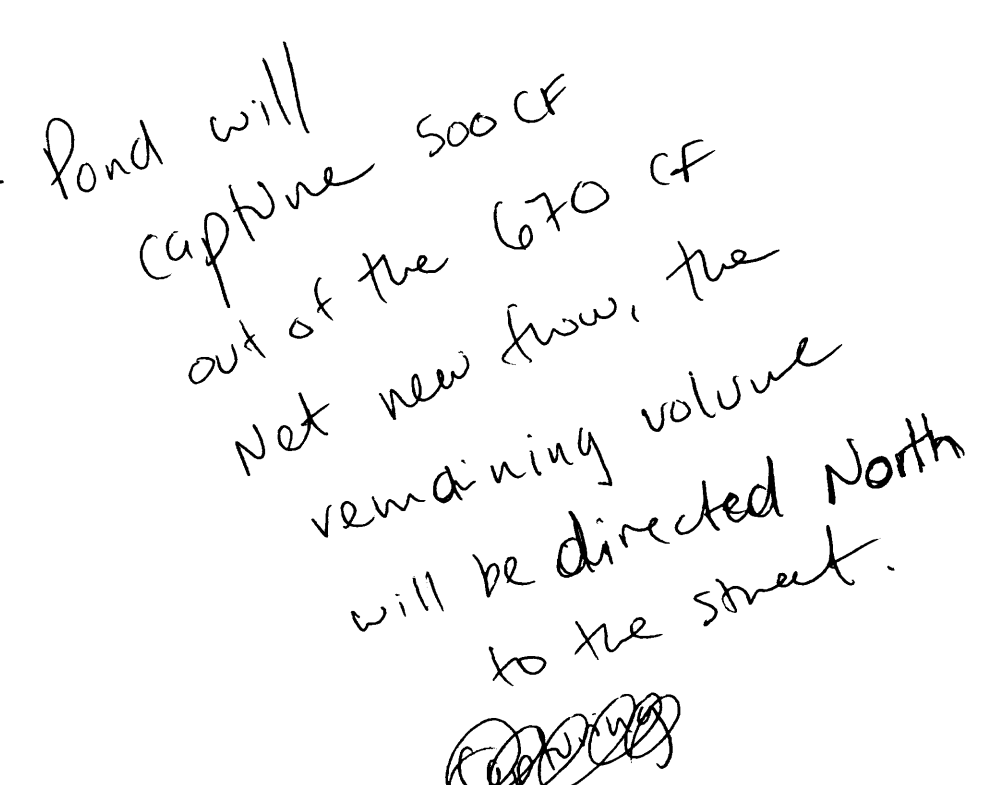
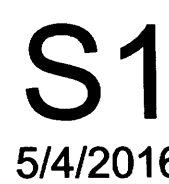


NEW CONSTRUCTION
GRADING AND DRAINAGE



Treatment	
	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, ground cover and infiltration capacity.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert hydrologic). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCSS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Zone		3
Treatment	100-YR. [2-YR., 10-YR.]	A 0.66 [0.00, 0.19]
		B 0.92 [0.06, 0.36]
		C 1.29 [0.20, 0.62]
		D 2.36 [0.89, 1.50]

	zone 1		zone 2			
	ex.	prop.	ex.	prop.	total proposed	ratios
A	7788	0	7555	1000	1000	7%
B	0		0	0	0	
C	4927		2890		7817	50%
D	2861		3665		6526	43%
total (sf)	7788		7555		15343	

	zone 1		zone 2	
	ex.	prop.	ex.	prop.
A $\times 0.66$	5141		4986	660
B $\times 0.92$				
C $\times 1.29$		6356		3728
D $\times 2.36$		6752		8649
total (inxs)	5141	13108	4986	13027
E (in)	.66	1.68	.66	1.72

	zone 1		zone 2	
	ex.	prop.	ex.	prop.
V 360 (CF)	428	1090	416	1083

		zone 1		zone 2		proposed totals
		ex.	prop.	ex.	prop.	
D		2861		3665		
V 360 (CF)		428	1090	416	1083	
ADDED		—	95	—	122	
V 1440 (CF)		428	1185	416	1205	2390
Added			757		789	1546

METHODOLOGY:
ASSUMPTION FOR EXISTING SITE IS 100 PERCENT VACANT (UNDISTURBED).
SITE HAS EXISTING GRADES OF 0% TO 10% ZONE 2 DRAINAGE SHALL BE
COLLECTED AND PARTIALLY PONDED ON SITE IN RETENTION POND. POND
INDICATED ON SITE PLAN SHALL BE GRADED TO 18" BELOW TOP OF RETAINING
WALL AT THE WESTERN PROPERTY LINE. OUTFLOW SHALL BE GRADED TO 12"
BELOW TOP OF RETAINING AT HIGHEST POINT. PONDING AREAS ARE TREATED
AS TYPE 'A' - FLAT AND UNCOMPACTED

CONCLUSIONS:
OUR PROPOSED PONDING CAPACITY OF 500 CF WILL RETAIN 60% THE TOTAL
RUNOFF FOR ZONE 2. THE REMAINING 300 CF FOR ZONE 2 WILL BE DIRECTED
TO THE STREET. RUNOFF AT THE WESTERN PROPERTY LINE WILL BE DIRECTED
AWAY FROM THE RETAINING WALL.