

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

July 30, 2021

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: 2 Alikhani, Naser – Home  
1200 Hideaway Lane SE  
Grading and Drainage Plan  
Engineer's Stamp Date: 06/21/21  
Hydrology File: M23D017A**

Dear Ms. McDowell:

PO Box 1293

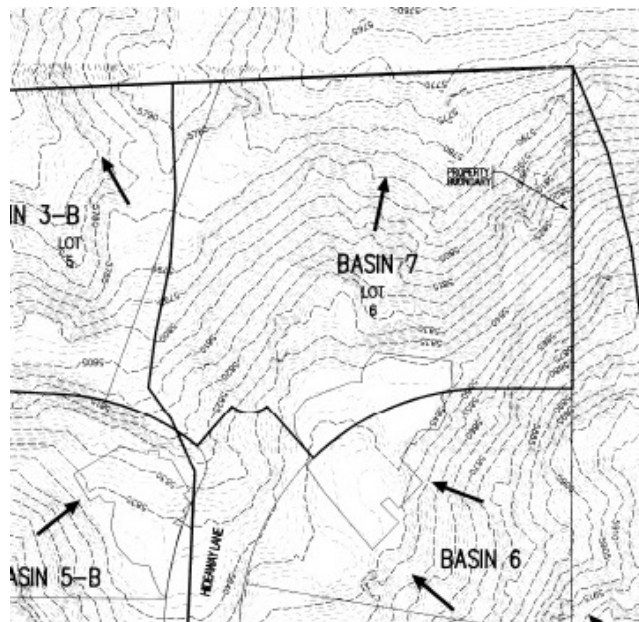
Based upon the information provided in your submittal received 06/21/2021, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. This lot is part of the Drainage Report for Four Hills Village 21<sup>st</sup> Installment by Bohannon Huston dated May 22, 2009 (M23D017). This drainage report states that each lot is required to pond developed flow greater than existing flow, so for lot 6 the existing flows is 9.62 cfs and that the lot is to discharge to the northeast as historic flow pattern. (see below).



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A problem that I see is that a wall was illegally installed along the northern boundary of the lot sometime in 2010. The City does not have any records of the construction of the lot since a Grading & Drainage Plan would have been required to build it. This wall is currently impeding the historic flow pattern outlined in the approved Drainage Report. A solution will have to be created to resolve this issue.

2. Please size a detention pond as outlined in the approved Drainage Report and the existing pond that exists may have to be filled in.
3. According to the recorded plat for this subdivision, each lot Owner is required to provide an individual soils report from a Geotechnical Engineer for review and acceptance by the City of Albuquerque. This is very important since 2009 this lot Owner has been dumping earthwork onto this site so that the material currently there is not native to the site.

NOTES:

- 1) THE MAXIMUM DISTURBABLE BUILDING ENVELOPE IS 8,000.00 SQUARE FEET (EXCEPT LOT 6) ALL DRAINAGE WATER RUNOFF GENERATED WITHIN THIS ENVELOPE MUST BE RETAINED AND WILL REQUIRE A PRIVATE FACILITY DRAINAGE COVENANT. ALL LAND OUTSIDE OF THIS ENVELOPE MUST REMAIN UNDISTURBED AS SUCH AS PRACTICABLE.
- 2) EACH LOT OWNER IS REQUIRED TO PROVIDE AN INDIVIDUAL SOILS REPORT FROM A GEOTECHNICAL ENGINEER AND AN ENGINEERED GRADING PLAN FOR REVIEW AND ACCEPTANCE BY THE CITY OF ALBUQUERQUE.

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Albuquerque

NM 87103

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tyPLAT R:\$12.00 B: 2010C P: 0108 M. Toulouse Olivere, Bernalillo Cou



SHEET 2 OF 2

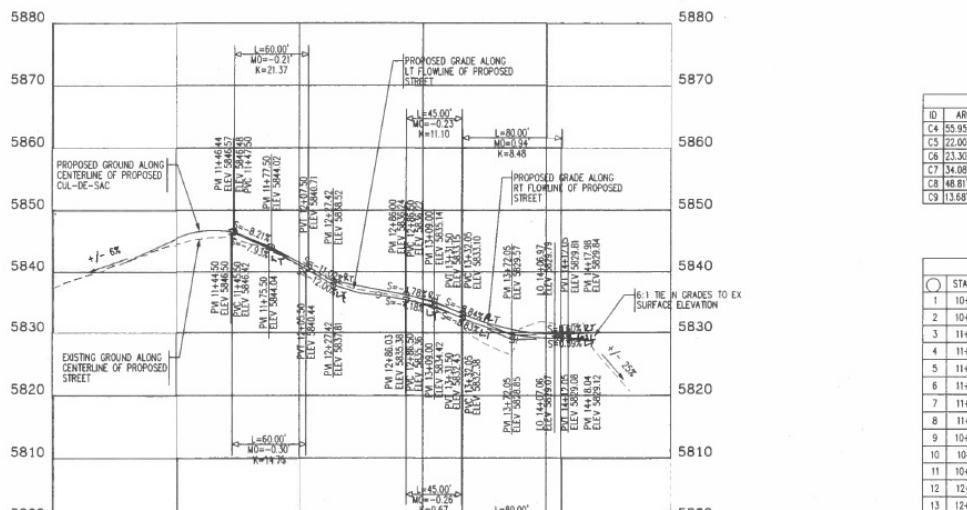
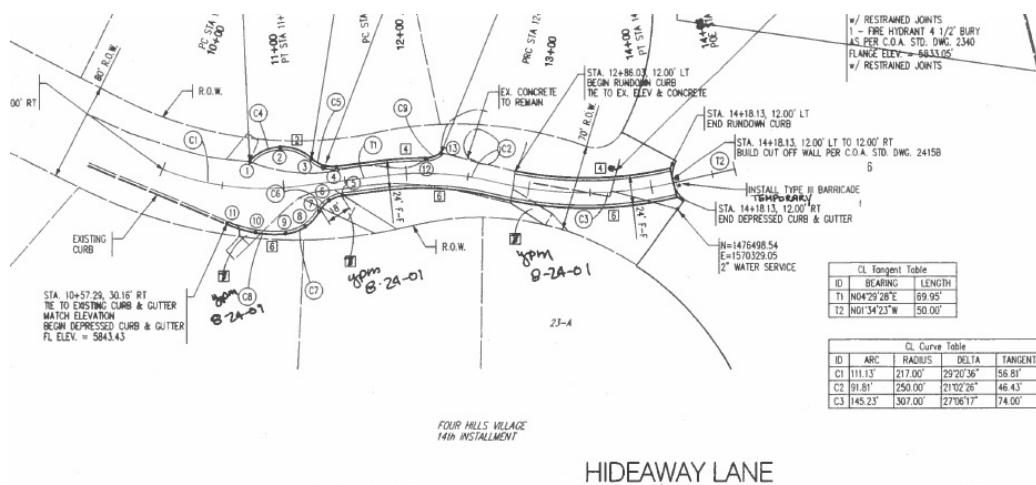
4. I also looked into the Work Order plans for Hideaway Lane (CPN 523381). The work order only had the construction of the Loman and the end piece of Hideaway (which Lot 6 will access their lot from). As shown below from February 2011 aerial photo. There was no storm sewer designed for this Work Order and the drainage was to follow the Drainage Report noted in Comment #1. That being said, there is an existing inlet and a wall with three large holes at the bottom for drainage that was installed in the Public R.O.W. of Hideaway Lane. The City again does not have any records of the construction of this inlet and the City currently does not maintain this inlet since it was illegally installed. I also currently don't know where the inlet (the Public waters from Hideaway) discharges to. I need some kind of solution to this matter and this will hold up the house Building Permit since the wall appears to have been installed sometime in 2012. See March 2012 aerial photo below.

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# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*



PO Box 1293

February 2011

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



March 2012

5. Standard review fee of \$75 will be required at the time of resubmittal.



# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Alikhani, Naser - Home **Building Permit #:**  **Hydrology File #:**   
**DRB#:**  **EPC#:**  **Work Order#:**   
**Legal Description:** LOT 6, PLAT OF LOTS 1-6, FOUR HILLS VILLAGE 21ST INSTALLMENT  
**City Address:** 1200 HIDEAWAY LN. SE, ALBUQUERQUE, NM 87123

**Applicant:** MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL  
**Address:** 7820 BEVERLY HILLS AVE. NE, ALBUQUERQUE, NM 87122  
**Phone#:** 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net

**Owner:**  **Contact:**   
**Address:**   
**Phone#:**  **Fax#:**  **E-mail:**

**TYPE OF SUBMITTAL:**  PLAT ( # OF LOTS) ☒ RESIDENCE  DRB SITE  ADMIN SITE

IS THIS A RESUBMITTAL?:  Yes ☒ No

**DEPARTMENT:**  TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION  
 PAD CERTIFICATION  
 CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
 DRAINAGE MASTER PLAN  
 DRAINAGE REPORT  
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
 ELEVATION CERTIFICATE  
 CLOMR/LOMR  
 TRAFFIC CIRCULATION LAYOUT (TCL)  
 TRAFFIC IMPACT STUDY (TIS)  
 OTHER (SPECIFY)   
 PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY  
 PRELIMINARY PLAT APPROVAL  
 SITE PLAN FOR SUB'D APPROVAL  
 SITE PLAN FOR BLDG. PERMIT APPROVAL  
 FINAL PLAT APPROVAL  
 SIA/ RELEASE OF FINANCIAL GUARANTEE  
 FOUNDATION PERMIT APPROVAL  
 GRADING PERMIT APPROVAL  
 SO-19 APPROVAL  
 PAVING PERMIT APPROVAL  
 GRADING/ PAD CERTIFICATION  
 WORK ORDER APPROVAL  
 CLOMR/LOMR  
 FLOODPLAIN DEVELOPMENT PERMIT  
 OTHER (SPECIFY)

**DATE SUBMITTED:** 6-21-21 **By:** JACKIE MCDOWELL

COA STAFF:

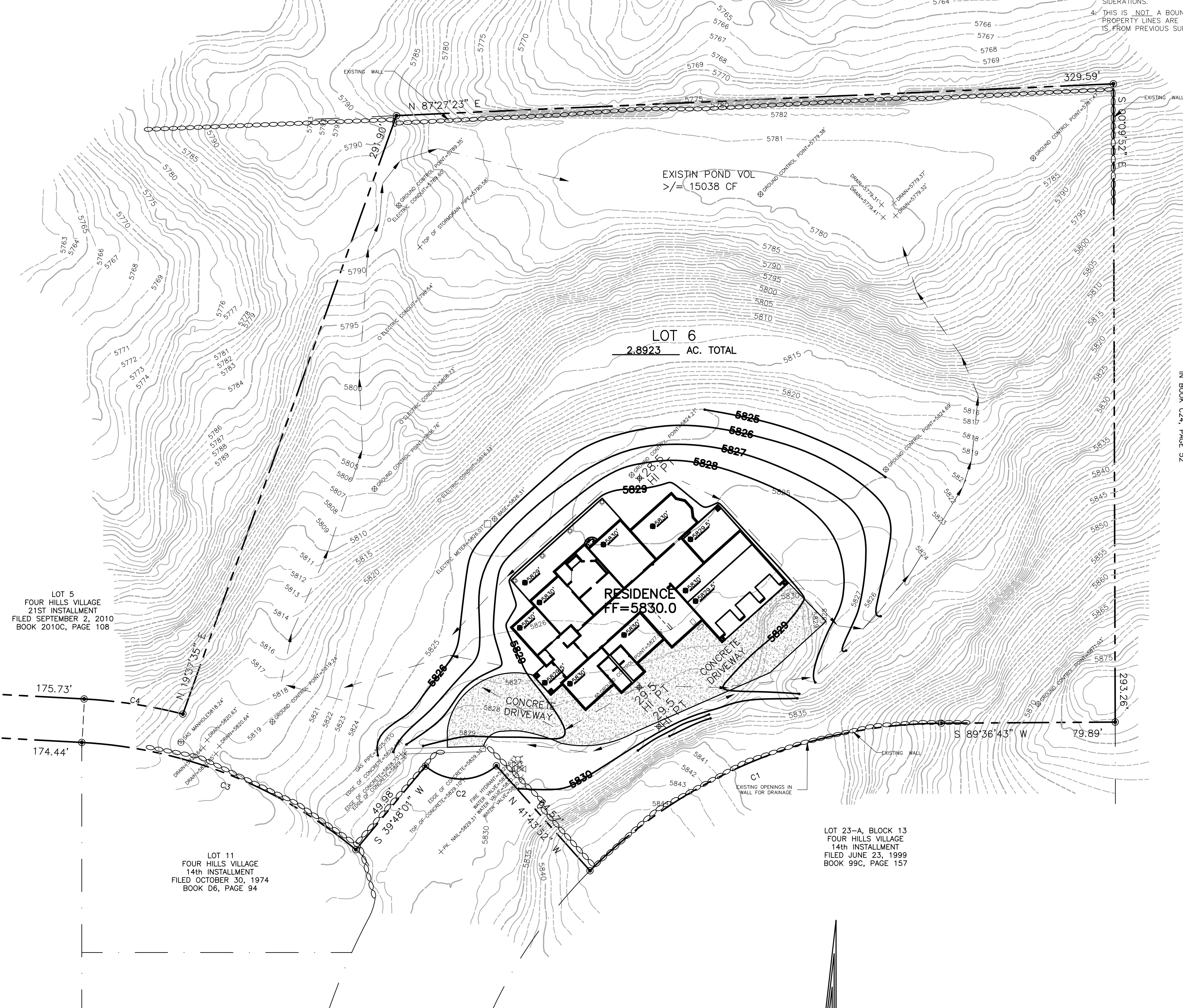
ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 02°17'56" E	120.09'

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	
C1	229.65'	179.49'	174.96'	S 67°13'17" W	44°46'52"	
C2	25.00'	135.45'	132.55'	S 89°45'08" W	81°14'03"	
C3	215.35'	137.50'	135.17'	N 68°37'28" W	38°34'55"	
C4	235.35'	145.96'	145.89'	S 81°19'14" E	11°11'12"	



#### GENERAL DRAINAGE PLAN NOTES:

- It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
- This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
- It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
- All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
- All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
- Contactar shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
- Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

#### SURVEY GENERAL NOTES:

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "AGGIE", HAVING AN ELEVATION OF 5733.17, NAVD 1988
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT, UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY, BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON

#### DRAINAGE PLAN

#### SCOPE:

The Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One single family home is proposed on the subject property, with associated access, landscaping, and utility improvements.

#### EXISTING CONDITIONS:

Presently, the 2.89 acre site is undeveloped. The site is bounded on the west and south by private residential property, on the north and east by city property and on south by Hideaway Ln. SE. The site is vegetated with native grasses and shrubs and rock. Site topography slopes from the center of the lot to the north to an existing depression/pond. As shown on FEMA Panel #386G, the site is not located in a flood plain.

#### PROPOSED CONDITIONS:

As shown by the plan, the proposed structure is located within the center portion of the lot. Flows from the south, and east will continue to cross the site as currently flowing as shown on the plan. On site flows will drain around the structures via swales, and flow to the north to the existing pond along the northerly of the lot. All roof drainage will discharge from the roof to the lot and be directed around the structures to existing drainage paths and new ponding area. The amount of runoff due to development will be retained on site in the existing pond as shown.

#### CALCULATIONS:

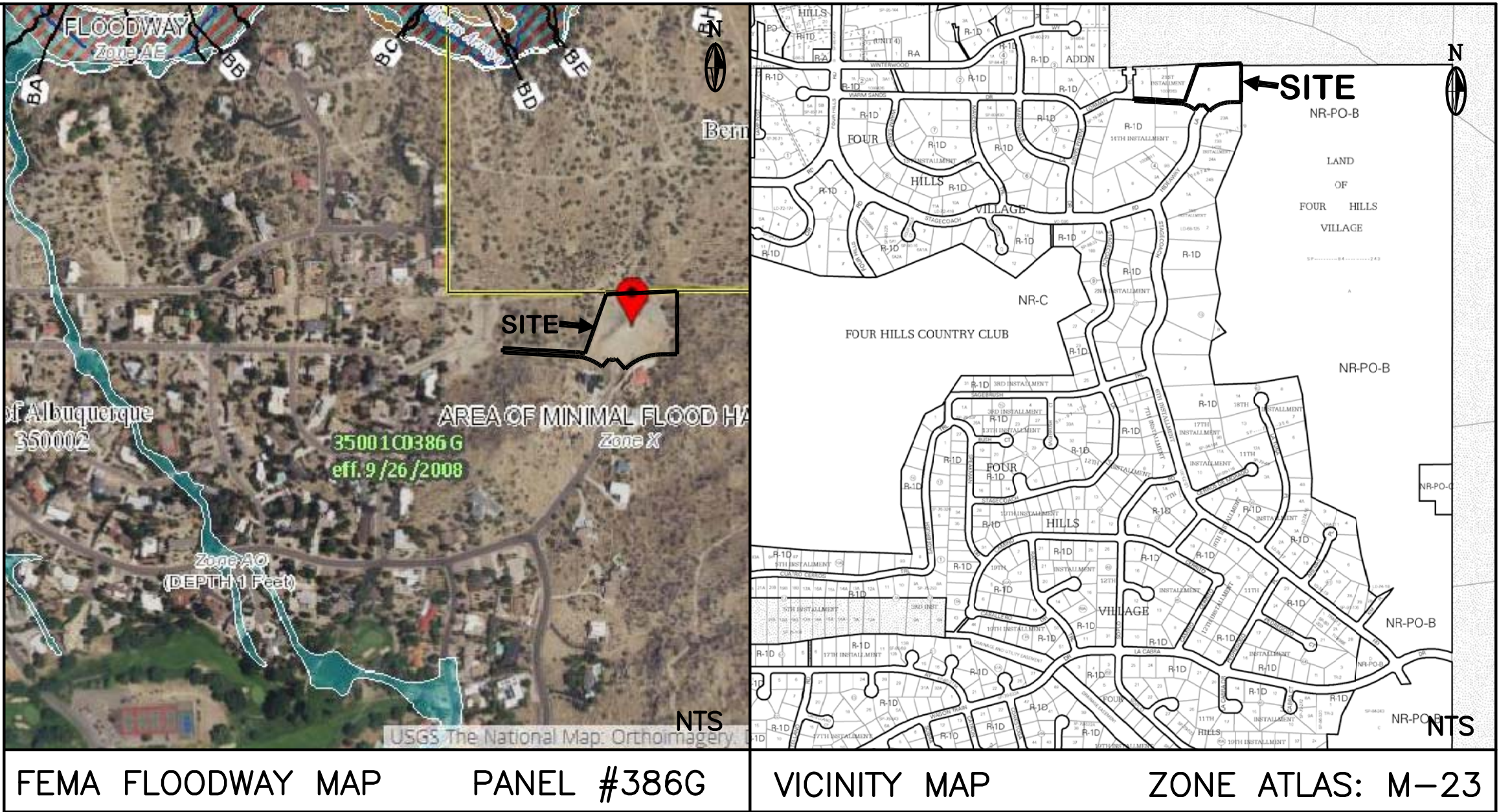
The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions

#### PROPERTY ADDRESS:

1200 Hideaway Ln SE, Albuquerque, NM 87123

#### TOPOGRAPHY:

Topographic information provided by Anthon Harris, dated October 2020.



	LEGEND	
	EXISTING	PROPOSED
CONTOUR	--- 5820 ---	--- 5850 ---
PROPERTY LINE	---	---
ROAD	---	---
SETBACK	---	---
WALL	o-o-o-o-o-o-o-o-o-o	
SPOT ELEVATION	24.82	

Precipitation Zone = 4

Depth at 100-year, 6-hour storm:

Land Treatments:

Areas: (acres)	Existing	Proposed	POND (EXISTING) VOLUME PROVIDED			
			ELEV	AREA	VOL	
Treatment A	2.89	1.90	5782	12570	10108	
Treatment B	0.00	0.44	5781	7646	4930.5	
Treatment C	0.00	0.25				
Treatment D	0.00	0.30	5780	2215	15038.5	
Total (acres) =	2.89	2.89	SUB-TOTAL		15038.5	
			CF			

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.19	0.28	0.07	0.12	0.00	0.04
Volume (cubic feet) =	8,393	11,442	2,937	5,169	210	1,659

POND VOLUME REQUIRED = (11442-8393) = 3049 CF

OR = 14764-11442 = 3322 CF

FIRST FLUSH POND VOL = 0.34/12\*0.3\*43560 = 370 CF

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	6.36	4.18	2.51	1.65	0.14	0.10
Treatment B	0.00	1.28	0.00	0.64	0.00	0.17
Treatment C	0.00	0.93	0.00	0.57	0.00	0.25
Treatment D	0.00	1.58	0.00	1.07	0.00	0.65
Total Q (cfs) =	6.36	7.97	2.51	3.93	0.14	1.16

√ (10 day) = V (360) + A (D) \* (P10day-P360)/12 in/ft =

0.3389 ac-ft

=

14764 cu-ft

ENGINEER'S CERTIFICATION:  
I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on June 9, 2021, and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

1200 Hideaway Ln SE, Albuquerque, NM 87123	
CITY OF ALBUQUERQUE, BERNALILLO COUNTY	NEW MEXICO
LOT 6 FOUR HILLS VILLAGE 21st INSTALLMENT	
ALIKHANI, NASER – GRADING & DRAINAGE PLAN	
<b>McDowell Engineering, Inc.</b>	
Designed JSM	Drawn STAFF
File ALJ0121L	Checked JSM
Date JUNE,2021	Sheet 1 of 1