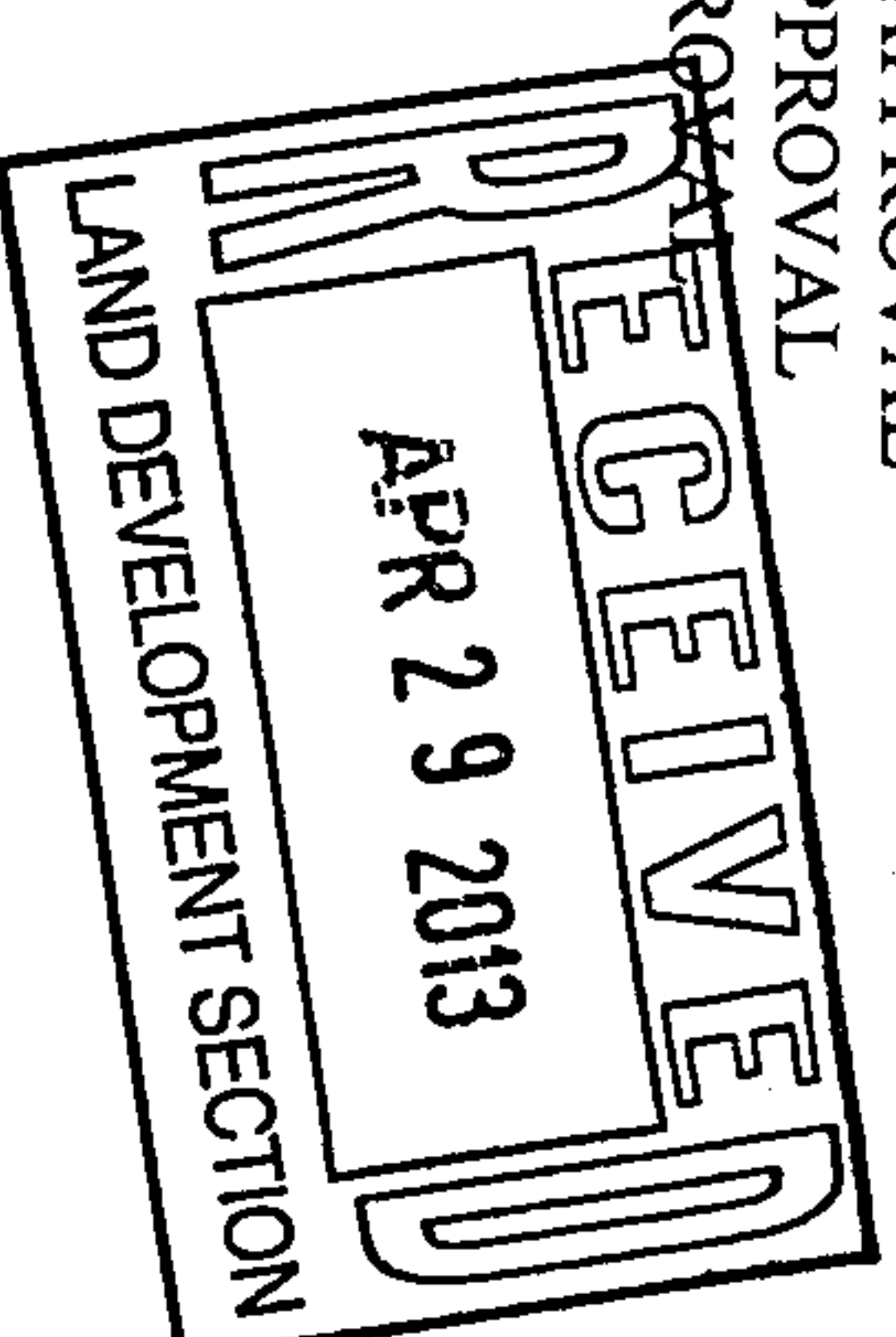
APR 23 2013

LAND DEVELOPMENT SE

DATE: April 26, 2013

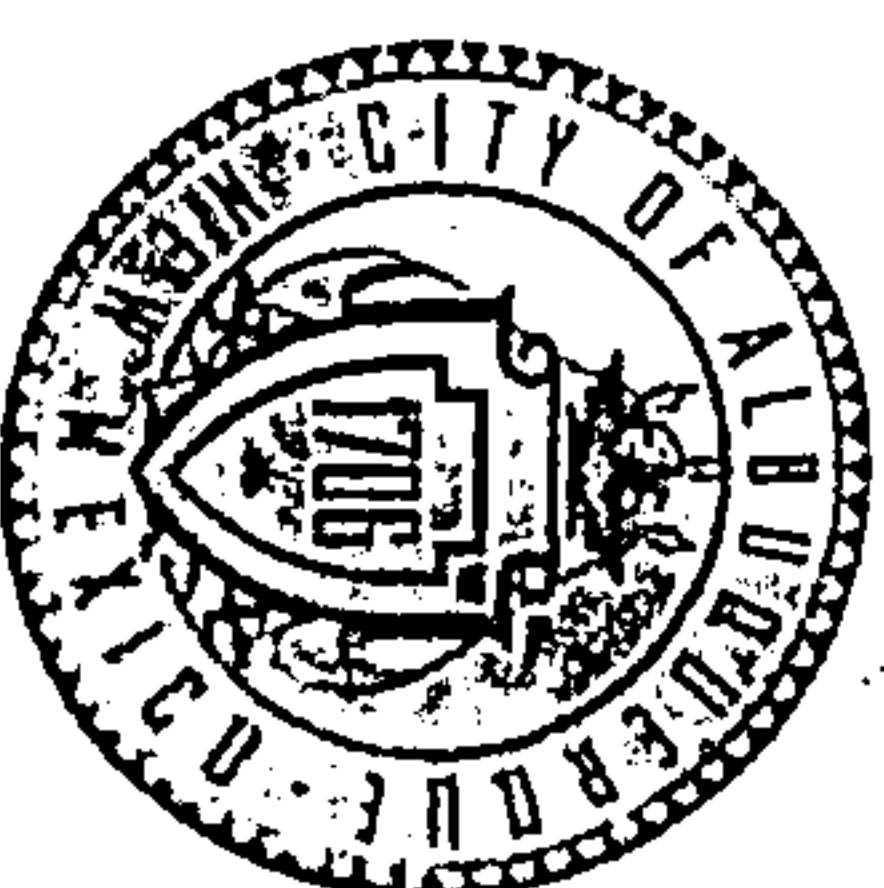
ats shall be accompanied by a drainage submittal. The degree of drainage detail. One or more of the fo

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



September 13, 2012

Diane Hoelzer, P.E.  
Mark Goodwin & Associates, PA  
P.O. Box 90606  
Albuquerque, NM 87199

Re: **Juan Tabo Hills Unit 3A/3B Open Space Grading and Drainage Plan**  
**Engineer's Stamp dated 8-22-12 (M22/D017)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 8-28-12, the above referenced plan is approved for Preliminary Plat action by the DRB, but cannot be approved for Grading Permit, Work Order or Final Plat until the following comments are addressed:

- Since this area is not detailed in the drainage report for Juan Tabo Hills Unit 3A, 3B or Volterra Village, most DPM requirements for a grading and drainage plan are applicable. Some are discussed below.
  - Provide a flow for the culvert under the trail, with supporting calculations.
  - Provide inverts and a size for the culvert.
  - Show/discuss the current flood plain.
  - A Floodplain Development Permit, through this office, will be required for any grading or construction in a floodplain.
  - If you prefer, the drainage report for Juan Tabo Hills Unit 3A could be updated to include this area.
- NM 87103

Albuquerque

PO Box 1293

[www.cabq.gov](http://www.cabq.gov)

Since this plan proposes grading on City of Albuquerque Open Space property, approval from the Open Space Division is required.

If you have any question, please contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

Copy: e-mail

RECEIVED  
SEP 21 2012



BETH OCEOLA RD SE  
OZARK ST SE

JOINS PANEL 0359

ZONE AO 362.000 M  
(DEPTH 1')

PARKSIDE PL SE

City of Albuquerque  
350002

OCALA ST SE  
GLACIER BAY ST SE  
MEDICINE BOW PL SE

CANYONLANDS PL SE  
BRYCE CANYON ST SE  
JOSHUA TREE PL SE  
ISLE ROYALE PL SE

WIND RIVER ST SE  
ISLE ROYALE RD SE  
KINGS CANYON RD SE  
GLACIER BAY ST SE  
JEWEL CAVE RD SE  
KINGS CANYON PL SE

MUSTANG TRL SE  
MAVERICK LN SE  
COLT LN SE  
WILD HORSE TRL SE  
BUCKING BRONCO TRL SE

ZONE X

JUAN TABO BLVD SE

TRADING POST TRL SE

RAM TRL SE

BUCK TRL SE

DOE LN SE

COUGAR LN SE

BADGER LN SE

HORSESHOE TRL SE

TOMLINSON DR SE

PIRU BLVD SE

YORBA LINDA DR SE

ELYSE PL SE

NEWPORT CT SE

27

26

ZONE AO  
(DEPTH 1')

BEAVER TRL SE

DOE LN SE

ZONE X

BUCK TRL SE

RAM TRL SE

TRADING POST TRL SE

JUAN TABO BLVD SE

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TAVE SE  
JST  
NST  
LST  
FST

MUSTANG TRL SE  
MAVERICK LN SE  
COLT LN SE  
WILD HORSE TRL SE  
BUCKING BRONCO TRL SE

BEAVER TRL SE  
DOE LN SE  
COUGAR LN SE  
BADGER LN SE  
HORSESHOE TRL SE

TOMLINSON DR SE  
PIRU BLVD SE  
YORBA LINDA DR SE  
ELYSE PL SE  
NEWPORT CT SE

VIA P  
KEEL  
SUZ LN

49

40

City of Albuquerque  
350002

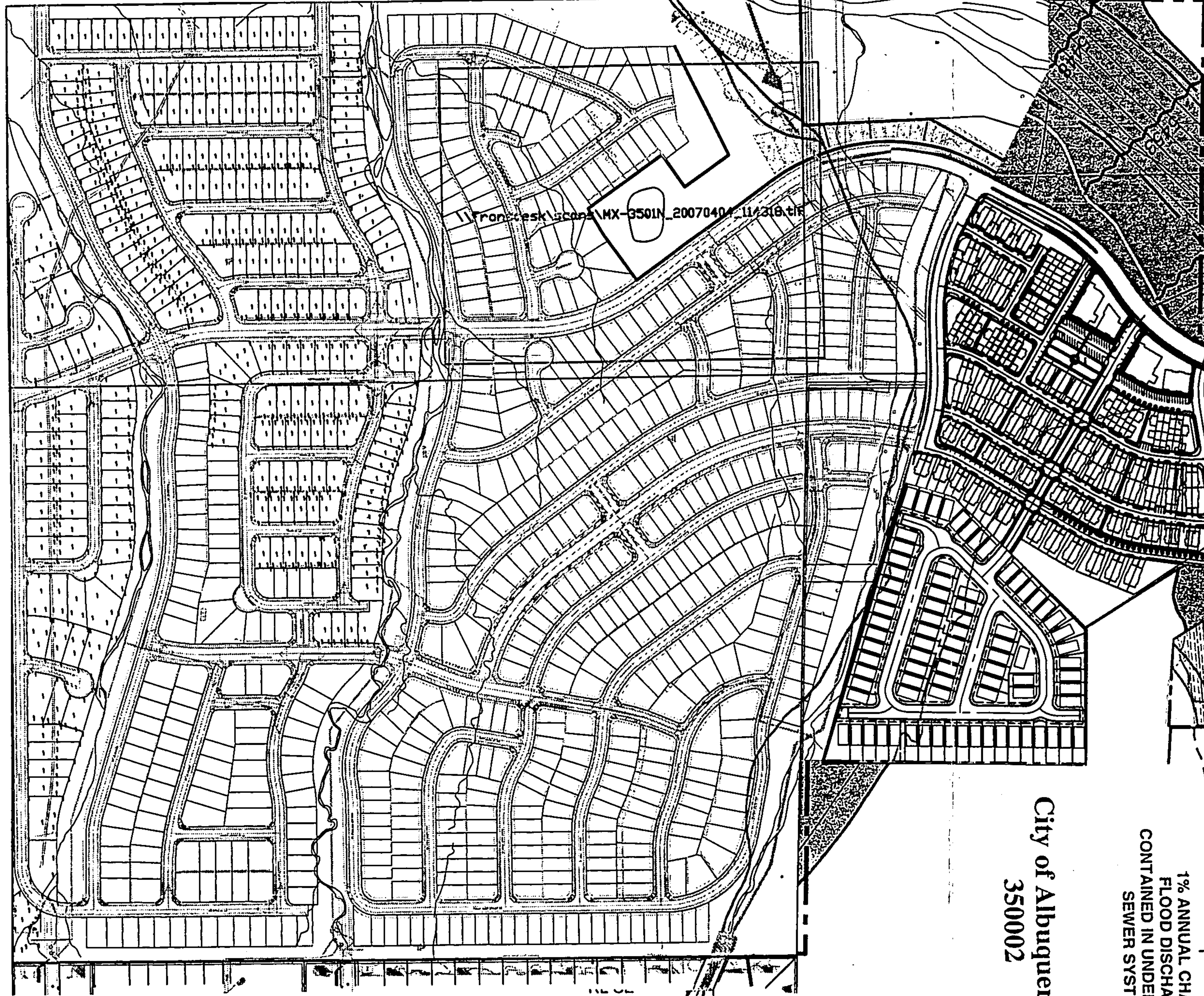
1% ANNUAL CHANCE  
FLOOD DISCHARGE  
CONTAINED IN UNDERGROUND  
SEWER SYSTEM

34

LIMIT OF  
DETAILED STUDY

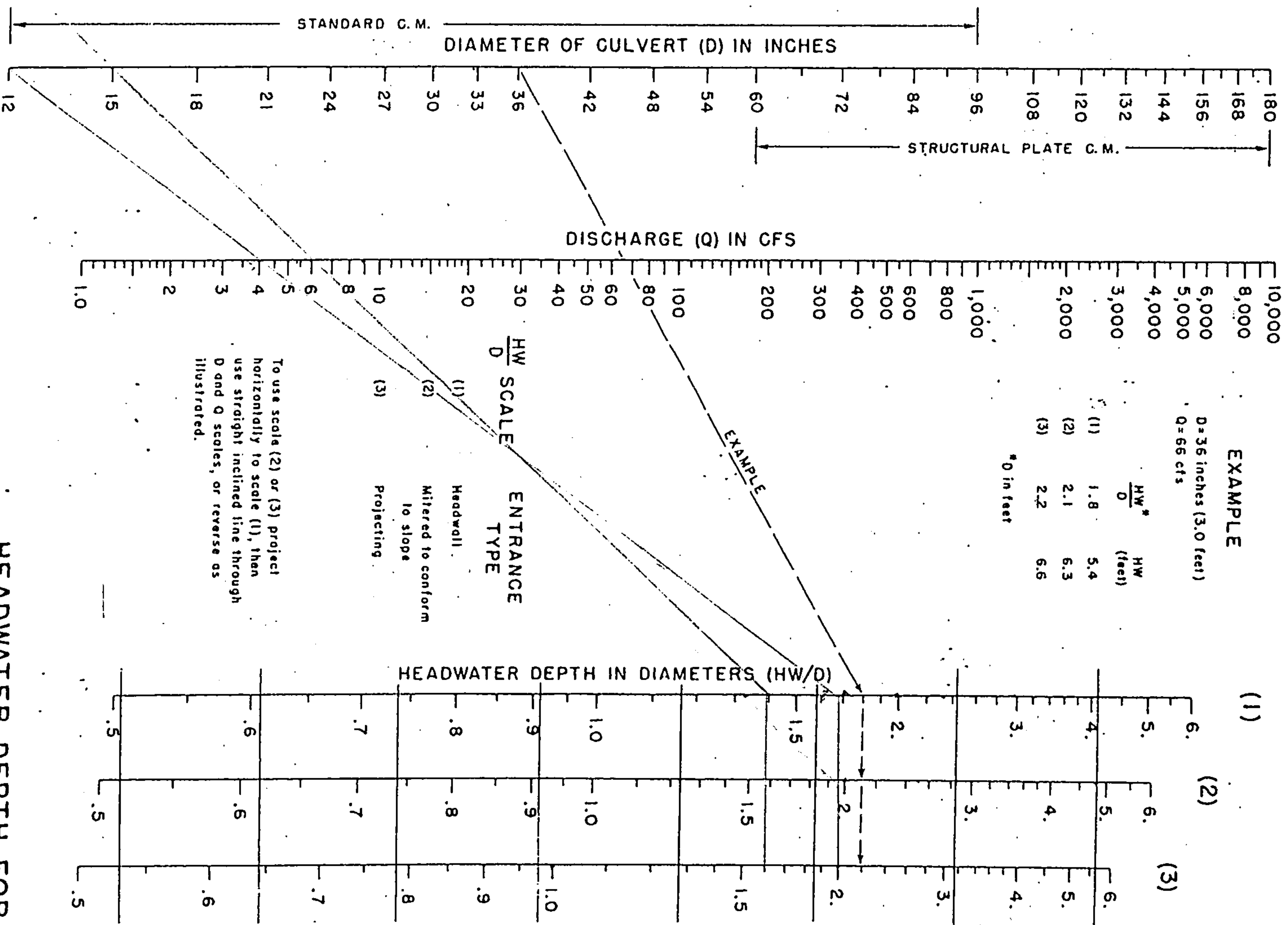
BRANDING IRON DR

NATIONAL FLOOD INSURANCE PROGRAM





# CHART 5



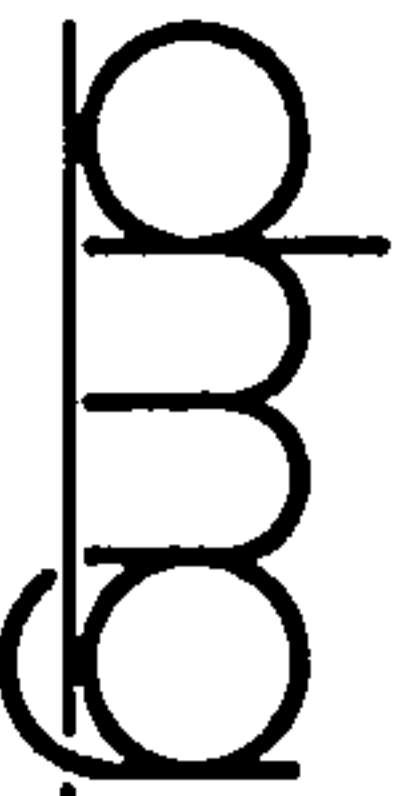
BUREAU OF PUBLIC ROADS JAN. 1963

12" C.M.P. = 4 cfs (2) = 8 cfs + 6 = 14 cfs  
 15" C.M.P. = 6 cfs 5-25

HEADWATER DEPTH FOR  
 C.M. PIPE CULVERTS  
 WITH INLET CONTROL

RECEIVED  
 SEP 21 2012





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~  
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

September 20, 2012

Mr. Curtis Cherne  
City Hydrology  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Juan Tabo Hills Unit 3A/3B Open Space Grading and Drainage Plan  
Revised Engineers stamp date 9-20-12 (M22/D017)

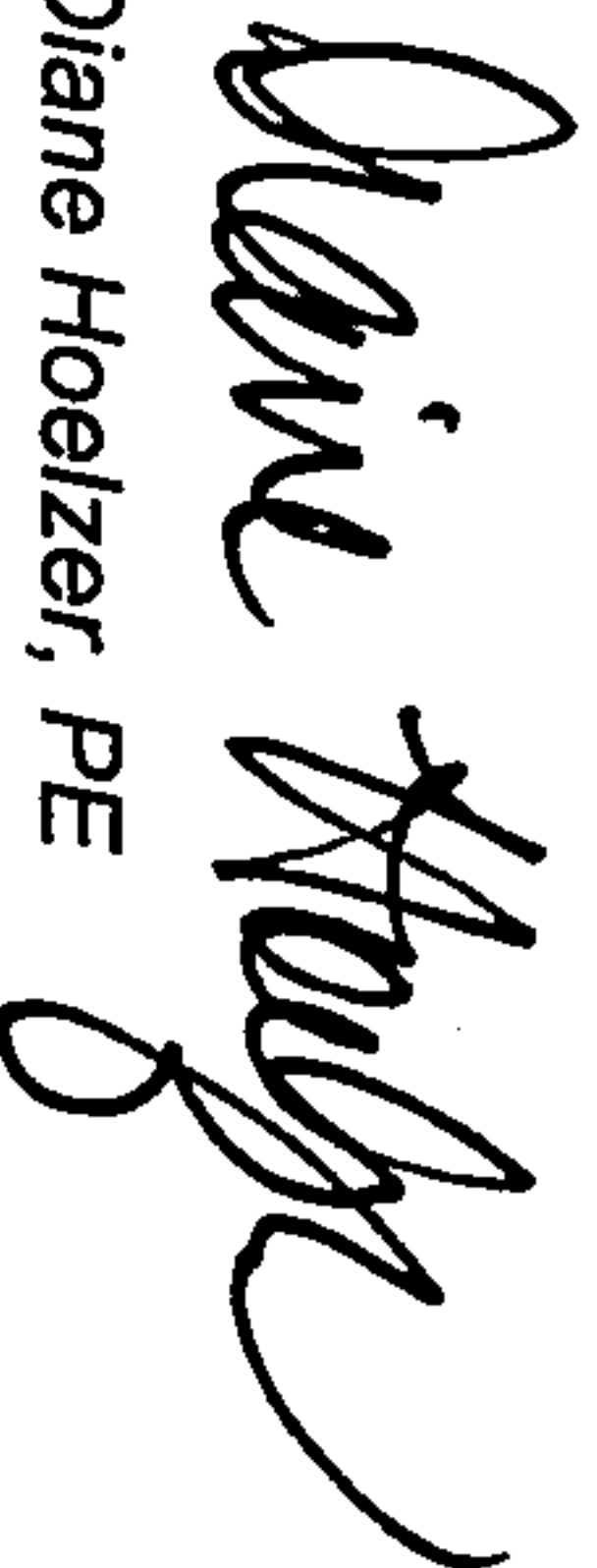
Dear Mr. Cherne:

In response to the written comments received at the September 13<sup>th</sup>, 2012:

1. OK,
2. Supplemental information attached with open space sub basin boundary, ahymo printout and flow calculations for the culvert under the trail in open space,
3. Invert and size of pipes in provided on the revised plan,
4. Discussion on the current floodplain can be found in Juan Tabo Hills Unit 3B (M22/D016B) file. A FEMA exhibit is included with this letter for information.
5. OK, a Floodplain Development permit will be submitted prior to final plat for JTH Unit 3A,
6. OK.

If you have any further questions, please contact me.

Sincerely,  
MARK GOODWIN & ASSOCIATES, PA

  
Diane Hoelzer, PE  
Senior Engineer

DLH/dlh

RECEIVED  
SEP 21 2012





offsite OS  
(+1.49cfs)

RECEIVED  
SEP 21 2012



2.4333 2.4357 2.4380 2.4403 2.4426 2.4449 2.4472  
2.4494 2.4516 2.4538 2.4560 2.4582 2.4603 2.4624  
2.4646 2.4667 2.4687 2.4708 2.4729 2.4749 2.4769  
2.4789 2.4809 2.4829 2.4849 2.4868 2.4887 2.4907  
2.4926 2.4945 2.4964 2.4983 2.5001 2.5020 2.5038  
2.5056 2.5075 2.5093 2.5111 2.5128 2.5146 2.5164  
2.5181 2.5199 2.5216 2.5233 2.5251 2.5268 2.5285  
2.5301 2.5318 2.5335 2.5352 2.5368 2.5384 2.5401  
2.5417 2.5433 2.5449 2.5465 2.5481 2.5497

\*\*\*\*\*

\*\*\*\*\*

\*S OPEN SPACE CULVERT SIZING

\*\*\*\*\*

\*\*\* SUB BASIN TRACT 1-C-1 AND 1-C-2

\*\*\* AREA 200,321 SF = 0.4.599 ACRES

\*\*\*\*\*

COMPUTE NM HYD

ID=1 HYD NO=100.0 AREA= 0.007185 SQ MI  
PER A=0 PER B=100 PER C=0 PER D=0  
TP=-.1333 HR MASS RAIN=-1

K = .132811HR TP = .133300HR K/TP RATIO = .996335 SHAPE CONSTANT, N = 3.543441  
UNIT PEAK = 17.436 CFS UNIT VOLUME = .9995 B = 323.49 P60 = 2.0700  
AREA = .007185 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 100.00

RUNOFF VOLUME = .87309 INCHES = .3346 ACRE-FEET  
PEAK DISCHARGE RATE = 11.49 CFS AT 1.499 HOURS BASIN AREA = .0072 SQ. MI.

\*\*\*\*\*

\*\*\* SUB BASIN VOLTERRA AREA

\*\*\* AREA 31,723 SF = 0.7282 ACRES

\*\*\*\*\*

COMPUTE NM HYD

ID=1 HYD NO=100.0 V AREA= 0.001138 SQ MI  
PER A=0 PER B=100 PER C=0 PER D=0  
TP=-.1333 HR MASS RAIN=-1

K = .132811HR TP = .133300HR K/TP RATIO = .996335 SHAPE CONSTANT, N = 3.543441  
UNIT PEAK = 2.7616 CFS UNIT VOLUME = .9953 B = 323.49 P60 = 2.0700  
AREA = .001138 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033300

PRINT HYD ID=1 CODE=1

HYDROGRAPH FROM AREA 100.0

RUNOFF VOLUME = .87309 INCHES = .0530 ACRE-FEET  
PEAK DISCHARGE RATE = 1.83 CFS AT 1.499 HOURS BASIN AREA = .0011 SQ. MI.

RECEIVED  
SEP 21 2012



COMMAND	IDENTIFICATION	NO.	NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
*****										
*S OPEN SPACE CULVERT SIZING										
COMPUTE NM HYD	100.00	-	1	.00719	11.49	.335	.87309	1.499	2.500 PER IMP=	.00
COMPUTE NM HYD	100.V	-	1	.00114	1.83	.053	.87309	1.499	2.510 PER IMP=	.00
FINISH										

60633  
+1.49

AHYMO PROGRAM (AHYMO\_97) -  
RUN DATE (MON/DAY/YR) = 09/06/2012  
START TIME (HR:MIN:SEC) = 12:32:31  
INPUT FILE = JTH-OS.DAT  
USER NO. = AHYMO-I-9702dGoodwin-AH  
Version: 1997.02d

JUAN TABO HILLS - OPEN SPACE 1-C-1 & 1-C-2  
100 YEAR 6 HOUR STORM EVENT

FILE: JTH\_OS.DAT  
LAST REVISED: 9-6-12  
NOAA ATLAS 2, VOL IV ZONE=H 13  
TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6  
LOCATION NEW MEXICO

State of New Mexico soil infiltration values (LAND FACTORS) used for computations.  
Land Treatment Initial Abstr.(in) Unif. Infiltr.(in/hour)  
A 0.65 1.67  
B 0.50 1.25  
C 0.35 0.83  
D 0.10 0.04

RAINFALL  
TYPE=1 RAIN QUARTER=0.0  
RAIN ONE=2.07 IN RAIN SIX=2.55 IN  
RAIN DAY=3.2 IN DT=0.0333 HRS

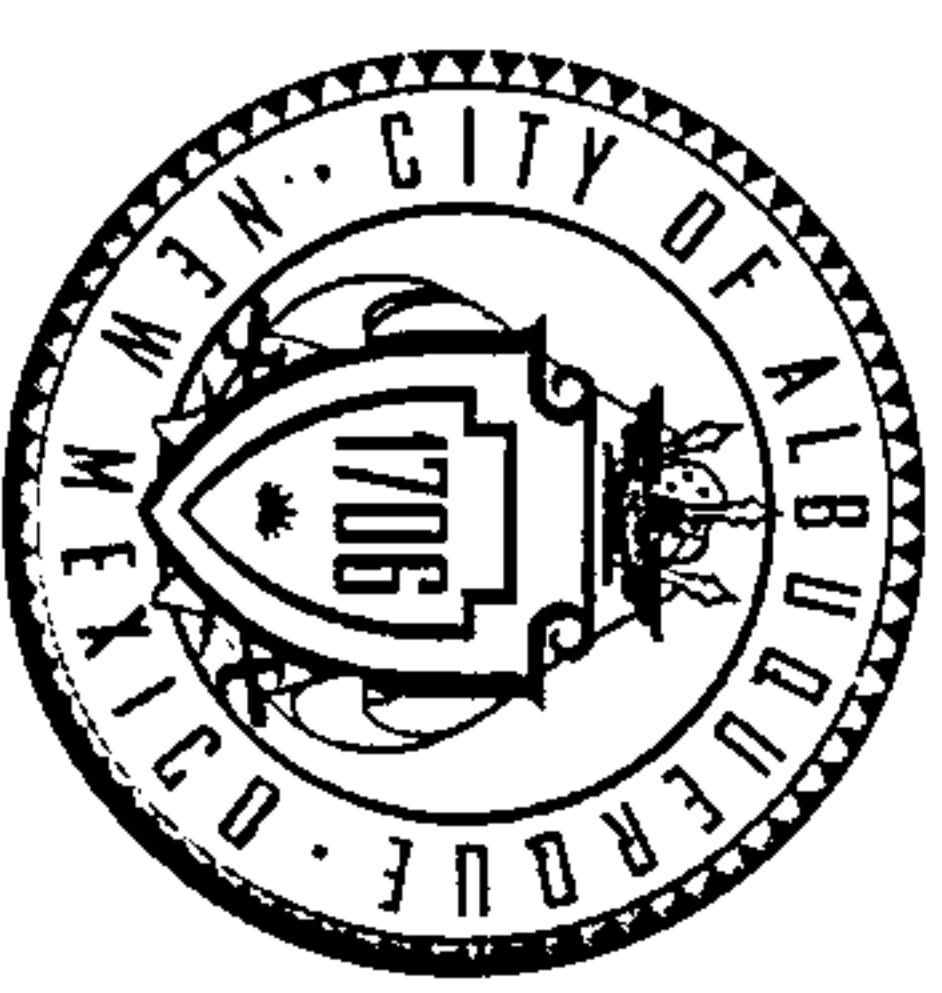
COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.  
DT = .033300 HOURS  
END TIME = 5.994000 HOURS

.0000	.0031	.0062	.0094	.0126	.0160	.0194
.0229	.0264	.0301	.0338	.0377	.0416	.0456
.0498	.0541	.0585	.0630	.0677	.0725	.0776
.0827	.0881	.0937	.0996	.1056	.1120	.1186
.1256	.1330	.1407	.1465	.1526	.1591	.1726
.2035	.2512	.3198	.4136	.5369	.6943	.8903
1.1297	1.3596	1.4539	1.5333	1.6037	1.6678	1.7268
1.7816	1.8327	1.8806	1.9258	1.9683	2.0085	2.0466
2.0826	2.1168	2.1492	2.1800	2.2093	2.2179	2.2249
2.2315	2.2379	2.2440	2.2499	2.2556	2.2611	2.2665
2.2716	2.2766	2.2815	2.2862	2.2908	2.2953	2.2997
2.3040	2.3082	2.3123	2.3164	2.3203	2.3242	2.3279
2.3317	2.3353	2.3389	2.3424	2.3459	2.3493	2.3527
2.3560	2.3592	2.3624	2.3656	2.3687	2.3718	2.3748
2.3778	2.3808	2.3837	2.3866	2.3894	2.3923	2.3950
2.3978	2.4005	2.4032	2.4058	2.4085	2.4111	2.4136
2.4162	2.4187	2.4212	2.4237	2.4261	2.4285	2.4309

QT = 14.8 cfs  
5.33  
2.71 cfs/hr

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SEP 21 2012

# CITY OF ALBUQUERQUE



September 13, 2012

Diane Hoelzer, P.E.  
Mark Goodwin & Associates, PA  
P.O. Box 90606  
Albuquerque, NM 87199

**Re: Juan Tabo Hills Unit 3A/3B Open Space Grading and Drainage Plan  
Engineer's Stamp dated 8-22-12 (M22/D017)**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 8-28-12, the above referenced plan is approved for Preliminary Plat action by the DRB, but cannot be approved for Grading Permit, Work Order or Final Plat until the following comments are addressed:

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Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

- Since this area is not detailed in the drainage report for Juan Tabo Hills Unit 3A, 3B or Volterra Village, most DPM requirements for a grading and drainage plan are applicable. Some are discussed below.
- Provide a flow for the culvert under the trail, with supporting calculations.
- Provide inverts and a size for the culvert.
- Show/discuss the current flood plain.
- A Floodplain Development Permit, through this office, will be required for any grading or construction in a floodplain.
- If you prefer, the drainage report for Juan Tabo Hills Unit 3A could be updated to include this area.

Since this plan proposes grading on City of Albuquerque Open Space property, approval from the Open Space Division is required.

If you have any question, please contact me at 924-3986.

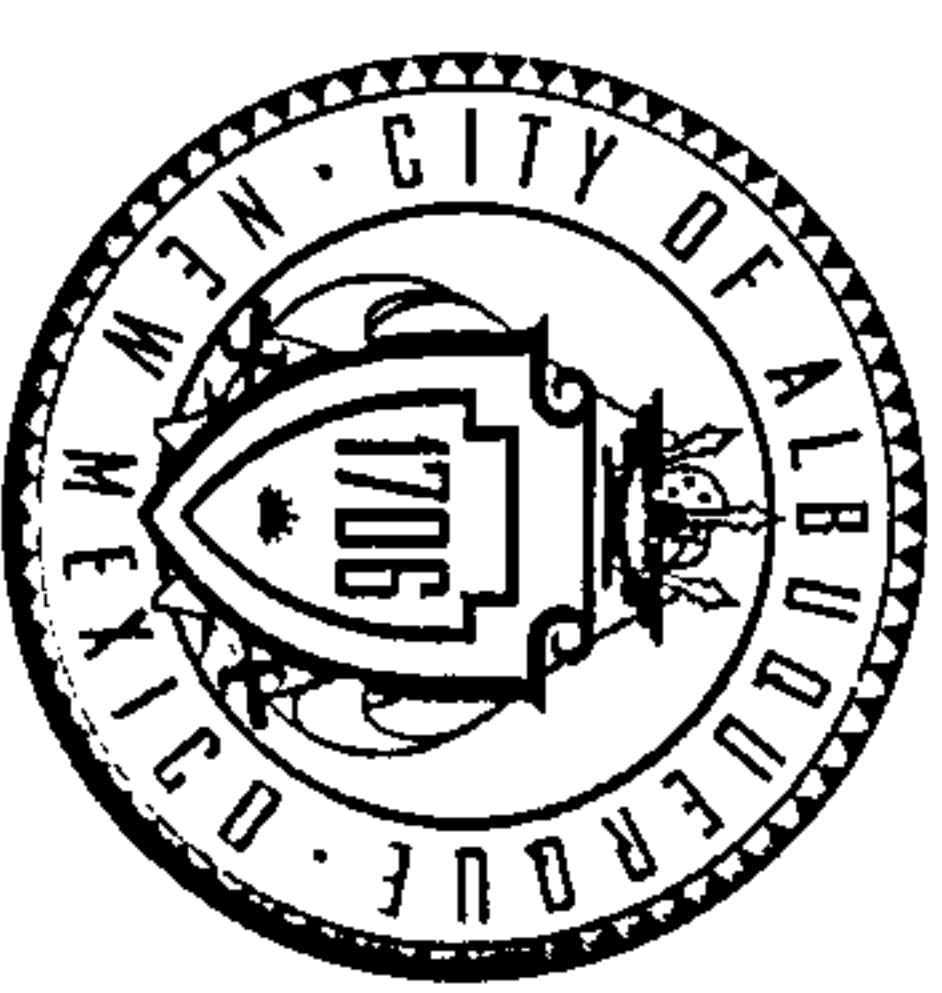
Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

Copy: e-mail



# CITY OF ALBUQUERQUE



RE: JTH G & D Plan for Units 3A, 3B and 1-C-1, 1-C-2 Sheets 1-3

Sheet 1 of 3 - Unit 3A

1. Please include Silt Fence in Legend.
2. PRD-OS defers to Hydrology regarding tie in grades at north boundary of 3A where it meets the south boundary of Tract 1-C-2 Open Space. There is some question as to the elevations of the proposed tie -ins.

Sheet 2 of 3 Tracts 1-C-1 and 1-C-2 Open Space

1. Open space would prefer a broader swale in the middle of the Open Space Tract 1-C-2 rather than the swale shown along the southern boundary of the tract. During our field visit we suggested a tie slope to meet existing grade at the bottom of the current flat . WE DEFER TO HYDROLOGY REGARDING GRADE CHANGE ISSUES AT THIS BOUNDARY BETWEEN THE OPEN SPACE AND UNIT 3A.

2. At the west edge of the existing Open Space knoll, the silt fence delineating the undisturbed land is shown left of the knoll leaving a previously disturbed cut area not regraded at the agreed upon 3:1 slope. PRD-OSD defers to Hydrology as to the manner in which the grades can be adjusted south of the disturbed area to reduce the steepness south of the cut area and at the same time fill the cut to a 3:1 slope to match the existing undisturbed hill. Hydrology has suggested that you can tie the proposed 90 contour to the existing 90 contour near the north side of the Open Space Tract so the proposed contours are similar to the existing contours of the hill.

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3. South of the "Tract C" label and south of the trail location is a swale that is shown crossing the east -west trail and then crossing the trail again north of the east-west trail intersection with the north-south trail. Earlier drawings proposed a valley gutter south of the intersection of the two trails near the Gulfstream cul de sac. If at all possible the swale should be directed to the valley gutter to direct the flows to the west side of the north-south trail which results in water crossing the trail at one location - the valley gutter.

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4. Please adjust the construction road on Tract A to join the trail proposed crossing of Monachos Road to connect rather than offset these two "paths".
5. Please add Silt Fence and Very Very Large Boulders to the Legend.

[www.cabq.gov](http://www.cabq.gov)

6. Please add Large boulders to edge of Gulfstream Drive outside limits of R.O.W. to discourage vehicle entry to the Open Space. The exact minimum size can be determined and agreed to at DRC .

7. Please delete wording as follows from Note 1 of the Grading Notes on this Sheet as follows:  
Silt Fence shall be in place per this Plan prior to any soil disturbance within the City Open Space area.

All rough grading shall remain within the limits defined by this plan unless prior approval is received from either the Design Engineer and or the Open Space Staff Personnel  
**Superintendent or his designee.**

8. Refer to above Comment 2 on Sheet 1 of 3 for 3A.

Sheet 3 of 3 - Unit 3B

1. Please provide detail for erosion dissipater at the Tijeras Arroyo where the 60" storm drain daylights (if detail is available) and show location of dissipater on Plan.



2. Please show Silt fence on Legend.

3. Note 2 of Erosion Control Notes, for clarity, should add second sentence "Refer to Note 7 regarding revegetation requirements."

4. Note 6 of Erosion Control Notes should read "Silt fence shall be in place per this Plan prior to any soil disturbance within the City Open Space. All rough grading and construction of the Concrete Bank Protection shall remain within the limits of the Silt Fence boundary. If additional area is required outside these limits the Design Engineer **and the Open Space Superintendent or his designee** must be notified and approval received from both parties before expanding disturbed area outside defined limits shown hereon".

## Cherne, Curtis

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**From:** Schmader, Matthew F.  
**Sent:** Friday, July 06, 2012 12:46 PM  
**To:** Dumont, Carol S.; Cherne, Curtis  
**Subject:** FW: Next steps

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**From:** Schmader, Matthew F.  
**Sent:** Friday, July 06, 2012 12:46 PM  
**To:** 'Scott Grady'  
**Subject:** Next steps

Greetings Scott,

It was good to have met last Friday to lay out a plan for addressing the list of issues we need to close out. My hope is that the list keeps getting shorter.

I wanted to verify with you that the next thing to expect is an updated draft agreement between JTH LLC and the City, since some of the items on the prior draft are being done and others may not have been included. Is that something you and Mark were going to do next ?

The other item I wanted to bring up is the map sets you gave me. I am not sure if these were intended to be the grading and drainage plans referred to as a needed part our agreement and what will be needed for DRB approval. I got to looking at the maps in detail and they don't seem to meet standards for a grading and drainage plan:

Contour elevations on the existing undisturbed Open Space land are missing

There is a large "hole" in the contours of the existing Open Space (no data at all)

Many of the grading contour elevations do not match existing grades

There are discrepancies in the labels for the map keys, etc

My concern about this is that we need to keep on top of the G&D plans so that what is submitted will pass the DRB; what I don't want to happen is that you and I agree on many principles but then when the other technical engineering submittals are turned in, the extension does not get approved. At that point, it won't matter how much agreement we have. Is this something you can discuss with Mark soon?

Thanks again and I am sure we will be talking more.

Regards,  
Matt