

CITY OF ALBUQUERQUE

Planning Department

Brennon Williams, Acting Director



Timothy M. Keller, Mayor

January 3, 2018

Lou Gibney, Operations Manager
DR Horton
4400 Alameda Blvd NE Suite B
Albuquerque, NM 87113

**RE: 3147 & 3151 Erratic St. SW Drainage Complaint against
Anderson Heights Unit 7 (N08D006C)**

Dear Mr. Gibney,

The purpose of this letter is to recommend solutions to the drainage complaint that you filed in September 2017. You said that these two lots flood so badly that DR Horton had to buy these homes back from the people that you built them for. The subdivision was developed by KB Homes from 2003 to 2007. In 2003 the blanket public drainage easements were granted to the City of Albuquerque on Parcels A and B of the Anderson Heights Bulk Plat. The 2006 amended preliminary plat showed a Special Flood Hazard Zone "A" on these two lots and on Parcel B upstream of these lots which was later removed after the developer completed the construction of the South Power Line Diversion in 2008. However, a remnant of that arroyo remains where the floodplain used to be on undeveloped Parcel B, 28 acres, owned now by West Albuquerque Land Holdings.

The Grading and Drainage Plan with engineer's stamp dated 12/13/07 showed a diversion of the on Parcel B which the Engineer's Certification dated 4/15/2008 says "has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan". However the diversion on Parcel B was not constructed.

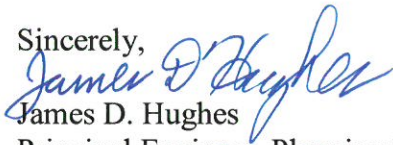
The diversion as designed in 2007 included the construction of an 8' high retaining wall on the boundary between these lots and Parcel B. It is unclear whether or not the wall was constructed according to the 2007 plan because it may not be high enough and it may not have been constructed to hold back as much fill as was originally planned.

The grading of the diversion which included the backfill against the Parcel B side of the wall does not appear to have ever been constructed. So anyone placing backfill now will be responsible for proving the adequacy of that wall and will be required to submit structural plans for the wall stamped by an engineer.

The blanket drainage easement on parcel B gives the City the right to enter the property and construct whatever drainage improvement is deemed necessary to protect the public safety. But, since all of the drainage comes from private property owned by WALH, no public drainage is involved, so the improvements will not be constructed by the City and they won't be maintained by the City unless they are constructed to City standards. A temporary solution such as a retention pond or diversion on Parcel B can be constructed and maintained by any of the interested parties provided that they first obtain the appropriate permits. A Grading and Drainage Plan for such a solution should be officially submitted to City Hydrology along with a DTIS form and should include structural plans certified by a registered professional engineer if any fill is to be placed against the existing wall.

A temporary retention pond sized for the excess precipitation from the 100 year storm (0.44" x 28 ac = about 1700 cy) seems to be the simplest and least expensive solution. If a dam could be constructed to hold that much volume without moving more than 500 cy it would not even require a grading permit.

Sincerely,



James D. Hughes

Principal Engineer, Planning Dept.
Development Review Services

Bulk Land Plat of
Parcels A and B
Anderson Heights
Albuquerque, Bernalillo County, New Mexico
October 2003

PARCEL 2-C
LANDS OF RIO BRAVO PARTNERS
(4/17/1996, 96C-160)

PARCEL 2-D
LANDS OF RIO BRAVO PARTNERS
(4/17/1996, 96C-160)

TRACT B-1
ROSENER TRACT
(03/27/2003, 2003C-80)

TRACT I
SALAZAR-DAVIS TRACTS
(5/6/1986, C30-91)

TRACT B
ARROWOOD RANCH DEVELOPMENT
(12/06/2002, 200C-390)

TRACT A
ARROWOOD RANCH DEVELOPMENT
(12/06/2002, 200C-390)

EXISTING 86' PUBLIC ROADWAY
EASEMENT-SUBJECT TO MODIFICATION
WITH CITY OF ALBUQUERQUE APPROVAL
(4/17/1996, 96C-160)

EXISTING 200' AMAFCA DRAINAGE
EASEMENT-SUBJECT TO MODIFICATION
WITH AMAFCA APPROVAL
(4/17/1996, 96C-160)

EXISTING 150' AMAFCA DRAINAGE
EASEMENT-SUBJECT TO MODIFICATION
WITH AMAFCA APPROVAL
(4/17/1996, 96C-160)

A.C.S. MONUMENT "BETTER"
STANDARD U.S.C. & G.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=344,698.31
Y=1,459,465.95
GROUND TO GRID FACTOR=0.99996167
DELTA ALPHA ANGLE=-017'32"

A.C.S. MONUMENT "TRANS"
STANDARD U.S.C. & G.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=354,899.45
Y=1,471,822.87
EL=9118.370 - NGVD 1929
GROUND TO GRID FACTOR=0.999967821
DELTA ALPHA ANGLE=-016'42"

EXISTING 38' PUBLIC DRAINAGE,
WATER & SANITARY SEWER EASEMENT
(12/06/2002, 200C-390)

EXISTING 46' PUBLIC DRAINAGE,
WATER & SANITARY SEWER EASEMENT
(12/06/2002, 200C-390)

EXISTING 56' PUBLIC ROADWAY,
WATER & SANITARY SEWER EASEMENT
(12/06/2002, 200C-390)

A BLANKET PUBLIC DRAINAGE EASEMENT
ACROSS PARCELS "A" AND "B" IS GRANTED
TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
FUTURE DEVELOPMENT IS SUBJECT TO DRAINAGE
REQUIREMENTS OUTLINED IN THE AMOLE-HUBBELL
DRAINAGE MANAGEMENT PLAN.

UN-PLATTED LANDS OF
WESTLAND DEVELOPMENT CO., INC.
(4/17/1996, 96C-160)

R=3078.00'
L=514.69'
Δ=09°34'51"
TAN=257.95
CH=N 06°30'00" W
514.09'

R=3078.00'
L=68.98'
Δ=01°17'03"
TAN=34.49
CH=N 02°21'06" W
68.98'

R=3078.00'
L=445.71'
Δ=08°17'48"
TAN=223.24
CH=N 07°08'32" W
445.32'

Parcel B
Area=28.3199 Acres±
1,233,615 Square Feet±

Parcel A
Area=68.8160 Acres±
2,997,625 Square Feet±

Dennis Chavez Boulevard, S.W.
State Road 500
(ROW VARIES)

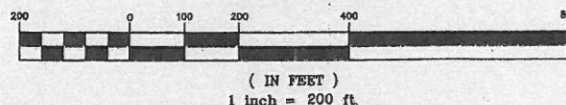
New Mexico Project No. SD-4008(206)

UN-PLATTED LANDS OF
WESTLAND DEVELOPMENT CO., INC.
"SOUTH TRACT" PER JUDGEMENT
FILED IN THE OFFICE OF THE DISTRICT
COURT ON FEBRUARY 10, 1977
(CASE NO. 8-76-03865)

Legend

(N 90°00'00" E)
RECORD BEARINGS AND DISTANCES
SHOWN IN PARENTHESES
N 90°00'00" E
MEASURED BEARING AND DISTANCES
O
DENOTES FOUND PROPERTY CORNER
AS NOTED
⑧
DENOTES REBAR W/YELLOW PLASTIC CAP
"PS 11993" SET BY THIS SURVEY

GRAPHIC SCALE



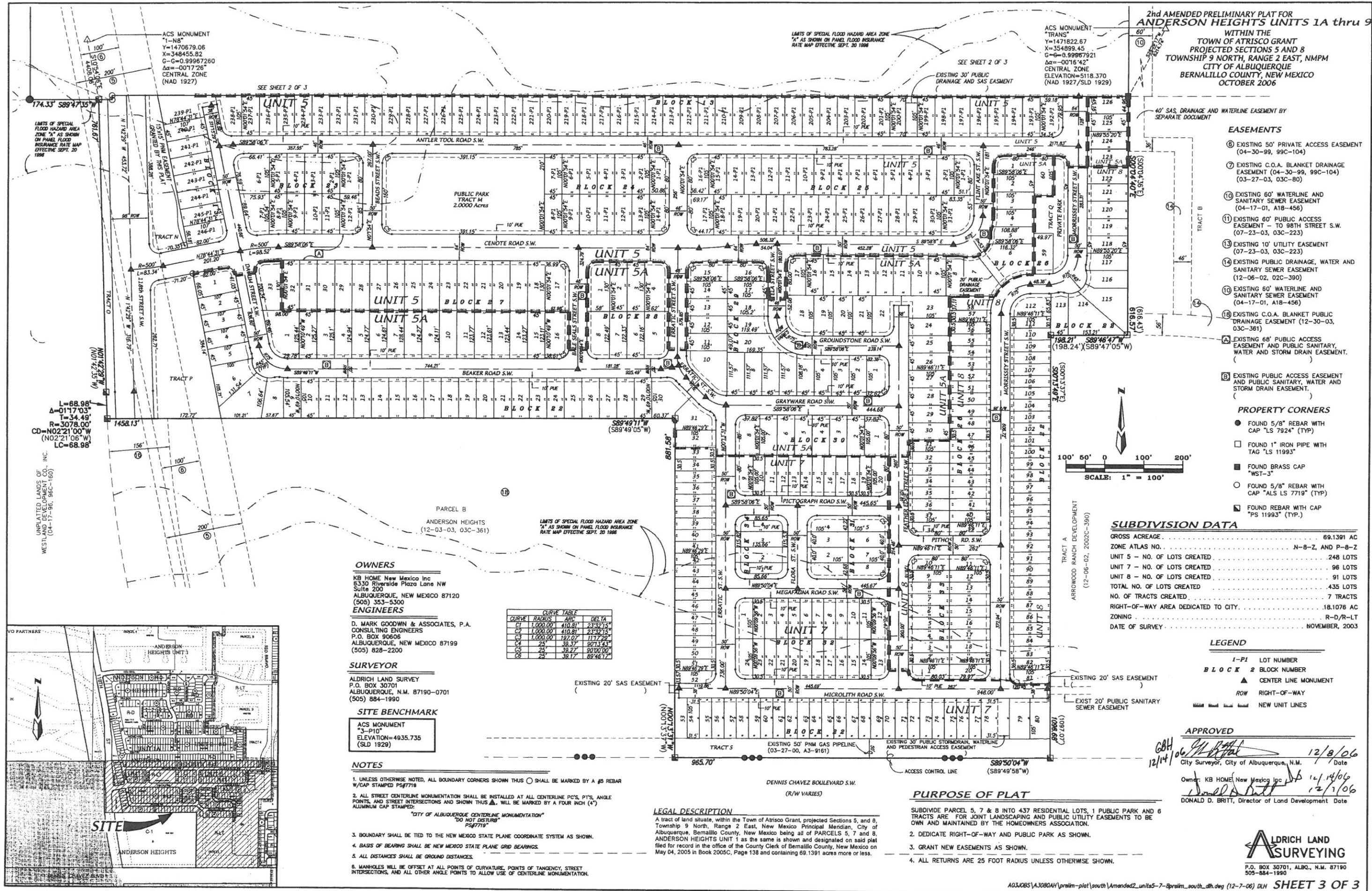
PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 1001765

Sheet 2 of 2

03544P



2nd AMENDED PRELIMINARY PLAT FOR
ANDERSON HEIGHTS UNITS 1A thru 9
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 5 AND 8
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2006

- EASEMENTS**
- ⑥ EXISTING 50' PRIVATE ACCESS EASEMENT (04-30-99, 99C-104)
 - ⑦ EXISTING C.O.A. BLANKET DRAINAGE EASEMENT (04-30-99, 99C-104) (03-27-03, 03C-80)
 - ⑩ EXISTING 60' WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
 - ⑪ EXISTING 60' PUBLIC ACCESS EASEMENT - TO 98TH STREET S.W. (07-23-03, 03C-223)
 - ⑬ EXISTING 10' UTILITY EASEMENT (07-23-03, 03C-223)
 - ⑭ EXISTING PUBLIC DRAINAGE, WATER AND SANITARY SEWER EASEMENT (12-06-02, 02C-390)
 - ⑮ EXISTING 60' WATERLINE AND SANITARY SEWER EASEMENT (04-17-01, A18-456)
 - ⑯ EXISTING C.O.A. BLANKET PUBLIC DRAINAGE EASEMENT (12-30-03, 03C-361)
 - Ⓐ EXISTING 68' PUBLIC ACCESS EASEMENT AND PUBLIC SANITARY, WATER AND STORM DRAIN EASEMENT.
 - Ⓑ EXISTING PUBLIC ACCESS EASEMENT AND PUBLIC SANITARY, WATER AND STORM DRAIN EASEMENT.

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7924" (TYP)
 - FOUND 1" IRON PIPE WITH TAG "LS 11993"
 - FOUND BRASS CAP "WST-3"
 - FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - FOUND REBAR WITH CAP "PS 11993" (TYP.)

SUBDIVISION DATA

GROSS ACREAGE	69.1391 AC
ZONE ATLAS NO.	N-8-Z, AND P-8-Z
UNIT 5 - NO. OF LOTS CREATED	248 LOTS
UNIT 7 - NO. OF LOTS CREATED	96 LOTS
UNIT 8 - NO. OF LOTS CREATED	91 LOTS
TOTAL NO. OF LOTS CREATED	435 LOTS
NO. OF TRACTS CREATED	7 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	18.1076 AC
ZONING	R-D/R-LT
DATE OF SURVEY	NOVEMBER, 2003

- LEGEND**
- 1-P1 LOT NUMBER
 - BLOCK 2 BLOCK NUMBER
 - ▲ CENTER LINE MONUMENT
 - ROW RIGHT-OF-WAY
 - NEW UNIT LINES

APPROVED

City Surveyor, City of Albuquerque, N.M. Date 12/8/06

Owner: KB HOME New Mexico Inc. Date 12/14/06

DONALD D. BRITT, Director of Land Development Date 12/1/06

- PURPOSE OF PLAT**
- 1. SUBDIVIDE PARCELS 5, 7 & 8 INTO 437 RESIDENTIAL LOTS, 1 PUBLIC PARK AND 8 TRACTS ARE FOR JOINT LANDSCAPING AND PUBLIC UTILITY EASEMENTS TO BE OWN AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - 2. DEDICATE RIGHT-OF-WAY AND PUBLIC PARK AS SHOWN.
 - 3. GRANT NEW EASEMENTS AS SHOWN.
 - 4. ALL RETURNS ARE 25 FOOT RADIUS UNLESS OTHERWISE SHOWN.

LEGAL DESCRIPTION

A tract of land situated within the Town of Atrisco Grant, projected Sections 5 and 8, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of PARCELS 5, 7 and 8, ANDERSON HEIGHTS UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 04, 2005 in Book 2005C, Page 138 and containing 69.1391 acres more or less.

OWNERS

KB HOME New Mexico Inc
8330 Riverside Plaza Lane NW
Suite 200
ALBUQUERQUE, NEW MEXICO 87120
(505) 353-5300

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

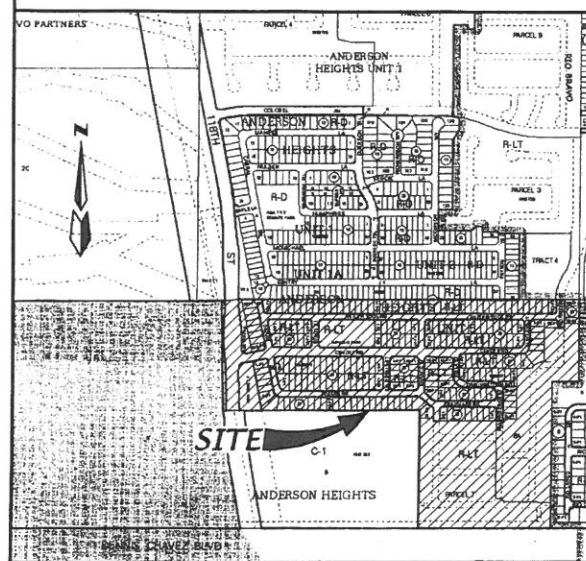
SITE BENCHMARK

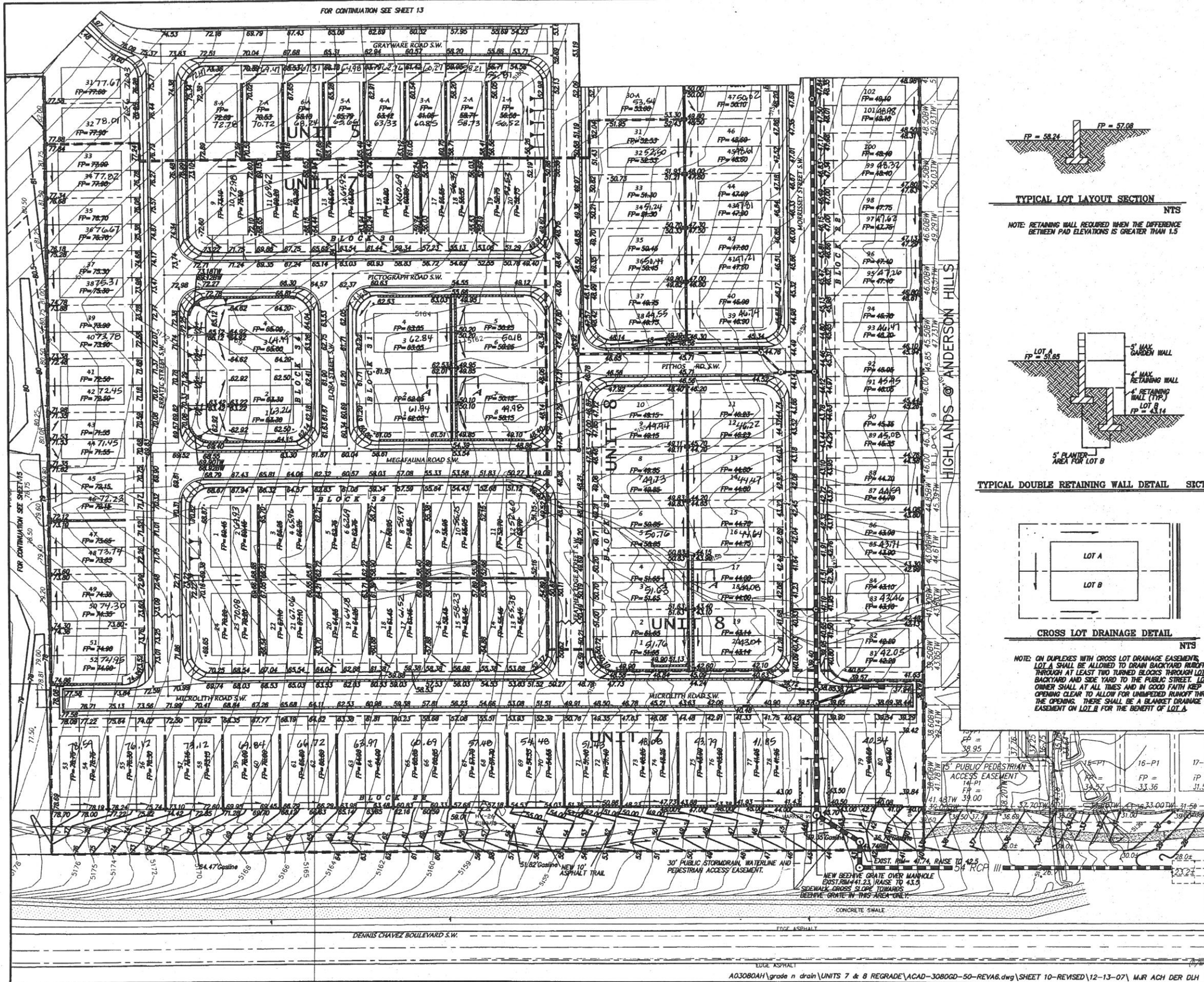
ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)

- NOTES**
1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
 2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲. WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
"PS#7719"
 3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 4. BASIS OF BEARINGS SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 5. ALL DISTANCES SHALL BE GROUND DISTANCES.
 6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

CURVE TABLE

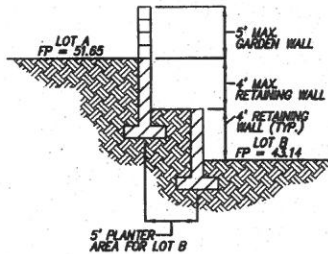
CURVE	RADIUS	ARC	DELTA
C1	1,000.00'	410.81'	213.21°
C2	1,000.00'	410.81'	213.21°
C3	1,000.00'	192.02'	117.29°
C4	25'	38.37'	90.11°
C5	25'	39.27'	90.00°
C6	25'	39.17'	89.48°



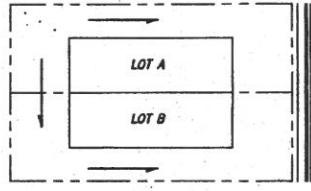


TYPICAL LOT LAYOUT SECTION

NOTE: RETAINING WALL REQUIRED WHEN THE DIFFERENCE BETWEEN PAD ELEVATIONS IS GREATER THAN 1.5

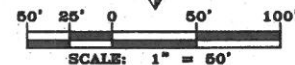


TYPICAL DOUBLE RETAINING WALL DETAIL SECTION A-A



CROSS LOT DRAINAGE DETAIL

NOTE: ON DUPLEXES WITH CROSS LOT DRAINAGE EASEMENTS, LOT A SHALL BE ALLOWED TO DRAIN BACKYARD RUNOFF THROUGH AT LEAST TWO TURNED BLOCKS THROUGH LOT B'S BACKYARD AND SIDE YARD TO THE PUBLIC STREET. LOT B OWNER SHALL AT ALL TIMES AND IN GOOD FAITH KEEP THIS OPENING CLEAR TO ALLOW FOR UNIMPEDED RUNOFF THROUGH THE OPENING. THERE SHALL BE A BLANKET DRAINAGE EASEMENT ON LOT B FOR THE BENEFIT OF LOT A.



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

FILE: **ANDERSON HEIGHTS UNIT 7 & 8
GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
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DESIGN REVIEW COMMITTEE	CITY ENGINEER'S APPROVAL

[illegible]

100

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CITY PROJECT NO.	ZONE
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ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		STATION "3-PIN" IS LOCATED 5.9 MI. SW. OF DOWNTOWN ALBUQUERQUE TO REACH STATION FROM INT. OF COORES AND DENNIS CHAVEZ BLVD. (FORMERLY 600 BRAND). GO S. ON COORES BLVD. 0.82 MI. TO THE STATION WHICH IS ON AN EARTHEN BERM 192.2' WEST OF THE CENTERLINE OF COORES BLVD. THE STATION IS A STANDARD ACS 3 1/4" ALUMINUM CAP WENT TO A PIPE 0.25' ABOVE THE GROUND AND IS STAMPED "3-PIN, 1996". MICRO-FILM INFORMATION		CONTRACTOR WORKED BY INSPECTED BY ACCEPTANCE BY VERIFICATION BY DRAWN BY CHECKED BY RECORDED BY DATE	
		NO.	BY				
DESIGNED BY	GJK	DATE	02/04				
DRAWN BY	MJR	DATE	02/04				
CHECKED BY	DMG	DATE	02/04				
REVISIONS		NO.	DATE				
DESIGN		BY	DATE				
REMARKS		NO.	DATE				

RECEIVED