

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

September 3, 2021

Jackie McDowell
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**RE: 2 Alikhani, Naser – Home
1200 Hideaway Lane SE
Grading and Drainage Plan
Engineer's Stamp Date: 08/17/21
Hydrology File: M23D017A**

Dear Ms. McDowell:

PO Box 1293

Based upon the information provided in your submittal received 08/18/2021, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. This lot is part of the Drainage Report for Four Hills Village 21st Installment by Bohannon Huston dated May 22, 2009 (M23D017). This drainage report states that each lot is required to pond developed flow greater than existing flow, so for lot 6 the existing flows is **9.62 cfs** and the existing 24-in storm pipe from the pond you have calculated discharging 21.4 cfs which is **11.78 cfs** too much. This pond need to be a detention pond that hold back the **11.78 cfs** and you will need to design a solution for the outfall. Provide all calculation and designs in the next submittal.
2. Please size a detention pond as outlined in the approved Drainage Report and the existing pond that exists may have to be filled in.
3. According to the recorded plat for this subdivision, each lot Owner is required to provide an individual soils report from a Geotechnical Engineer for review and acceptance by the City of Albuquerque. This is very important since 2009 this lot Owner has been dumping earthwork onto this site so that the material currently there is not native to the site. This Geotechnical Report was claimed to be submitted with this submittal was not included. Please include this in the updated submittal.

CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

NOTES:

- 1) THE MAXIMUM DISTURBABLE BUILDING ENVELOPE IS 8,000.00 SQUARE FEET (EXCEPT LOT 6) ALL DRAINAGE WATER RUNOFF GENERATED WITHIN THIS ENVELOPE MUST BE RETAINED AND WILL REQUIRE A PRIVATE FACILITY DRAINAGE COVENANT. ALL LAND OUTSIDE OF THIS ENVELOPE MUST REMAIN UNDISTURBED AS SUCH AS PRACTICABLE.
- 2) EACH LOT OWNER IS REQUIRED TO PROVIDE AN INDIVIDUAL SOILS REPORT FROM A GEOTECHNICAL ENGINEER AND AN ENGINEERED GRADING PLAN FOR REVIEW AND ACCEPTANCE BY THE CITY OF ALBUQUERQUE.

DOC# 2010088680

09/02/2010 11:46 AM Page: 2 of 2
CityPLAT R:\$12.00 B: 2010C P: 0108 M. Toulous Olivere, Bernalillo Cou



SHEET 2 OF 2

4. I also looked into the Work Order plans for Hideaway Lane (CPN 523381). The work order only had the construction of the Loman and the end piece of Hideaway (which Lot 6 will access their lot from). As shown below from February 2011 aerial photo. There was no storm sewer designed for this Work Order and the drainage was to follow the Drainage Report noted in Comment #1. That being said, there is an existing inlet was installed in the Public R.O.W. of Hideaway Lane. The City again does not have any records of the construction of this inlet and the City currently does not maintain this inlet since it was illegally installed. The drawing that was provided was done by BHI but there was no engineer's signature on the drawing. Regardless, this storm drain and pipe carries **Public Stormwater and the inlet and pipe were not constructed to City of Albuquerque standards.** This will have to be designed and submitted to the both Hydrology for Work Order review and Design Review & Construction (DRC) for review and approval. Also the storm drain must be in a Public Drainage Easement.

PO Box 1293

Albuquerque

NM 87103

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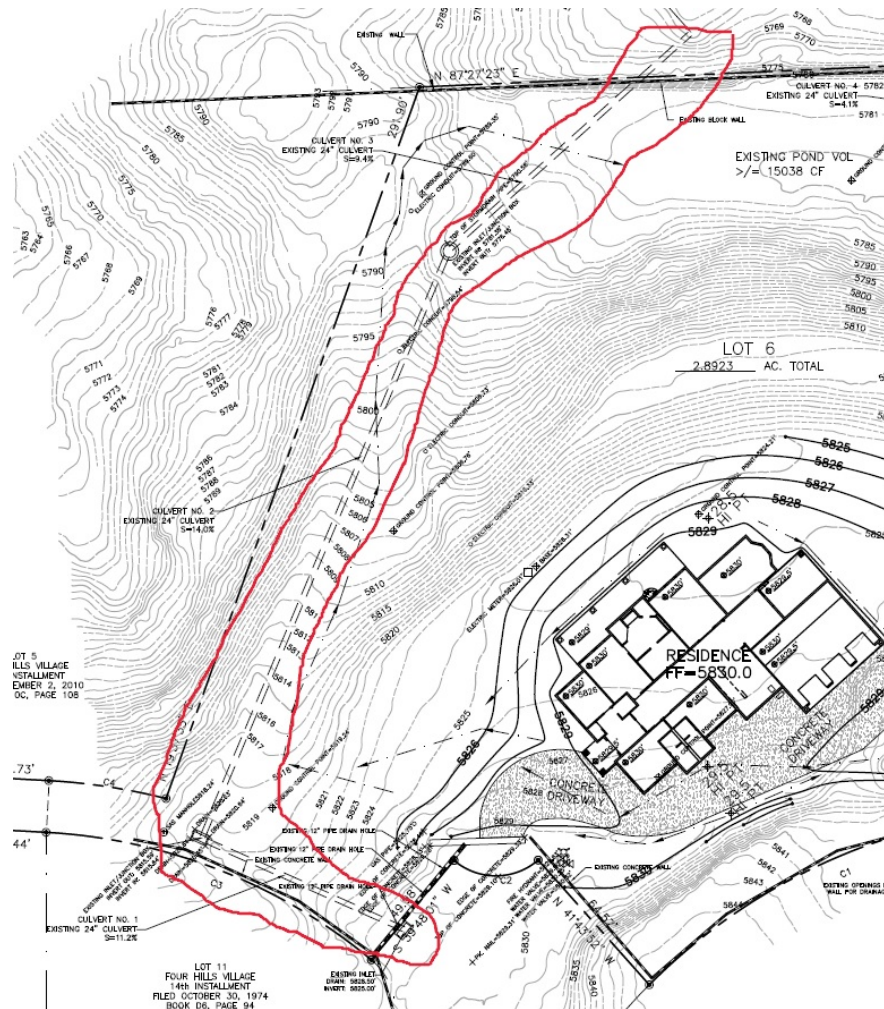


CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller



PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

5. Standard review fee of \$75 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Alikhani, Naser - Home **Building Permit #:** **Hydrology File #:** M23D017A
DRB#: **EPC#:** **Work Order#:**
Legal Description: LOT 6, PLAT OF LOTS 1-6, FOUR HILLS VILLAGE 21ST INSTALLMENT
City Address: 1200 HIDEAWAY LN. SE, ALBUQUERQUE, NM 87123

Applicant: MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE, ALBUQUERQUE, NM 87122
Phone#: 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net
Owner: Naser Alikhani **Contact:** Naser Alikhani
Address: 13816 Winterwood Way SE, Albuquerque, NM 87123
Phone#: 505-681-9181 **Fax#:** **E-mail:** khanicompany@aol.com

TYPE OF SUBMITTAL: PLAT (# OF LOTS) ☒ RESIDENCE DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL?: Yes ☒ No

DEPARTMENT: TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
☒ GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 OTHER (SPECIFY)
 PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY)

DATE SUBMITTED: 8-17-21 **By:** JACKIE MCDOWELL

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 30, 2021

Response to comments

Jackie McDowell
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**RE: 2 Alikhani, Naser – Home
1200 Hideaway Lane SE
Grading and Drainage Plan
Engineer's Stamp Date: 06/21/21
Hydrology File: M23D017A**

Dear Ms. McDowell:

PO Box 1293

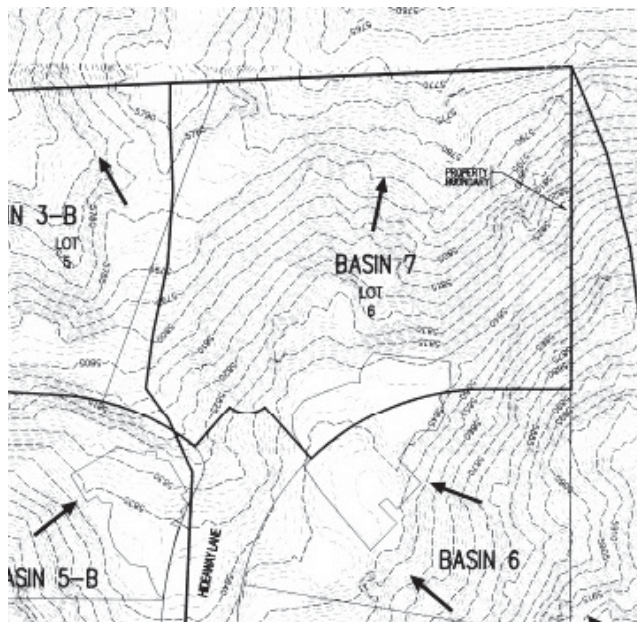
Based upon the information provided in your submittal received 06/21/2021, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. This lot is part of the Drainage Report for Four Hills Village 21st Installment by Bohannon Huston dated May 22, 2009 (M23D017). This drainage report states that each lot is required to pond developed flow greater than existing flow, so for lot 6 the existing flows is 9.62 cfs and that the lot is to discharge to the northeast as historic flow pattern. (see below).



The site has been designed to pond the amount of runoff due to the development of the property.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

A problem that I see is that a wall was illegally installed along the northern boundary of the lot sometime in 2010. The City does not have any records of the construction of the lot since a Grading & Drainage Plan would have been required to build it. This wall is currently impeding the historic flow pattern outlined in the approved Drainage Report. A solution will have to be created to resolve this issue.

Attached are records of signed off wall approvals and rough grading approval.

2. Please size a detention pond as outlined in the approved Drainage Report and the existing pond that exists may have to be filled in.

The pond drains to an existing inlet which outfalls to the historic flow location.

3. According to the recorded plat for this subdivision, each lot Owner is required to provide an individual soils report from a Geotechnical Engineer for review and acceptance by the City of Albuquerque. This is very important since 2009 this lot Owner has been dumping earthwork onto this site so that the material currently there is not native to the site.

NOTES:

- 1) THE MAXIMUM DISTURBABLE BUILDING ENVELOPE IS 8,000.00 SQUARE FEET (EXCEPT LOT 6) ALL DRAINAGE WATER RUNOFF GENERATED WITHIN THIS ENVELOPE MUST BE RETAINED AND WILL REQUIRE A PRIVATE FACILITY DRAINAGE COVENANT. ALL LAND OUTSIDE OF THIS ENVELOPE MUST REMAIN UNDISTURBED AS SUCH AS PRACTICABLE.
- 2) EACH LOT OWNER IS REQUIRED TO PROVIDE AN INDIVIDUAL SOILS REPORT FROM A GEOTECHNICAL ENGINEER AND AN ENGINEERED GRADING PLAN FOR REVIEW AND ACCEPTANCE BY THE CITY OF ALBUQUERQUE.

Attached is the Geotechnical Investigation (soils report).

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Albuquerque

NM 87103

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DOC# 2010088680
09/02/2010 11:46 AM Page: 2 of 2
ityPLAT R:\$12.00 B: 2010C P: 0108 M. Toulous Olivere, Bernalillo Cou



SHEET 2 OF 2

4. I also looked into the Work Order plans for Hideaway Lane (CPN 523381). The work order only had the construction of the Loman and the end piece of Hideaway (which Lot 6 will access their lot from). As shown below from February 2011 aerial photo. There was no storm sewer designed for this Work Order and the drainage was to follow the Drainage Report noted in Comment #1. That being said, there is an existing inlet and a wall with three large holes at the bottom for drainage that was installed in the Public R.O.W. of Hideaway Lane. The City again does not have any records of the construction of this inlet and the City currently does not maintain this inlet since it was illegally installed. I also currently don't know where the inlet (the Public waters from Hideaway) discharges to. I need some kind of solution to this matter and this will hold up the house Building Permit since the wall appears to have been installed sometime in 2012. See March 2012 aerial photo below.

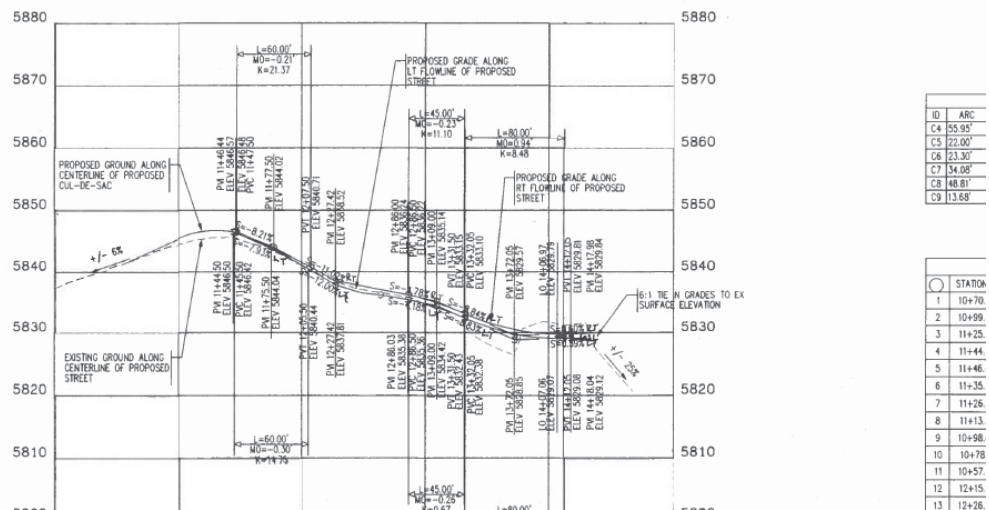
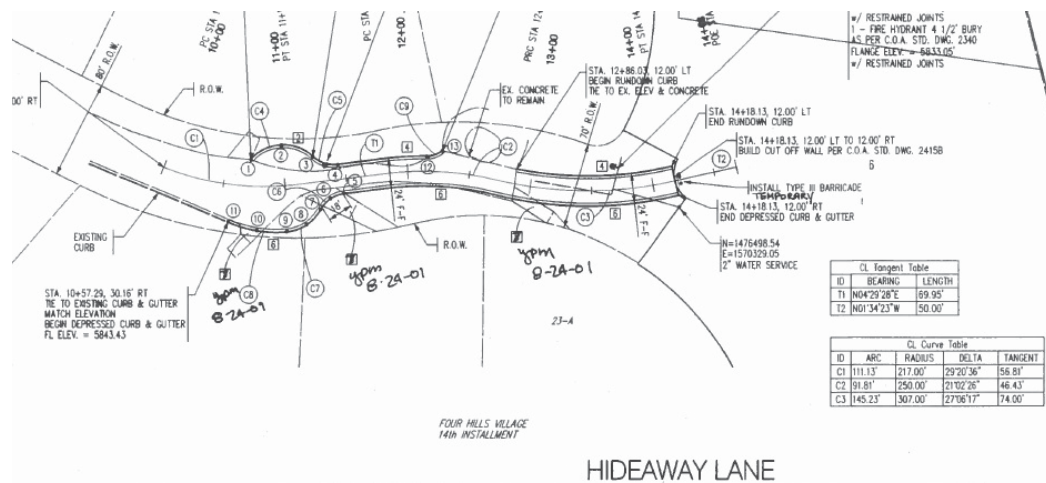
Attached is a design map by BHI (Bohannon-Huston), who designed the layout of the existing drainage culverts for the offsite flow. I could not find any as-builts for this, but the intent of the design by BHI has been achieved.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller



PO Box 1293

Albuquerque

NM 87103

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CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller



PO Box 1293

February 2011

Albuquerque

NM 87103

www.cabq.gov



March 2012

5. Standard review fee of \$75 will be required at the time of resubmittal.

Noted.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CONSTRUCTION ADDRESS 1200 Hideaway Lane SE 87123

APPLICANT TO PROVIDE ALL INFORMATION BELOW:

TYPE OF APPLICATION

☐ NEW BUILDING ☐ ADDITION ☐ REMODEL ☐ REPAIR ☒ OTHER

RETAIN FOR RE-ISSUE?

☐ YES ☐ NO

SEPTIC TANK REQUIRED?

☐ YES ☐ NO
(IF YES, SHOW LOCATION OF APPROVED SEPTIC TANK ON SITE PLAN.)

LEGAL DESCRIPTION

LOT NO. #1 BLOCK NO. UNIT
SUBDIVISION Four Hills Village 21st Installment
UNIFORM PROPERTY CODE 1-023-055-298-517-10436

OWNER

Naser Alikhani PHONE 505-681-9181
ADDRESS 13816 Winterwood Way SE
Albuquerque, NM ZIP 87123

ARCHITECT, ENGINEER
OR DESIGNER

Walle Structural Eng. PHONE 505-881-3008
ADDRESS 6100 Indian School Rd NE
Albuquerque, NM ZIP 87110

CONTRACTOR

Khani Co PHONE 505-299-1000
ADDRESS 102 Highway 66 East
Albuquerque, NM ZIP 87123
NM STATE LICENSE NO. 31999
NM STATE TAX NO. 02-137353-001
CITY TAX NO. FAD009939

CONSTRUCTION DATA:

NUMBER OF STORIES
SQUARE FOOTAGE:
HEATED
GARAGE
CARPORT, PORCH,
& PATIO COVER
TOTAL
VALUATION OF WORK

OWNERSHIP

☒ PRIVATE ☐ PUBLIC

DESCRIPTION OF WORK:

☐ SINGLE-FAMILY DWELLING ☐ DUPLEX
☐ TOWNHOUSE ☐ GARAGE
☐ CARPORT ☐ SWIMMING POOL
☐ PATIO COVER ☐ FOUNDATION ONLY
☐ PATIO ENCLOSURE
(APPENDIX CHAP. 31, DIV. III)
☐ FOUNDATION FOR MOBILE HOME
☐ FOUNDATION FOR MODULAR BUILDING
☐ FOUNDATION FOR MOVED BUILDING
☒ GARDEN WALL, FENCE, RETAINING WALL

SIGN

11/15/09 DATE 9/15/09

APPROVED ZONING I.B.C. Plan Check Section

ZONING ☐ DISAPPROVED ☐ APPROVED
HYDROLOGY ☐ DISAPPROVED ☐ APPROVED
BUILDING CODE ☐ DISAPPROVED ☒ APPROVED

IS THIS DEVELOPMENT WITHIN 1000 FT. OF A FORMER LANDFILL SITE?
☐ YES ☒ NO

PLAN CHECK APPLICATION NO. 2009000313
PLAN CHECK APP. FEE 245.62 ADJUSTED
ZONING 35.00 F.P.O.
VALUATION OF WORK 652.54
BUILDING PERMIT NO. 2009000313
BUILDING PERMIT FEE 371.88
FEE FOR DUPLICATE SET(S)

City of Albuquerque IMPACT FEES
Drm Rdwy
Prk Sfty
By

CITY OF ALBUQUERQUE

BUILDING SAFETY DIVISION

600 Second Street N.W.
Albuquerque, New Mexico 87102

GENERAL NOTES

- One set of approved plans shall be kept on the site of the building or work at all times during which the work authorized thereby is in progress.
- Separate permits are required for plumbing, gas and electrical work.
- For foundation-only permits, a separate set of plans must be submitted. Plumbing, mechanical and electrical work in/under the slab shall be inspected and approved before any concrete is poured.
- The issuance of a permit does not guarantee that the permit holder (owner) will receive a Certificate of Occupancy upon completion of construction. It is the permit holder's responsibility to comply with all of the requirements for a Certificate of Occupancy including obtaining water and sanitary sewer service, electrical service and natural gas service.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Utility Development Division of the Public Works Department.
- City-approved street and alley top-of-curb elevations shall be used when establishing lot grades and rear property lines. In the event that these approved elevations are not used, the City assumes no responsibility for loss of access to property or damage to property-line walls upon construction of streets, alleys, curbs and gutters.
- Separate permits are required for retaining walls, garden walls and fences.
- Gates in walls or fences on private or public property shall not swing over sidewalks, streets, alleys or other public rights-of-way.

INTERNATIONAL RESIDENTIAL CODE
UPC, UMC, NEC

UNIFORM ADMINISTRATIVE CODE OF THE CITY OF ALBUQUERQUE
(505) 924-3959

- NOTE:** Plans shall be drawn to scale and shall be of sufficient clarity to indicate the nature and extent of the work proposed and show in detail that it will conform to the provisions of the technical codes and all relevant laws, ordinances, rules and regulations.

DESCRIPTION OF WORK Garden Wall, Retaining Wall
SIZE OF BLDG. (SQ.FT.) 1008 SF OCCUPANCY GROUP 0
CONSTRUCTION TYPE VB BUILDING CODE EDITION (YR.) 2006

PLANS DISAPPROVED
PLANS APPROVED Abrams DATE 9-17-09

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

HYDROLOGY

FLOOD HAZARD ORDINANCE CERTIFICATION
(505) 924-3982

THIS SITE IS IN FLOOD HAZARD ZONE
☐ IF ZONE X, NO ADDITIONAL APPROVALS ARE REQUIRED.

- ☐ IF ZONE AE OR AH,
 - THE FINISHED FLOOR ELEVATION SHALL BE
 - AN ELEVATION CERTIFICATE IS REQUIRED PRIOR TO ISSUING OF A BUILDING PERMIT.

☐ IF ZONE A OR AO (BASE FLOOD ELEVATION NOT DETERMINED), AN APPROVED GRADING AND DRAINAGE PLAN IS REQUIRED PRIOR TO ISSUING OF A BUILDING PERMIT.

PLANS DISAPPROVED
PLANS APPROVED DATE

- SEPARATE CERTIFICATION** is required prior to issuing of a Certificate of Occupancy. Certification includes either an Elevation Certificate or a certified grading plan based upon as-built conditions.
- Elevation Certificate forms are available at the Development Services Center, 600 Second Street, N.W., Albuquerque, New Mexico.
- All grading undertaken to construct this home shall be in compliance with the approved grading and drainage plan filed in the City Engineer's office.

ZONING ENFORCEMENT

COMPREHENSIVE CITY ZONING CODE, 14-16, ROA 1994
(505) 924-3849

CITY ZONE R-1 ZONING MAP M23 LOT ACREAGE
CASE/FILE NO.
USE Retaining Wall/Garden Wall

- CAUTION ON LOCATION OF STRUCTURE:** City approval is contingent upon correct information being received from the owner's agent (architect, engineer, etc.). Zoning approval is for structures sited exactly as specified on these plans. Setbacks are measured from the lot lines. The lot line at the street right-of-way is not necessarily the curb or the edge of the sidewalk.

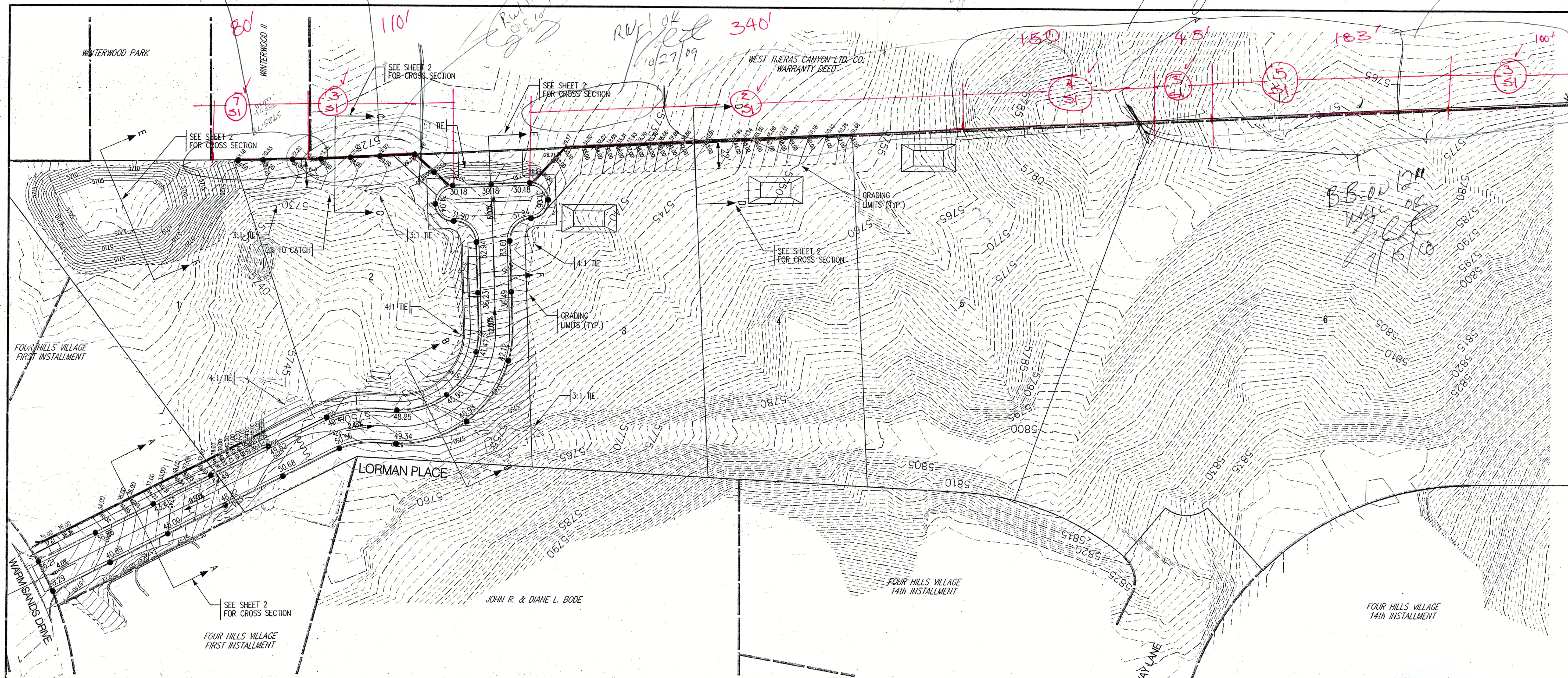
☒ S Park Development Fee, Park Dedication and Development Ordinance, Sections 14-9-3(A) and (B), ROA 1994.

- Landscaping and irrigation shall be designed, installed, maintained and operated as required by the Water Conservation, Landscaping and Water Waste Ordinance, 6-1, ROA 1994.

- All construction shall be in compliance with the Solar Permit Ordinance, 14-11, ROA 1994. City approval of plans is not a guarantee of compliance with any private solar rights which may be recorded with the County Clerk pursuant to Section 14-9-1, NMSA, 1978.

PLANS DISAPPROVED
PLANS APPROVED DATE 9/17/09

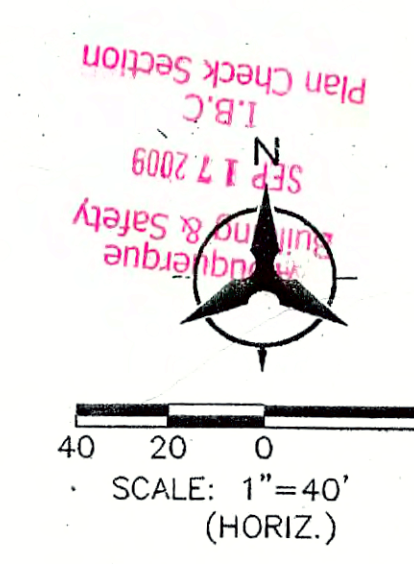
PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)



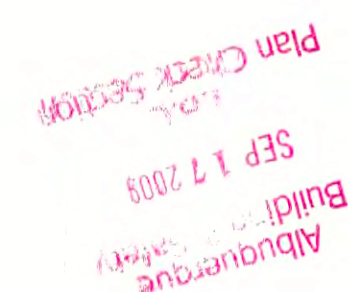
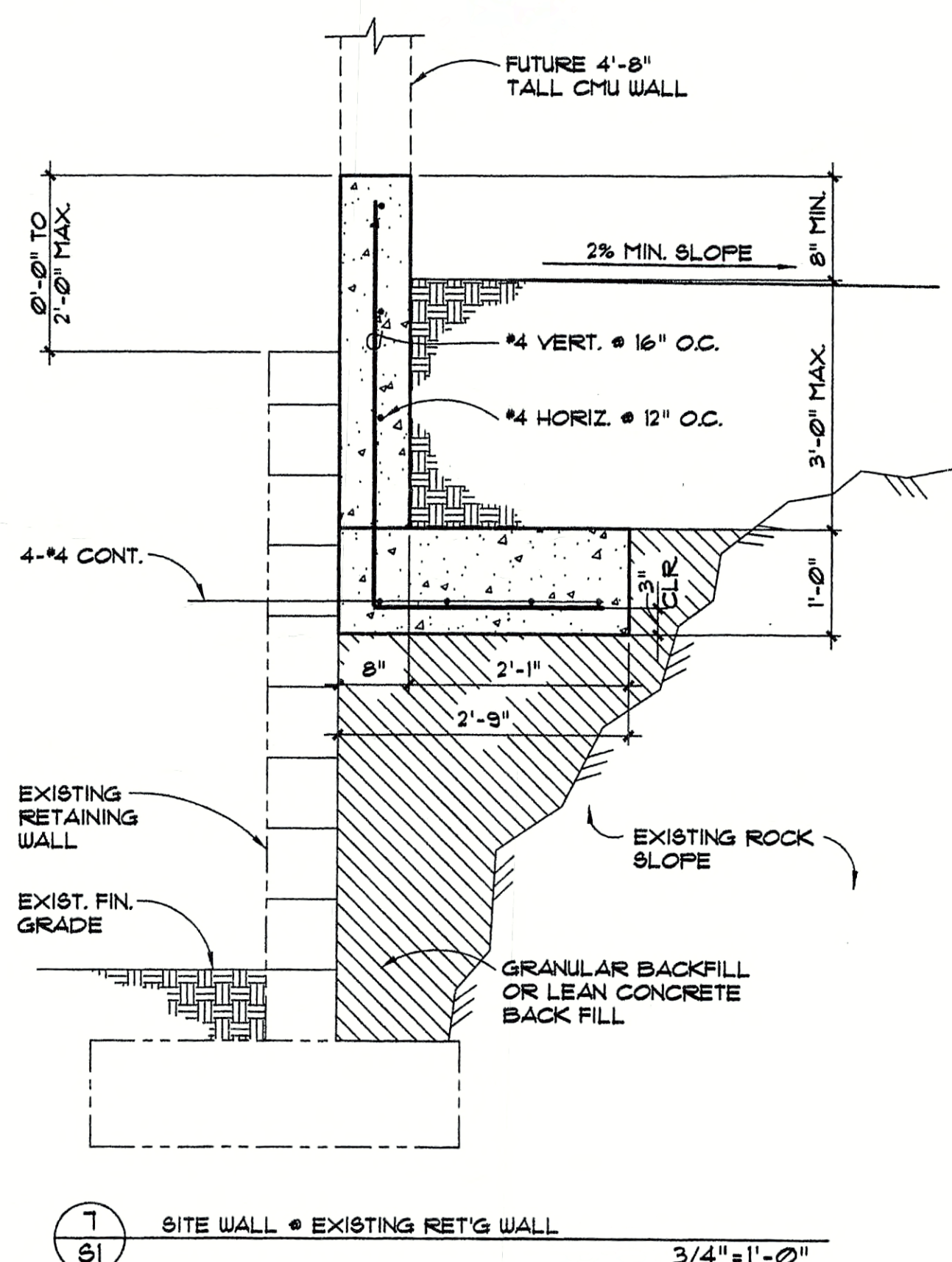
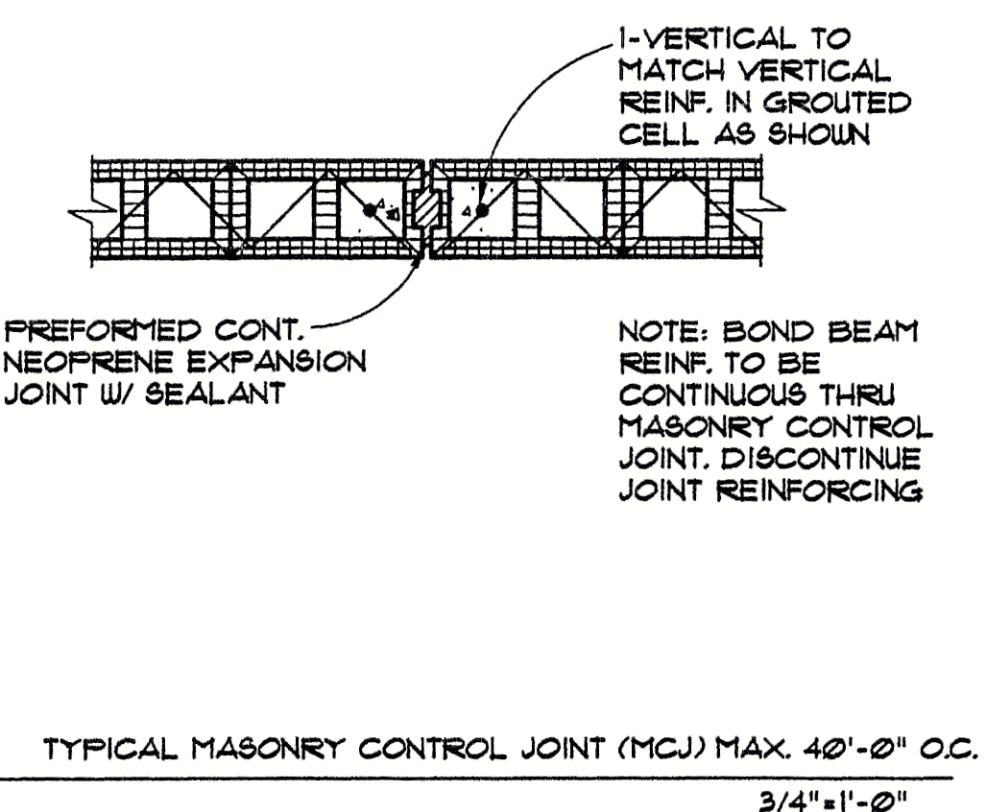
GENERAL NOTES

1. A GRADING/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORTS THAT WILL BE PREPARED AT A LATER DATE.
3. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS, AND APPROVALS.
5. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
7. ALL TIEBACKS ARE 4:1 UNLESS OTHERWISE NOTED.
8. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
9. CONTRACTOR SHALL COORDINATE WITH PNM PRIOR TO ANY GRADING WITHIN 50' PNM EASEMENT TO COORDINATE POLE HEIGHT ADJUSTMENTS & TREATMENTS.

LEGEND	
PROPOSED SPOT	● 5235.25
EXISTING SPOT	○ 5235.25
LIMITS OF GRADING	-----
EXISTING CONTOUR	--- 5910 ---
PROPOSED CONTOUR	— 5910 —
FLOW DIRECTION ARROW	←
EXISTING STORM DRAIN LINE	== S.D. ==
PROPOSED STORM DRAIN INLET	▬
PROPOSED STORM DRAIN LINE	▬▬▬
PROPOSED STORM DRAIN MANHOLE	⊙
TRACT BOUNDARY	~~~~~
HIGH POINT	▲
LOW POINT	▼
RETAINING WALL	▬▬▬
EXISTING WALL	▬▬▬
FUTURE POND	▭



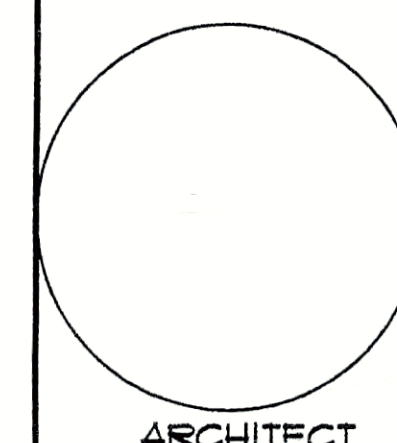
Bohannon & Huston Courtney 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES	
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT	
FOUR HILLS VILLAGE 21st INSTALLMENT GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
DATE	DATE
NO.	NO.
REMARKS	REVISIONS
BY	BY
DESIGNED BY YPM / BCP	DATE 1/2009
DRAWN BY ARR / BCP	DATE 1/2009
CHECKED BY YPM	DATE 1/2009
CITY PROJECT NO. 523381	ZONE MAP NO. M-23-Z
SHEET 1	OF 2



W W Structural Engineering
Civil Engineering

6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 881-4025

CONSULTANT



FOUR HILLS
VILLAGE 21st
INSTALLMENT

MARK	DATE	REVISION

PROJECT NO:	
CAD DWG FILE:	SI-X.DWG
DRAWN BY:	LPS
CHECKED BY:	MJW

SHEET TITLE

RETAINING WALL DETAILS

S1

CONSTRUCTION ADDRESS 1200 Hideaway Lane SE 87123

APPLICANT TO PROVIDE ALL INFORMATION BELOW:

TYPE OF APPLICATION

☐ NEW BUILDING ☐ ADDITION ☐ REMODEL ☐ REPAIR ☒ OTHER

RETAIN FOR RE-ISSUE?

☐ YES ☐ NO

SEPTIC TANK REQUIRED?

☐ YES ☐ NO
(IF YES, SHOW LOCATION OF APPROVED SEPTIC TANK ON SITE PLAN.)

LEGAL DESCRIPTION

LOT NO. 41 BLOCK NO. _____ UNIT _____
SUBDIVISION Four Hills Village
UNIFORM PROPERTY CODE 1023 055 298 517 10436

OWNER Naser Alikhani

PHONE 681 9181

ADDRESS 13816 Winter Woodway SE
Albu NM ZIP 87123

ARCHITECT, ENGINEER
OR DESIGNER Walla Structural Eng

PHONE (505) 881-3008

ADDRESS 6100 Indian School Rd NE
Albu NM ZIP 87110

CONTRACTOR Khani Co

PHONE (505) 299 1000

ADDRESS 102 High Way 66 East
Albu NM ZIP 87123

NM STATE LICENSE NO. 31999
NM STATE TAX NO. 02-137353-001
CITY TAX NO. F.A. 000 9929

CONSTRUCTION DATA:

NUMBER OF STORIES _____

SQUARE FOOTAGE:

HEATED _____

GARAGE _____

CARPORT, PORCH, & PATIO COVER 360 SF

TOTAL 360 SF

VALUATION OF WORK \$12198

OWNERSHIP

☒ PRIVATE ☐ PUBLIC

DESCRIPTION OF WORK:

☐ SINGLE-FAMILY DWELLING ☐ DUPLEX
☐ TOWNHOUSE ☐ GARAGE
☐ CARPORT ☐ SWIMMING POOL
☐ PATIO COVER ☐ FOUNDATION ONLY
☐ PATIO ENCLOSURE
(APPENDIX CHAP. 31, DIV. III)
☐ FOUNDATION FOR MOBILE HOME
☐ FOUNDATION FOR MODULAR BUILDING
☐ FOUNDATION FOR MOVED BUILDING
☐ GARDEN WALL, FENCE, RETAINING WALL

SIGN N. Khani DATE 7/16/10

ZONING

☐ DISAPPROVED ☐ APPROVED

HYDROLOGY

☐ DISAPPROVED ☐ APPROVED

BUILDING CODE

☐ DISAPPROVED ☐ APPROVED

IS THIS DEVELOPMENT WITHIN 1000 FT.
OF A FORMER LANDFILL SITE?

☐ YES ☒ NO

PLAN CHECK APPLICATION NO. 2010 000 261

PLAN CHECK APP. FEE _____ ADJUSTED _____

ZONING 25-00 F.P.O. _____

VALUATION OF WORK _____

BUILDING PERMIT NO. _____

BUILDING PERMIT FEE 2010 000 261

FEE FOR DUPLICATE SET(S) _____

City of Albuquerque IMPACT FEES

Drn _____ Rdwy _____

Prk _____ Sfty _____

By _____



CITY OF
ALBUQUERQUE
BUILDING SAFETY DIVISION
600 Second Street N.W.
Albuquerque, New Mexico 87102

GENERAL NOTES

- One set of approved plans shall be kept on the site of the building or work at all times during which the work authorized thereby is in progress.
- Separate permits are required for plumbing, gas and electrical work.
- For foundation-only permits, a separate set of plans must be submitted. Plumbing, mechanical and electrical work in/under the slab shall be inspected and approved before any concrete is poured.
- The issuance of a permit does not guarantee that the permit holder (owner) will receive a Certificate of Occupancy upon completion of construction. It is the permit holder's responsibility to comply with all of the requirements for a Certificate of Occupancy including obtaining water and sanitary sewer service, electrical service and natural gas service.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Utility Development Division of the Public Works Department.
- City-approved street and alley top-of-curb elevations shall be used when establishing lot grades and rear property lines. In the event that these approved elevations are not used, the City assumes no responsibility for loss of access to property or damage to property-line walls upon construction of streets, alleys, curbs and gutters.
- Separate permits are required for retaining walls, garden walls and fences.
- Gates in walls or fences on private or public property shall not swing over sidewalks, streets, alleys or other public rights-of-way.

INTERNATIONAL RESIDENTIAL CODE
UPC, UMC, NEC

UNIFORM ADMINISTRATIVE CODE OF THE CITY OF ALBUQUERQUE
(505) 924-39 _____

- NOTE: Plans shall be drawn to scale and shall be of sufficient clarity to indicate the nature and extent of the work proposed and show in detail that it will conform to the provisions of the technical codes and all relevant laws, ordinances, rules and regulations.

DESCRIPTION OF WORK

SIZE OF BLDG. (SQ. FT.) 360 SF OCCUPANCY GROUP U

CONSTRUCTION TYPE VB BUILDING CODE EDITION (YR) 2006

PLANS DISAPPROVED _____ DATE _____

PLANS APPROVED Abraham DATE 7-17-10

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

HYDROLOGY

FLOOD HAZARD ORDINANCE CERTIFICATION
(505) 924-3982

THIS SITE IS IN FLOOD HAZARD ZONE _____

- ☐ IF ZONE X, NO ADDITIONAL APPROVALS ARE REQUIRED.
- ☐ IF ZONE AE OR AH,
 - THE FINISHED FLOOR ELEVATION SHALL BE _____
 - AN ELEVATION CERTIFICATE IS REQUIRED PRIOR TO ISSUING OF A BUILDING PERMIT.
- ☐ IF ZONE A OR AO (BASE FLOOD ELEVATION NOT DETERMINED), AN APPROVED GRADING AND DRAINAGE PLAN IS REQUIRED PRIOR TO ISSUING OF A BUILDING PERMIT.

PLANS DISAPPROVED _____ DATE _____

PLANS APPROVED _____ DATE _____

- SEPARATE CERTIFICATION Is required prior to issuing of a Certificate of Occupancy. Certification includes either an Elevation Certificate or a certified grading plan based upon as-built conditions.
- Elevation Certificate forms are available at the Development Services Center, 600 Second Street, N.W., Albuquerque, New Mexico.
- All grading undertaken to construct this home shall be in compliance with the approved grading and drainage plan filed in the City Engineer's office.

ZONING ENFORCEMENT

COMPREHENSIVE CITY ZONING CODE, 14-16, ROA 1994
(505) 924-3849

CITY ZONE R-1 ZONING MAP M-23 LOT ACREAGE _____

CASE/FILE NO. _____

USE Wall

- CAUTION ON LOCATION OF STRUCTURE: City approval is contingent upon correct information being received from the owner's agent (architect, engineer, etc.). Zoning approval is for structures sited exactly as specified on these plans. Setbacks are measured from the lot lines. The lot line at the street right-of-way is not necessarily the curb or the edge of the sidewalk.

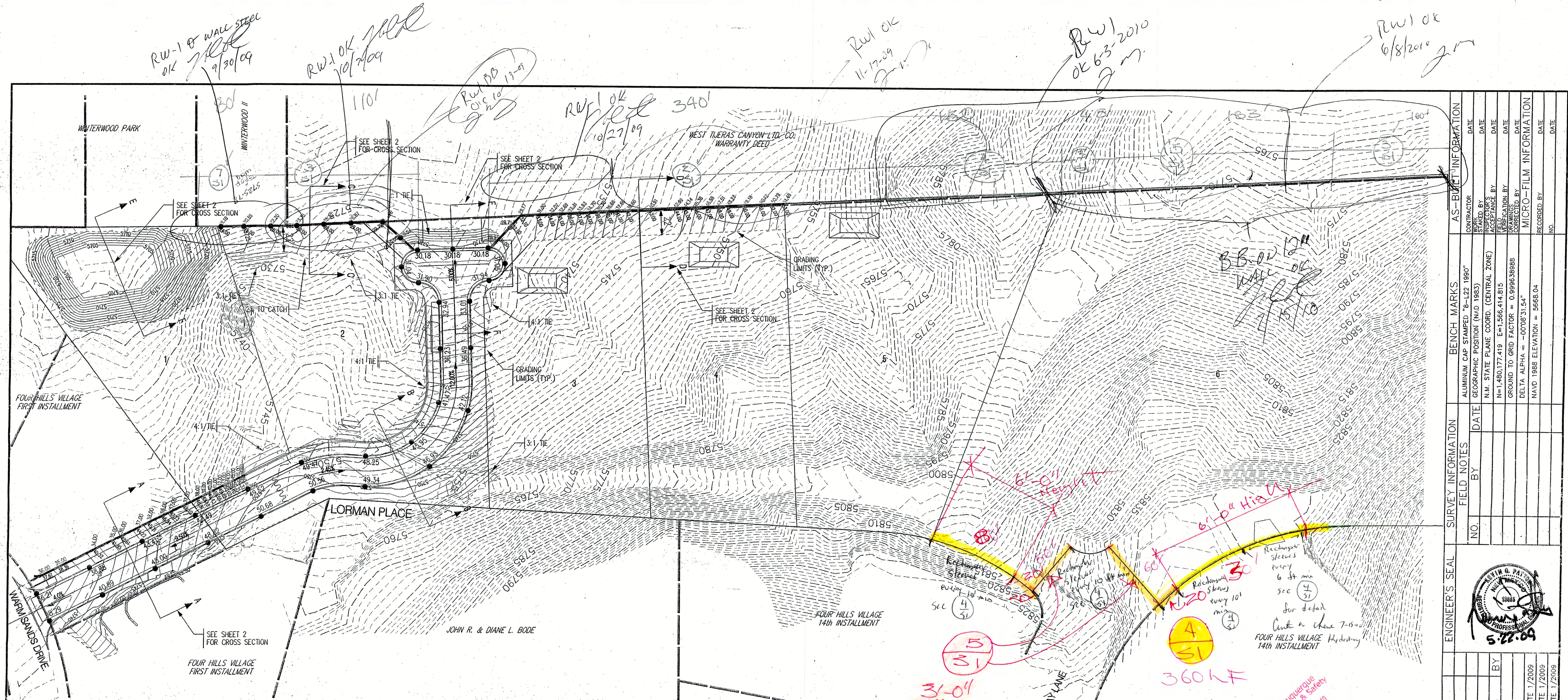
- \$ _____ Park Development Fee, Park Dedication and Development Ordinance, Sections 14-9-3(A) and (B), ROA 1994.
- Landscaping and irrigation shall be designed, installed, maintained and operated as required by the Water Conservation, Landscaping and Water Waste Ordinance, 6-1, ROA 1994.
- All construction shall be in compliance with the Solar Permit Ordinance, 14-11, ROA 1994. City approval of plans is not a guarantee of compliance with any private solar rights which may be recorded with the County Clerk pursuant to Section 14-9-1, NMSA, 1978.

PLANS DISAPPROVED _____ DATE _____

PLANS APPROVED Photo DATE Photo

PLANS CORRECTIONS REQUIRED:
(INDICATE ORDINANCE SECTION REFERENCE)

3ft soft setback, then 6ft high wall



GENERAL NOTES

1. A GRADING/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORTS THAT WILL BE PREPARED AT A LATER DATE
3. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS, AND APPROVALS.
5. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
7. ALL TIEBACKS ARE 4:1 UNLESS OTHERWISE NOTED
8. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
9. CONTRACTOR SHALL COORDINATE WITH PNM PRIOR TO ANY GRADING WITHIN 50' PNM EASEMENT TO COORDINATE POLE HEIGHT ADJUSTMENTS & TREATMENTS

LEGEND

PROPOSED SPOT	● 5235.25
EXISTING SPOT	○ 5235.25
LIMITS OF GRADING	-----
EXISTING CONTOUR	--- 5910 ---
PROPOSED CONTOUR	— 5910 —
FLOW DIRECTION ARROW	→
EXISTING STORM DRAIN LINE	--- SD ---
PROPOSED STORM DRAIN INLET	
PROPOSED STORM DRAIN LINE	====
PROPOSED STORM DRAIN MANHOLE	⊙
TRACT BOUNDARY	~~~~~
HIGH POINT	~~~~~
LOW POINT	~~~~~
RETAINING WALL	=====
EXISTING WALL	=====
FUTURE POND	

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Fri, 22-MAY-2009 - 10:25AM, Plotted by: bpatterson

BHI JOB NO. 080340

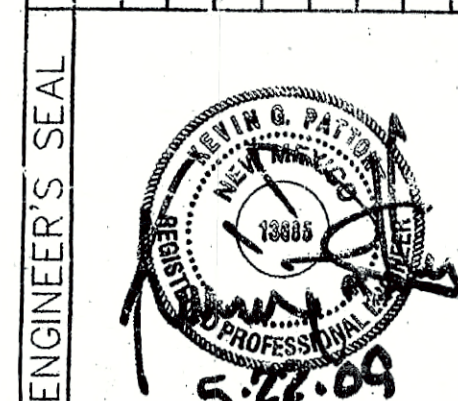
Bradley L. Bingham 7/10/09
Approved for Rough Grading

Bohannon & Huston Courtney 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES	
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT	
FOUR HILLS VILLAGE 21st INSTALLMENT GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
CITY PROJECT NO. 523381	ZONE MAP NO. M-23-Z
SHEET 1 OF 2	

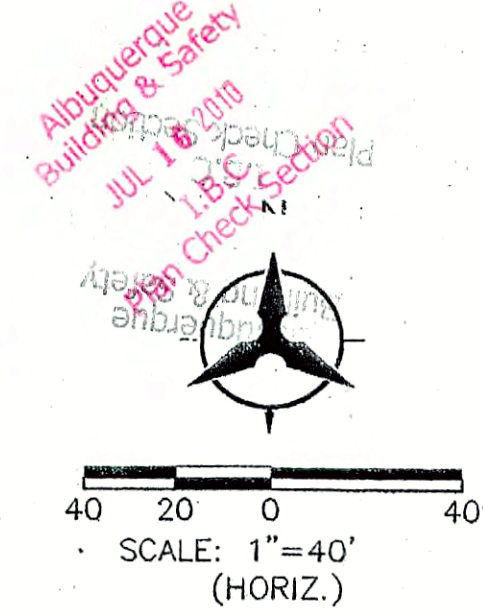
AS-BUILT INFORMATION		
CONTRACTOR	DATE	
WORK PERFORMED BY	DATE	
INSPECTOR'S ACCEPTANCE BY	DATE	
FIELD VERIFICATION BY	DATE	
DRAWINGS CORRECTED BY	DATE	
MICRO-FILM INFORMATION		
RECORDED BY	DATE	

BENCH MARKS.	
ALUMINUM CAP STAMPED "B-122 1990"	
GEOGRAPHIC POSITION (NAD 1983)	
N.M. STATE PLANE COORD. (CENTRAL ZONE)	
N=1,480,177.419 E=1,566,414.815	
GROUND TO GRID FACTOR = 0.999638988	
DELTA ALPHA = -00°08'31.54"	
NAVD 1988 ELEVATION = 5668.04	

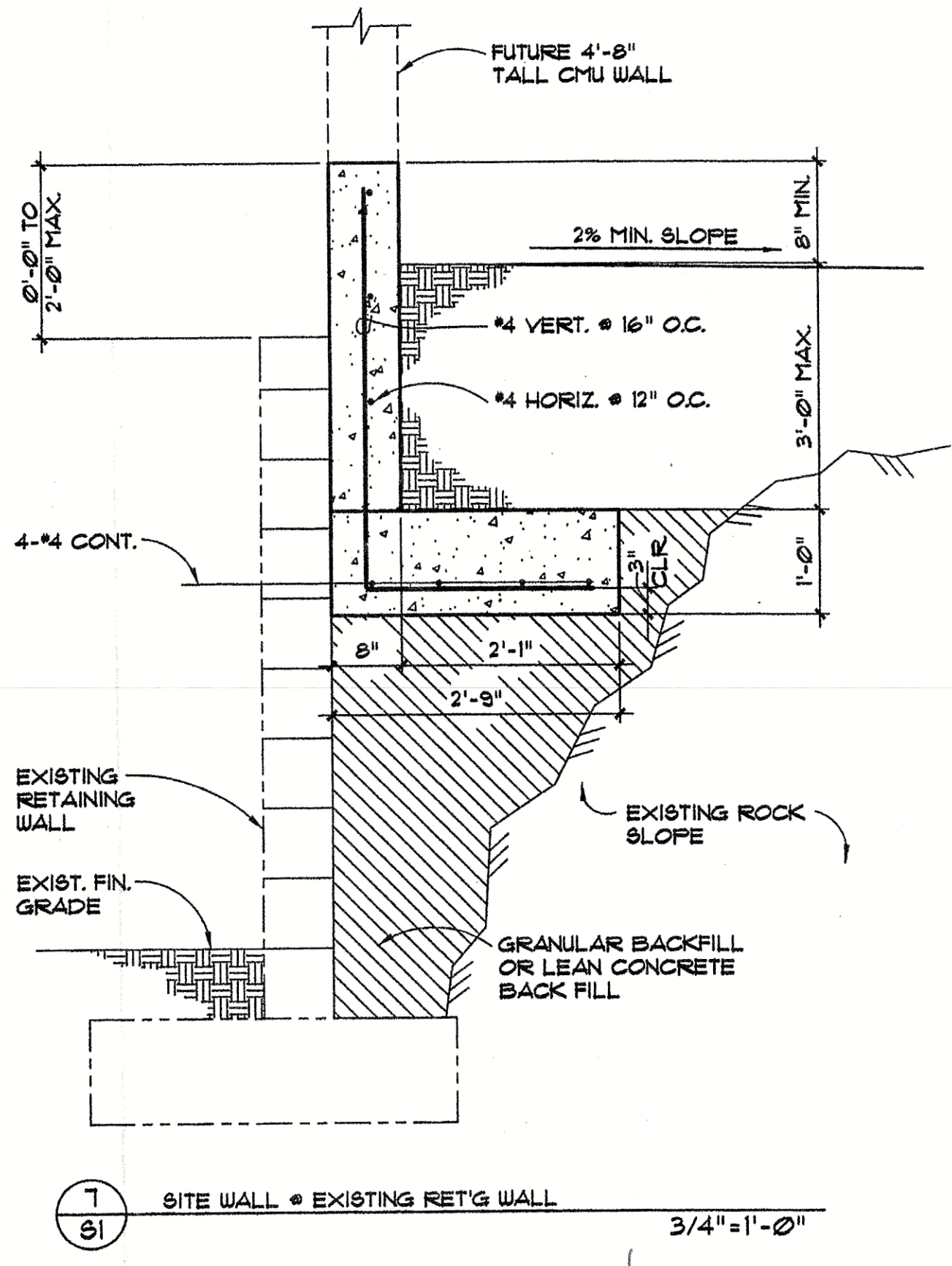
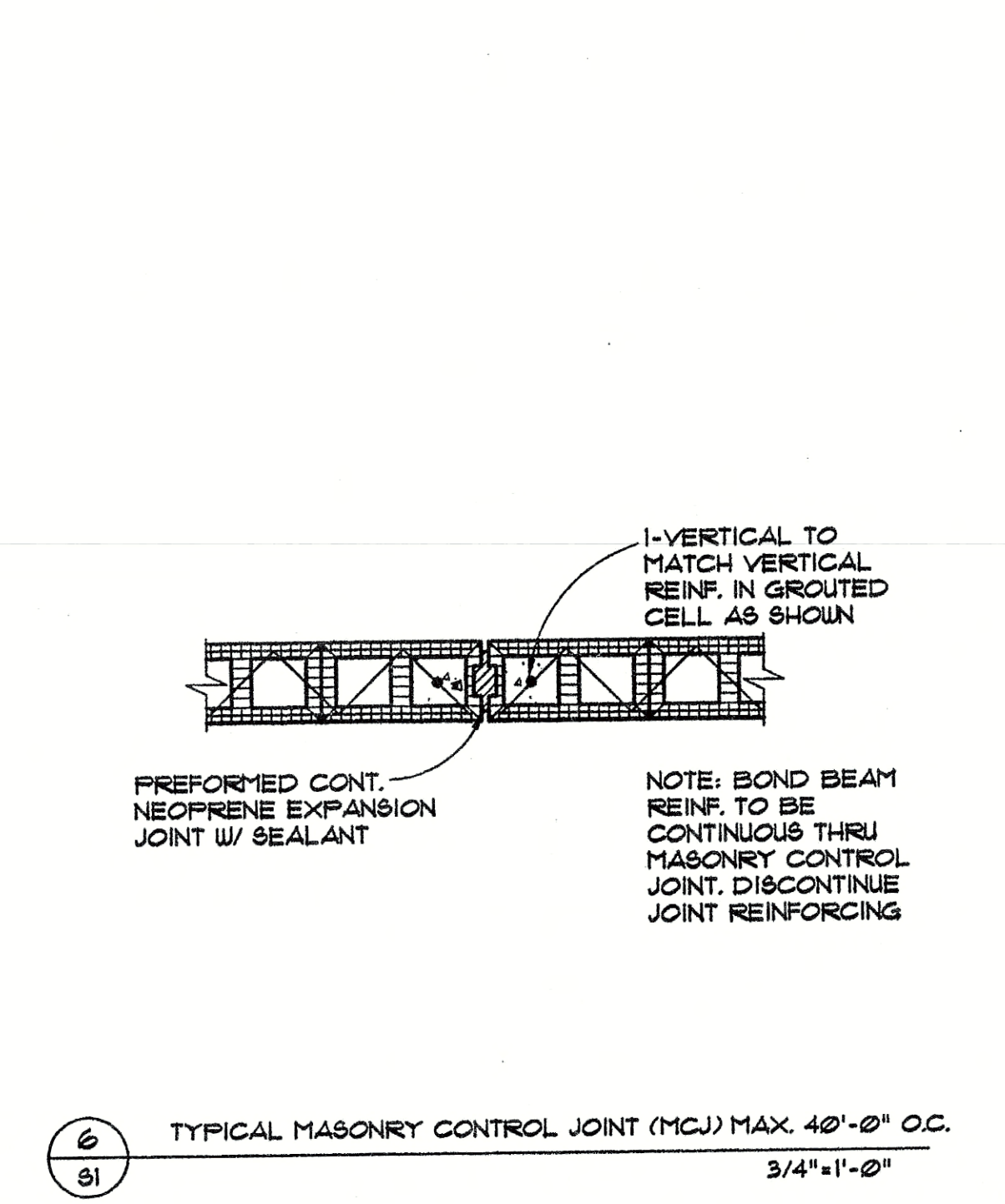
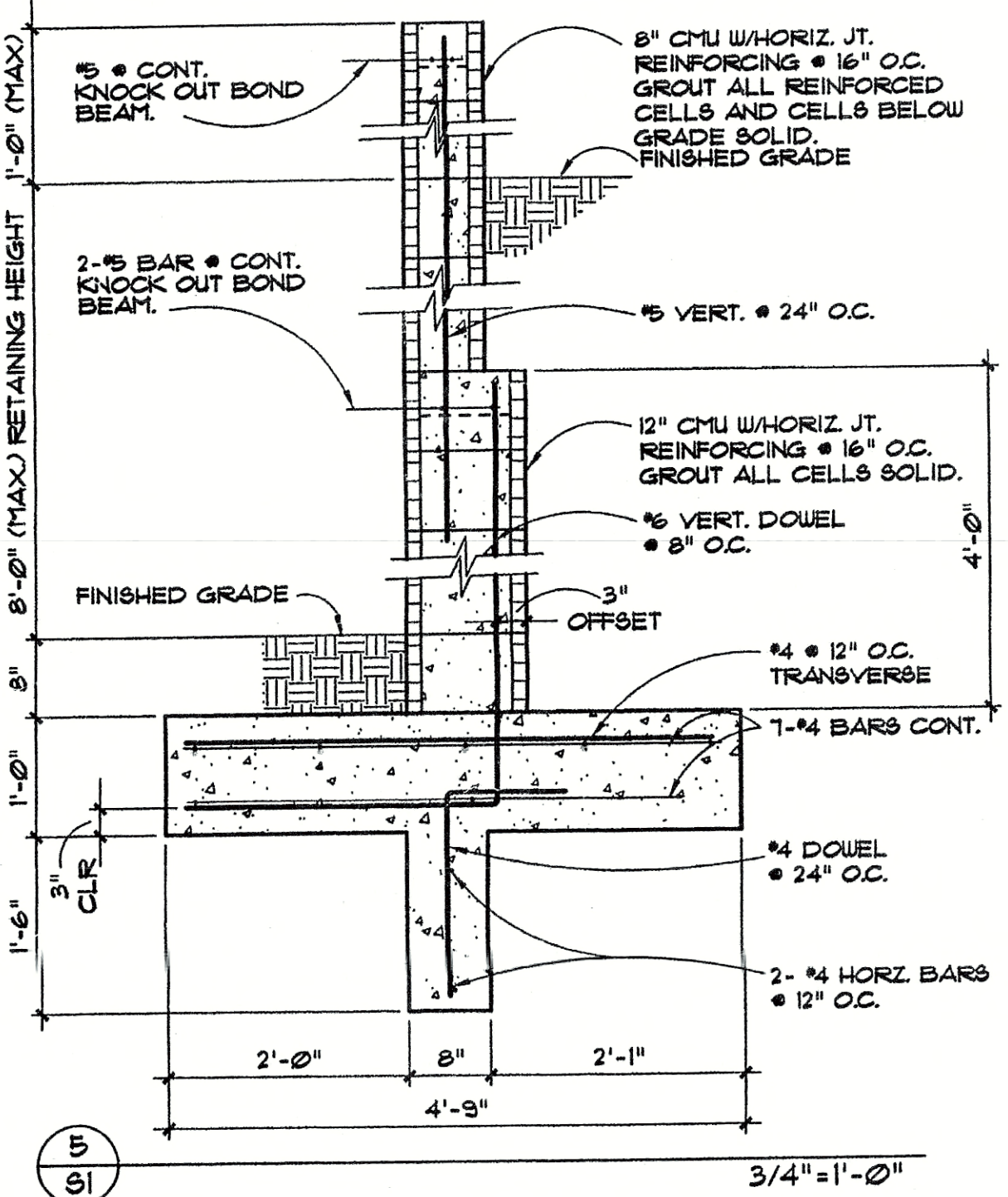
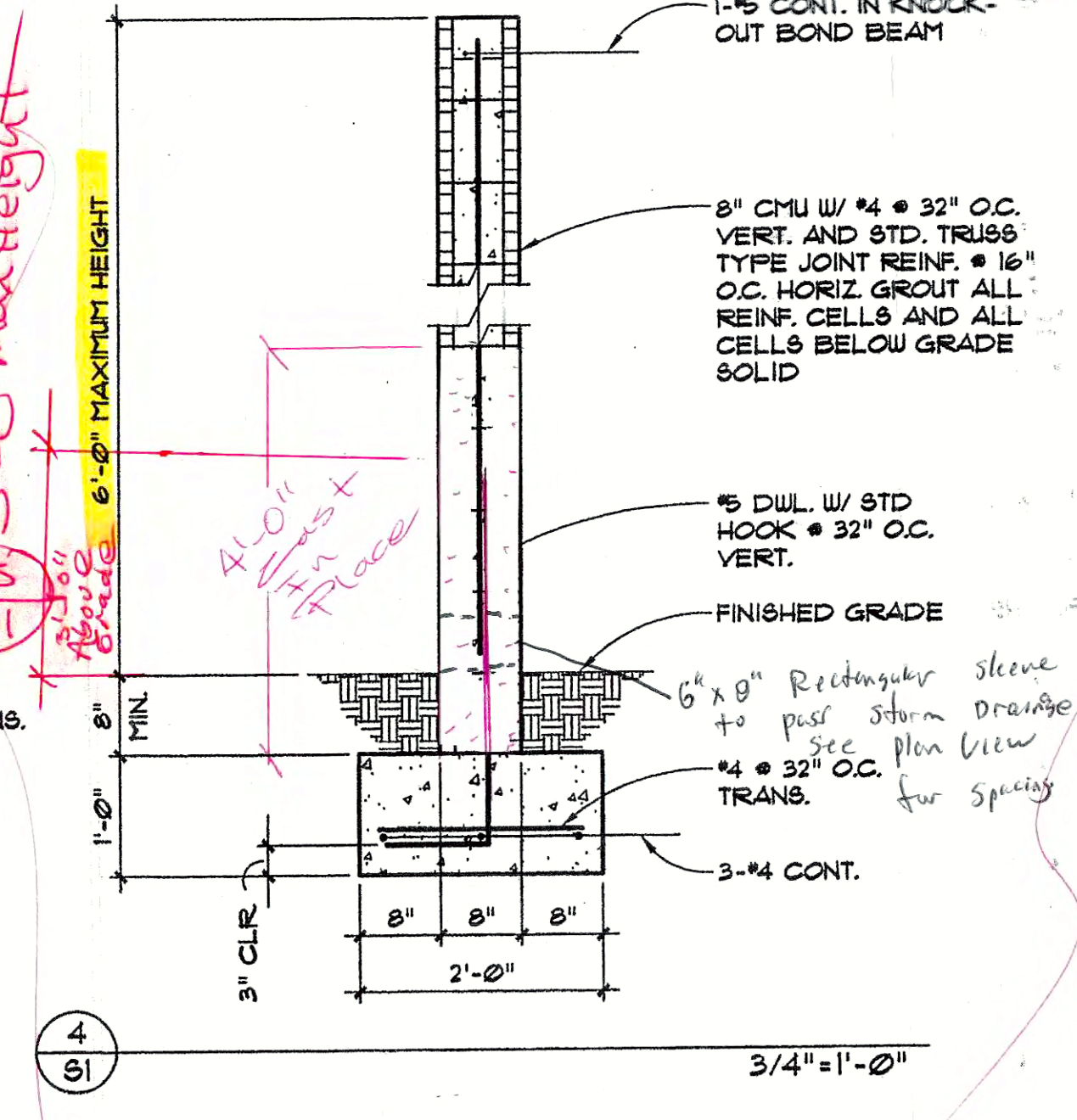
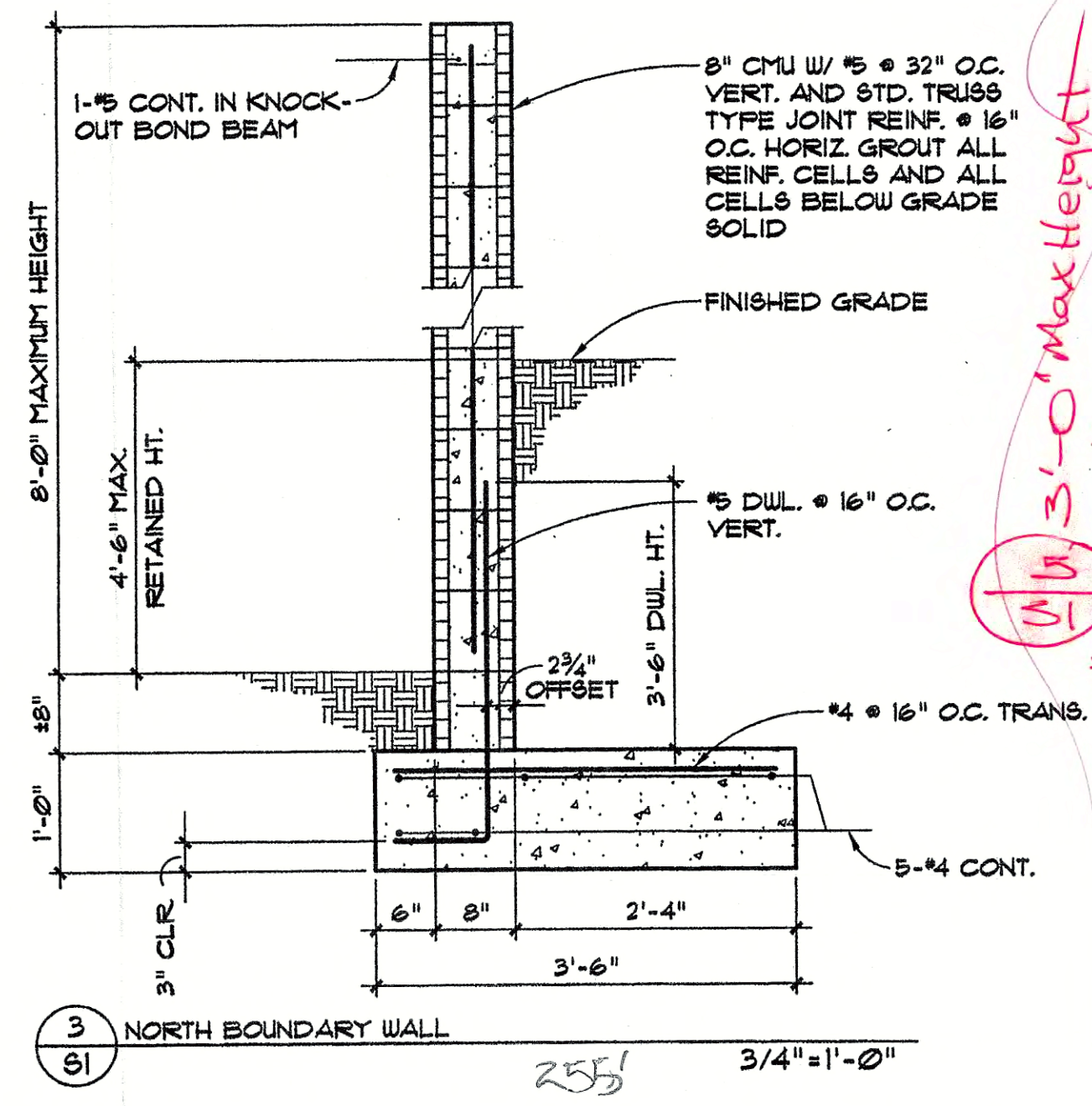
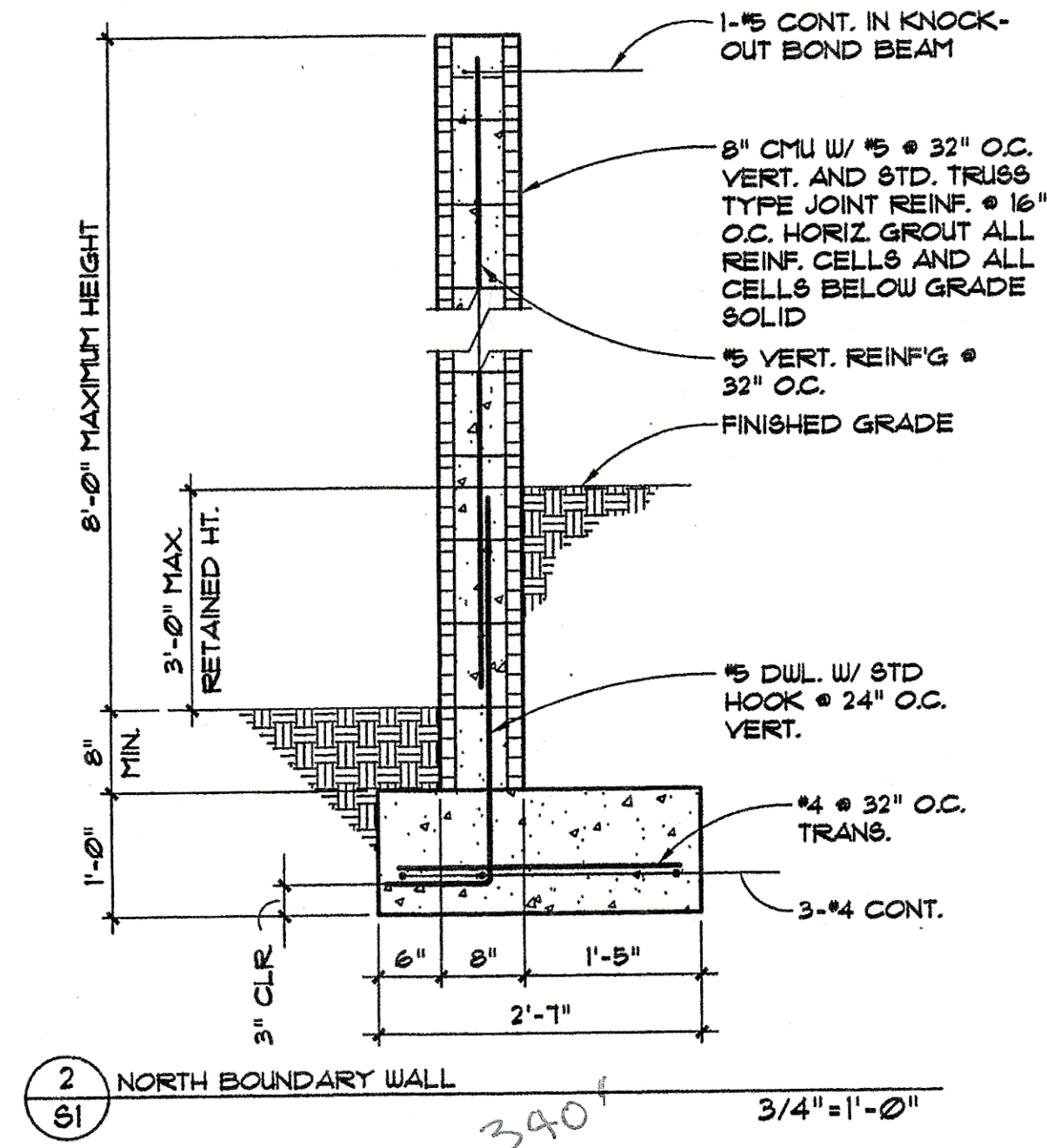
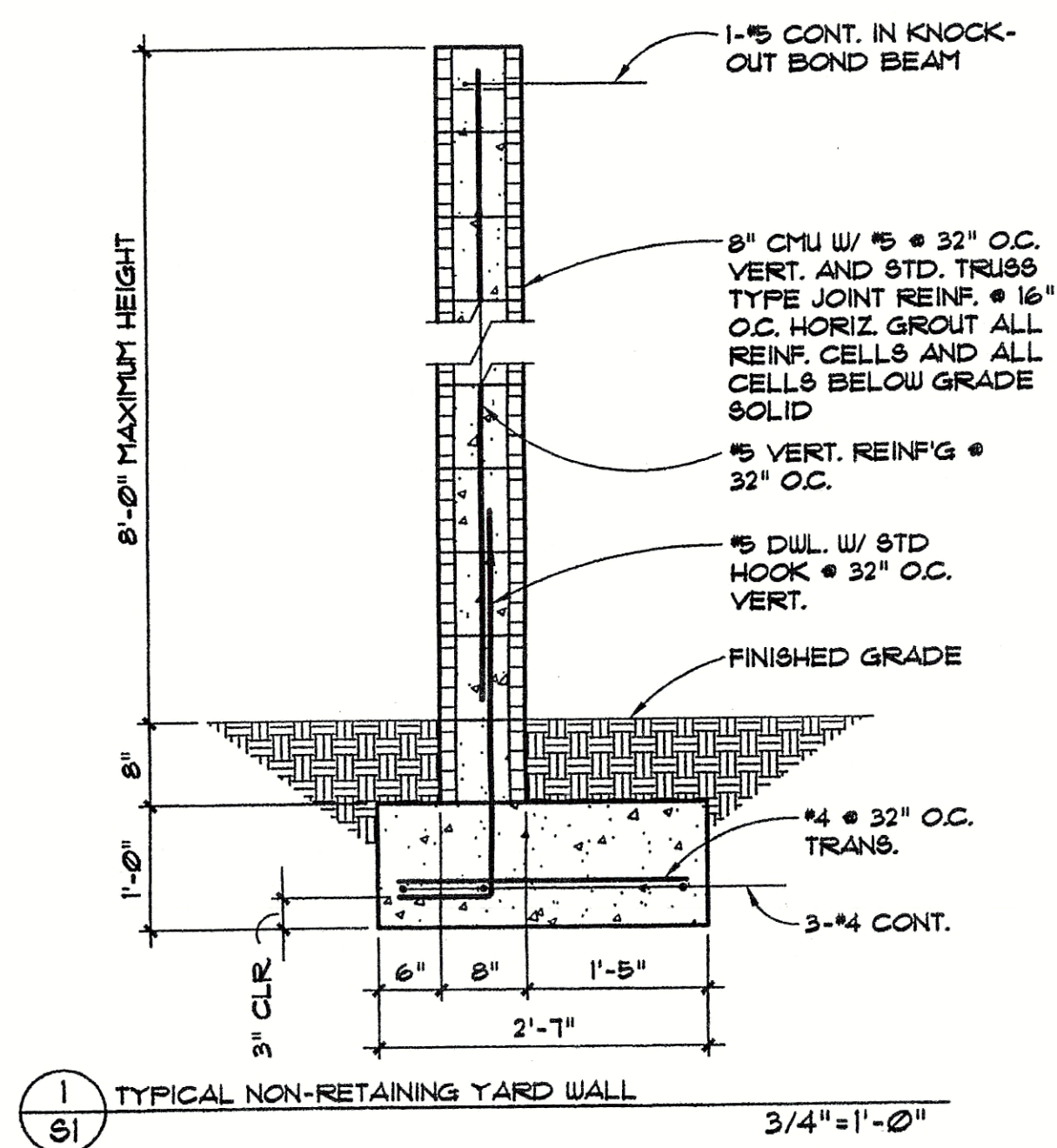
SURVEY INFORMATION	FIELD NOTES	DATE
NO.	BY	



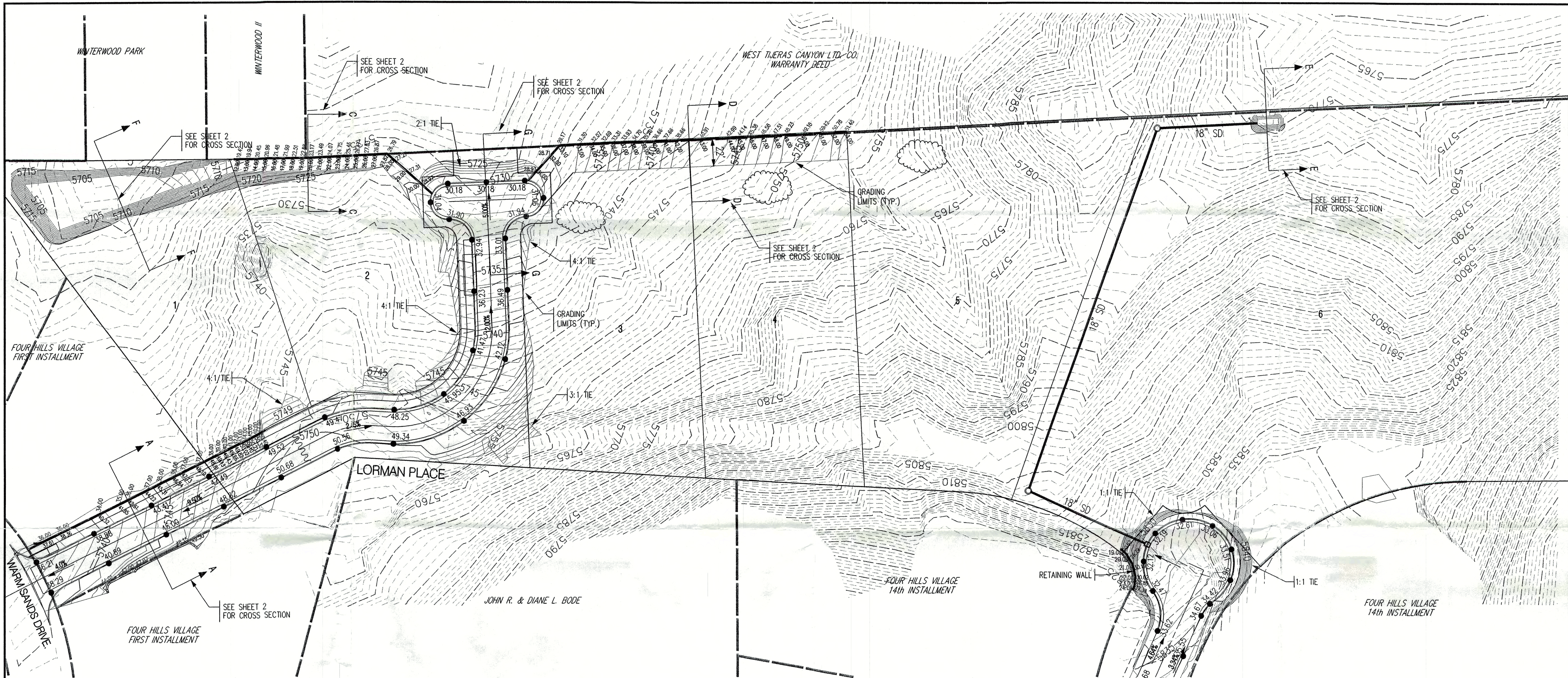
ENGINEER'S SEAL	REVISIONS	DATE
	NO. DATE	
	BY	
	REMARKS	
	DESIGN	
	DATE 1/2009	
	DRAWN BY YPM / BCP	
	DATE 1/2009	
	CHECKED BY YPM	
	DATE 1/2009	



6FT TUBULAR STEEL FENCE
HIGH



Aboukharque
Building & Safety
JUL 16 2010
Plan Check Section

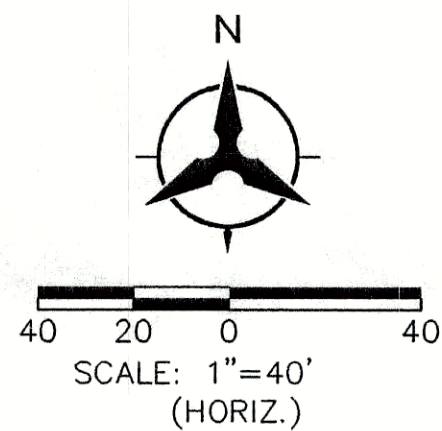


GENERAL NOTES

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LIMITS OF GRADING	-----
EXISTING CONTOUR	--- 5910 ---
PROPOSED CONTOUR	—— 5910 ——
FLOW DIRECTION ARROW	←
EXISTING STORM DRAIN LINE	== SD ==
PROPOSED STORM DRAIN INLET	▬
PROPOSED STORM DRAIN LINE	===
PROPOSED STORM DRAIN MANHOLE	⊙
TRACT BOUNDARY	~~~~~
HIGH POINT	~~~~~
LOW POINT	▬
RETAINING WALL	▬
EXISTING WALL	▬
FUTURE POND	⊙



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Tue, 28-APR-2009 - 10:33AM, Plotted by: bpatterson

BHI JOB NO. 080340

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	FIELD NOTES	ALUMINUM CAP STAMPED "8-L22 1990"	CONTRACTOR	DATE
NO.	DATE	FIELD NOTES	N.M. STATE PLANE COORD. (CENTRAL ZONE)	INSPECTOR'S ACCEPTANCE BY	DATE
NO.	DATE	FIELD NOTES	GROUND TO GRID FACTOR = 0.999638988	DRAWING BY	DATE
NO.	DATE	FIELD NOTES	DELTA ALPHA = -0.00831.54"	MICRO-FILM INFORMATION	DATE
NO.	DATE	FIELD NOTES	NAVD 1988 ELEVATION = 5668.04	RECORDED BY	DATE



REVISIONS		DESIGN	
NO.	DATE	BY	DATE
1	1/2009	YPM / BCP	1/2009
2	1/2009	ARR / BCP	1/2009
3	1/2009	YPM	1/2009

Bohannon & Huston Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES			
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT			
FOUR HILLS VILLAGE 21st INSTALLMENT GRADING PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	523381	ZONE MAP NO.	M-23-Z
		SHEET	1 OF 2

LINE	BEARING	DISTANCE
L1	S 02°17'56" E	20.09

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	229.65'	179.49'	174.96'	S 67°13'12" W	44°46'52"
C2	25.00'	35.45'	32.55'	S 89°45'38" W	81°14'03"
C3	215.35'	137.50'	135.17'	N 68°37'28" W	36°34'55"
C4	235.35'	145.96'	145.89'	S 81°19'14" E	11°11'24"



GENERAL DRAINAGE PLAN NOTES:

- It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
- This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
- It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
- All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
- All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
- Contact or shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
- Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

GRADING
6-11-21
1-30
ALU0121L

WEST TIERAS CANYON LTD. CO
WARRANTY DEED
FILED AUGUST 13, 1973
BOOK 116616, PAGES 74-78

SURVEY GENERAL NOTES:

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "AGGIE", HAVING AN ELEVATION OF 5793.12', NAVD 1988
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.

PARCELS A & D
CITY OF ALBUQUERQUE
FILED JUNE 11, 1984
BOOK 024, PAGE 52

DRAINAGE PLAN

SCOPE:

The Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One single family home is proposed on the subject property, with associated access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 2.89 acre site is undeveloped. The site is bounded on the west and south by private residential property, on the north and east by city property and on south by Hideaway Ln. SE. The site is vegetated with native grasses and shrubs and rock. Site topography slopes from the center of the lot to the north to an existing depression/pond. As shown on FEMA Panel #386G, the site is not located in a flood plain.

PROPOSED CONDITIONS:

As shown by the plan, the proposed structure is located within the center portion of the lot. Flows from the south, and east will continue to cross the site as currently flowing as shown on the plan. On site flows will drain around the structures via swales, and flow to the north to the existing pond along the northerly of the lot. All roof drainage will discharge from the roof to the lot and be directed around the structures to existing drainage paths and new ponding area. The amount of runoff due to development will be retained on site in the existing pond as shown.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions

PROPERTY ADDRESS:

1200 Hideaway Ln SE, Albuquerque, NM 87123

TOPOGRAPHY:

Topographic information provided by Anthon Harris, dated October 2020.

Precipitation Zone = 4							
Depth at 100-year, 6-hour storm:							
Land Treatments:							
Areas: (acres)	Existing	Proposed	POND (EXISTING) VOLUME PROVIDED				
Treatment A	2.89	1.90	ELEV	AREA	VOL		
Treatment B	0.00	0.44	5782	12570	10108		
Treatment C	0.00	0.25	5781	7646	4930.5		
Treatment D	0.00	0.30	5780	2215			
Total (acres) =	2.89	2.89	SUB-TOTAL			15038.5	CF
Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed	
Volume (acre-feet) =	0.19	0.26	0.07	0.12	0.00	0.04	
Volume (cubic feet) =	8,393	11,442	2,937	5,169	210	1,659	
POND VOLUME REQUIRED = (11442-8393) = 3049 CF							
OR = 14764-11442 = 3322 CF							
FIRST FLUSH POND VOL = 0.34/12*0.3*43560 = 370 CF							
Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A	
Treatment A	6.36	4.18	2.51	1.65	0.14	0.10	
Treatment B	0.00	1.28	0.00	0.64	0.00	0.17	
Treatment C	0.00	0.93	0.00	0.57	0.00	0.25	
Treatment D	0.00	1.58	0.00	1.07	0.00	0.65	
Total Q (cfs) =	6.36	7.97	2.51	3.93	0.14	1.16	
√ (10 day) = V (360) + A (D) * (P10day-P360)/12 in/ft = 0.3389 ac-ft							
= 14764 cu-ft							

Jackie S. McDowell
Professional Engineer
6-21-21
REV. 8-17-21

ENGINEER'S CERTIFICATION:
I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on June 9, 2021, and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

200 Hideaway Ln SE, Albuquerque, NM 87123			CITY OF ALBUQUERQUE, BERNALILLO COUNTY		NEW MEXICO		
LOT 6							
FOUR HILLS VILLAGE 21st INSTALLMENT							
ALIKHANI, NASER – GRADING & DRAINAGE PLAN							
McDowell Engineering, Inc.							
Designed	JSM	Drawn	STAFF	Checked	JSM	Sheet	of
File	ALI0121L		Date	JUNE,2021		1	1