

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2024

Ubaldo Muñoz, RA  
JEEBS & ZUZU, LLC.  
5924 Anaheim ave. NE Suite A  
Albuquerque, NM 87113

[ubaldo@jeebsandzuzu.com](mailto:ubaldo@jeebsandzuzu.com)

**Re: Little Minions Daycare Remodel**  
**10631 Groundstone Rd. SW**  
**Traffic Circulation Layout**  
Engineer's Stamp Dated 9-24-24 (N08D006C2)

Dear Mr. Muñoz,

The TCL submittal received 9-25-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Little Minions Daycare Remodel **Building Permit #:** TBD **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LT 20-A BLK 26 CORRECTION PLAT OF ANDERSON HEIGHTS UNIT 5-A CONT .1205 AC  
**City Address:** 10631 Groundstone Rd. SW Albuquerque NM 87121

**Applicant:** Jeebs & Zuzu, LLC **Contact:** Ubaldo Muñoz  
**Address:** 5924 Anaheim Ave. NE Suite A Albuquerque NM, 87113  
**Phone#:** 505-797-1318 **Fax#:** \_\_\_\_\_ **E-mail:** ubaldo@jeebsandzuzu.com  
**Owner:** Claudia Erives **Contact:** Ubaldo Muñoz  
**Address:** 10631 Groundstone Rd. SW Albuquerque NM 87121  
**Phone#:** 505-797-1318 **Fax#:** \_\_\_\_\_ **E-mail:** ubaldo@jeebsandzuzu.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** ☒ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_\_ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

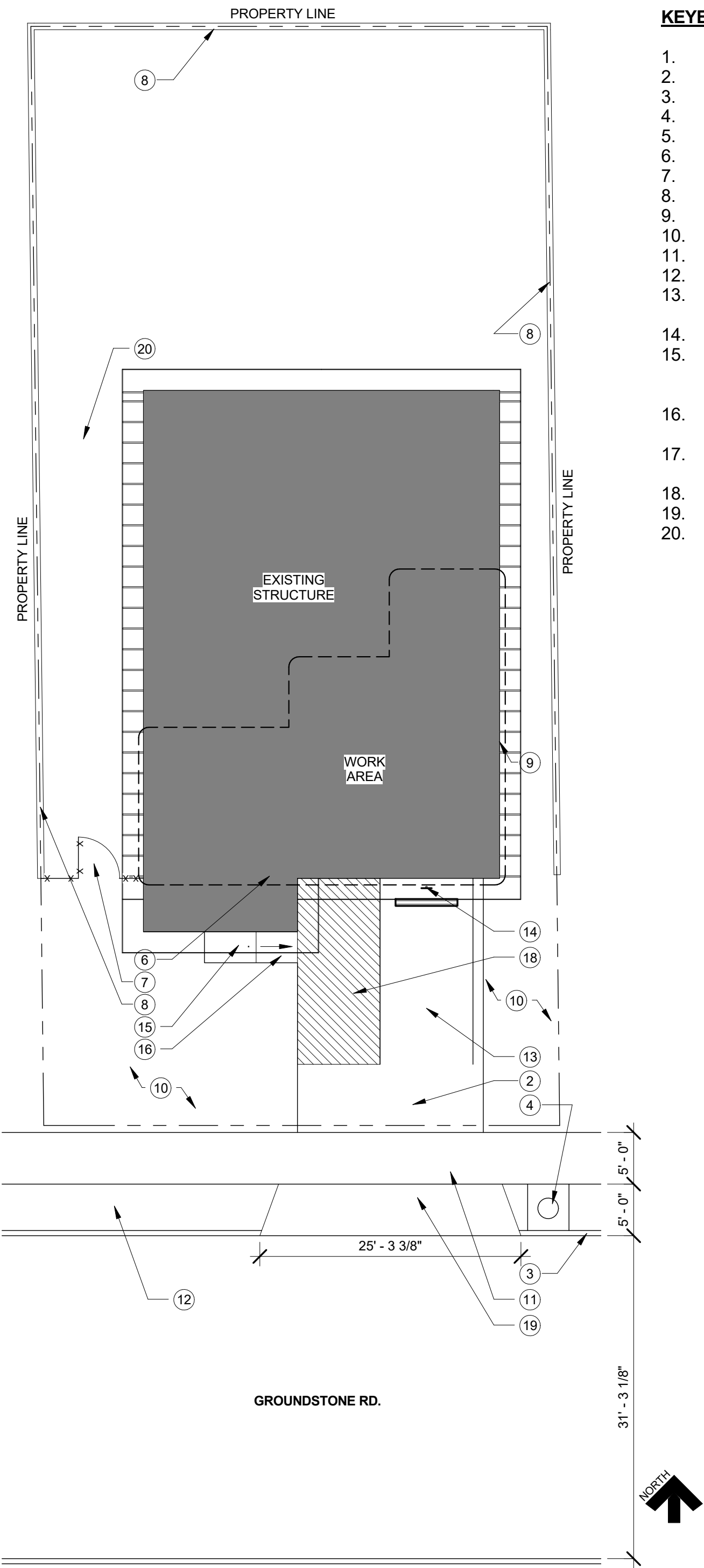
**DATE SUBMITTED:** 9-24-2024 **By:** Ubaldo Muñoz

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





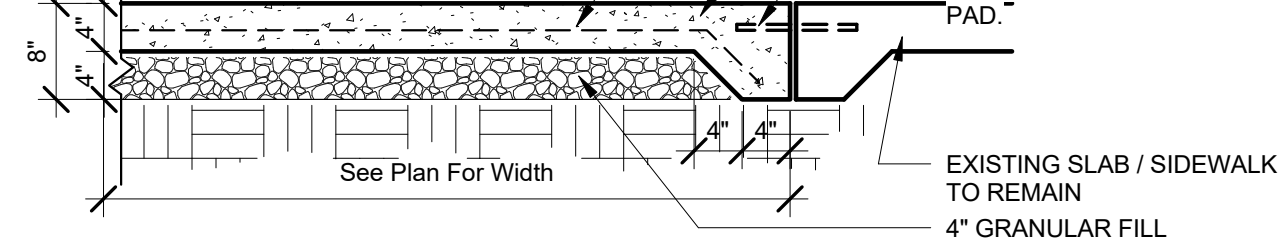
2 TCL Site Plan  
1" = 10'-0"

KEYED NOTES:

1. EXISTING HOME TO REMAIN
2. EXISTING DRIVEWAY TO REMAIN
3. EXISTING ROLLED CURB TO REMAIN.
4. EXISTING WATER METER BOX.
5. ENTRY OF EXISTING HOME
6. ENTRY OF DAYCAR
7. EXISTING METAL GATE
8. EXISTING CMU FENCE WALL TO REMAIN
9. EXISTING ELECTRICAL METER TO REMAIN.
10. EXISTING XEROSCAPE AREA TO REMAIN.
11. EXISTING SIDEWALK TO REMAIN.
12. EXISTING LANDSCAPE BUFFER TO REMAIN.
13. NEW ADA PARKING STALL.
14. - SEE DETAIL (1)
15. ADA PARKING SIGN - SEE DETAIL (3).
16. ADA PATHWAY FROM ADA PARKING AISLE INTO DAYCARE ENTRANCE TO BE ZERO STEP WITH 1/2" MAX TRANSITION INTO THE BUILDING.
17. NEW ADA CONCRETE RAMP WITH 1:12 SLOPE MAX.
18. EXISTING FIRE HYDRANT @ 300' SOUTHEAST OF PROPERTY
19. NEW ADA ACCESSIBLE PARKING ISLE
20. EXISTING SITE ACCESS POINT
21. EXISTING PLAYGROUND TO REMAIN

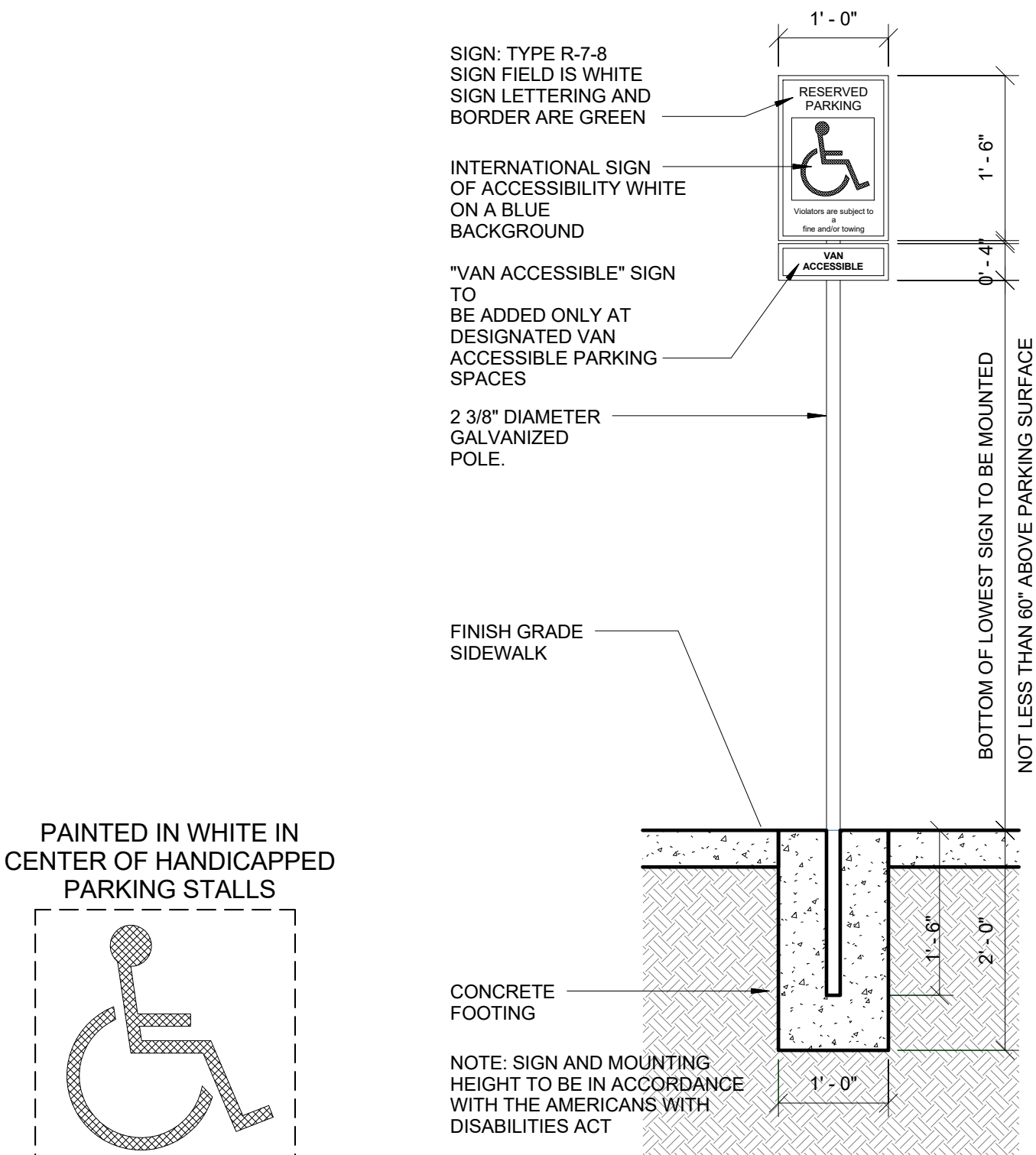
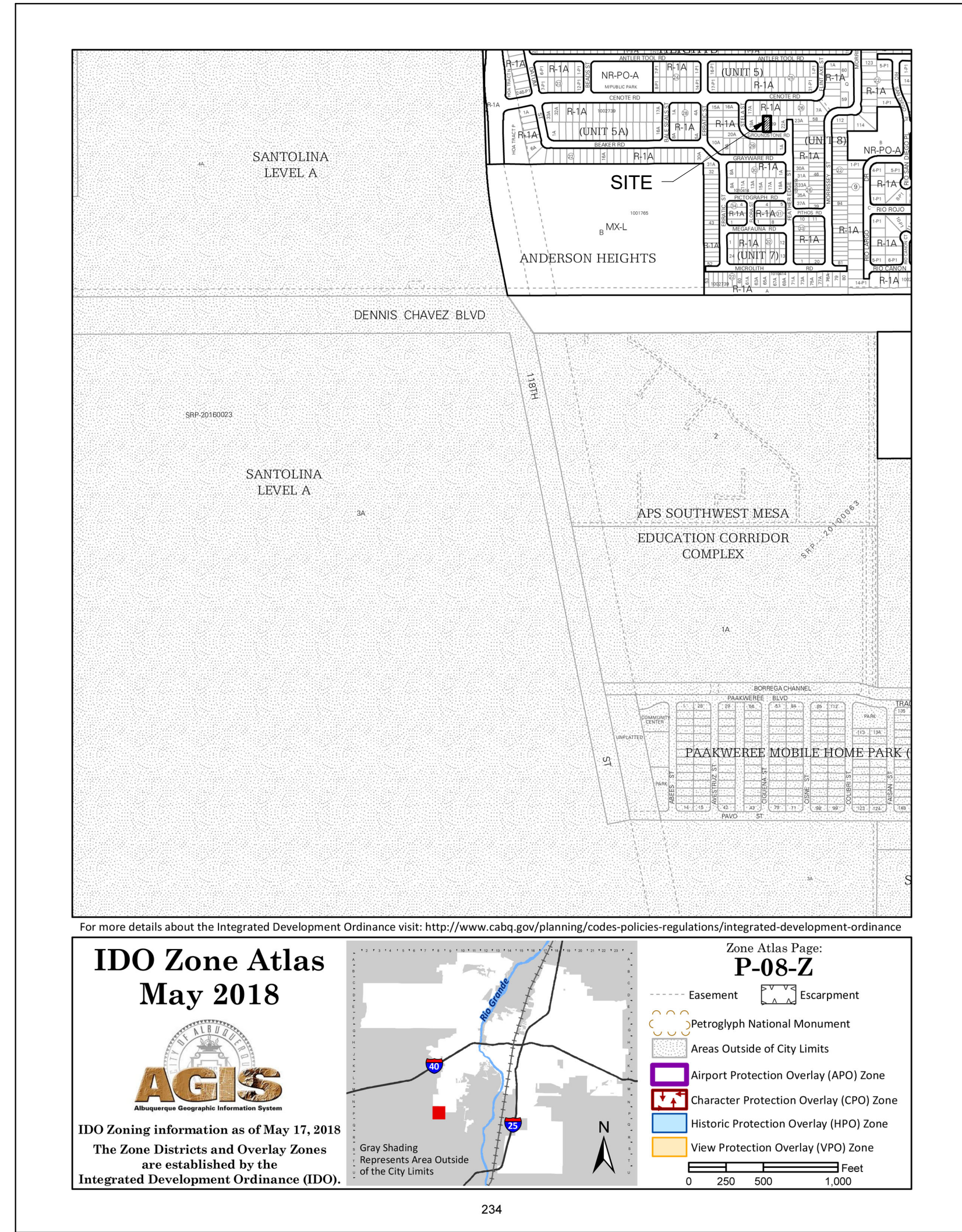
GENERAL NOTES:

1. CROSS SLOPE NOT TO EXCEED 1:48
2. SIDEWALK SLOPE NOT TO EXCEED 1:20
3. PLEASE USE SAME DETAIL AT ENTRY FROM COPPER. PAD THICKNESS THERE TO BE 6" MIN.

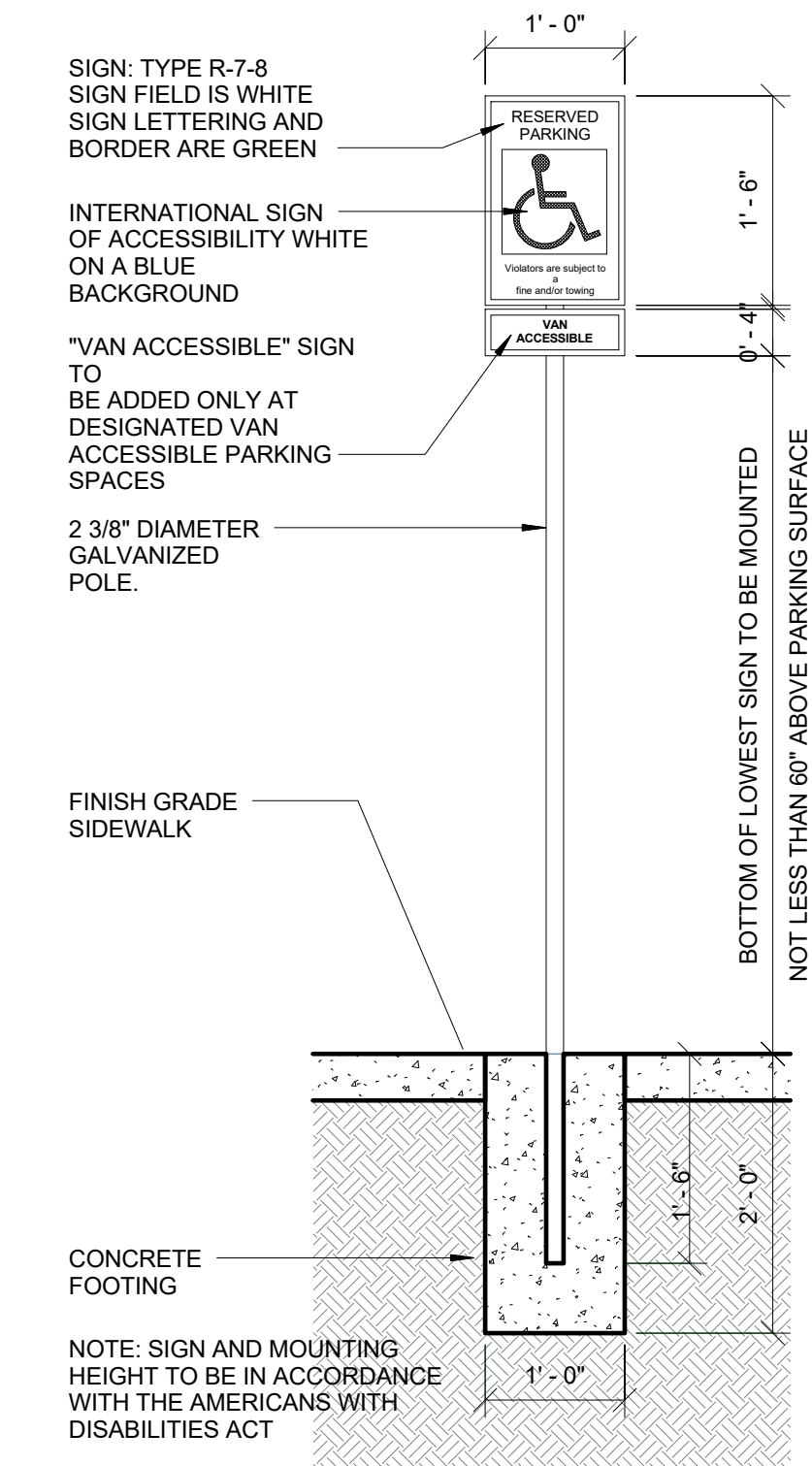


4 Concrete Side Walk Detail  
3/4" = 1'-0"

ZONE ATLAS P-8-Z



5 Handicap Parking Symbol  
1/4" = 1'-0"



3 Handicap Parking Sign  
3/4" = 1'-0"

DESIGN CRITERIA

A. ZONING DESIGN CRITERIA	
1. LEGAL DESCRIPTION.....	LT 20-A BLK 26 CORRECTION PLAT OF ANDERSON HEIGHTS UNIT 5-A CONT .1205 AC UPC: 100805348050411039
2. ZONING CLASSIFICATION.....	R-1A SINGLE-FAMILY
3. PERMITTED AND ACTUAL USE.....	RESIDENTIAL / 5 CHILD DAYCARE
B. ARCHITECTURAL DESIGN CRITERIA	
1. NEW OCCUPANCY GROUP.....	E
2. CONSTRUCTION TYPE.....	VB - NON SPRINKLED
3. FLOOR AREAS REMODEL AREA.....	623 GROSS SF
4. OCCUPANCY LOAD	
DAY CARE 35 NET: 422 SF / 35 NET = 12.06	= 13 PEOPLE
BATHROOM/CIRCULATION 150 GROSS: 201 SF / 150 GROSS = 1.34	= 2 PEOPLE
TOTAL OCCUPANCY	= 15 PEOPLE
PER STATE REGULATION RESIDENTIAL DAYCARE APPROVAL HOME DAYCARE SHALL ONLY BE PERMITTED 12 CHILDREN MAXIMUM	

PARKING CALCULATION:

1 SPACE REQ. PER 400 GROSS SF PER TABLE 5-5-1 OF IDO	= 2 SPACES REQUIRED
DAYCARE: 623 SF / 400 SF	= 2 SPACES REQUIRED
ON STREET STANDARD SPACES PROVIDED	= 1 SPACES
NEW ADA PARKING SPACES PROVIDED	= 1 SPACES
	= 2 SPACES PROVIDED

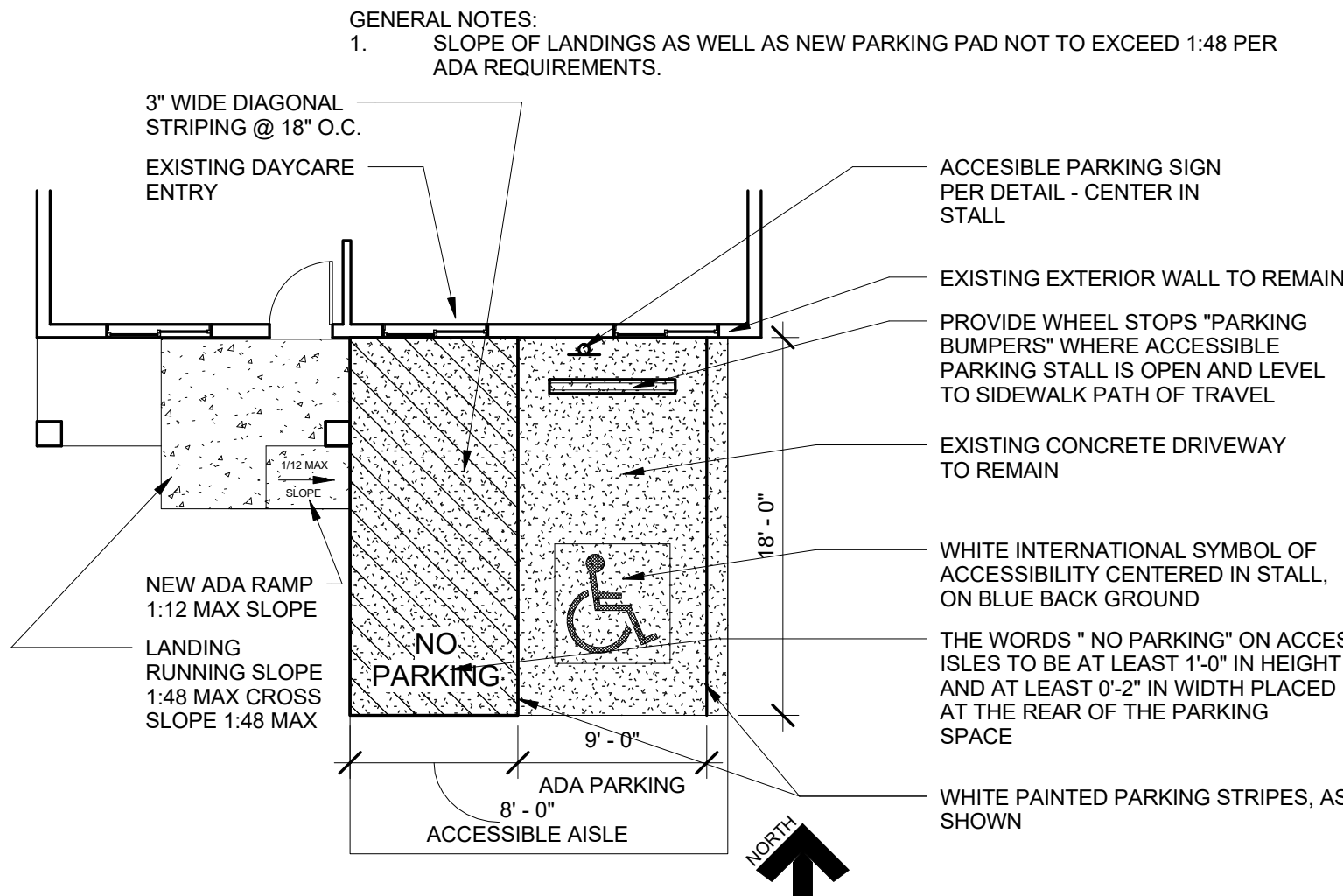
TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 9/26/2024

Signed Date

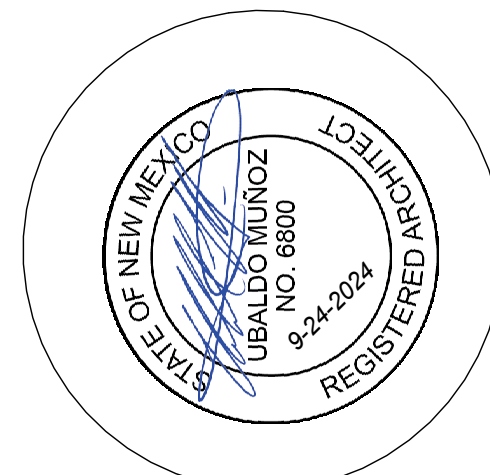
GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2021, UMC 2021, UPC 2021, NEC 2020, ANSI A117.1-2017 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
2. ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
3. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.



1 ADA Parking Detail  
1/8" = 1'-0"

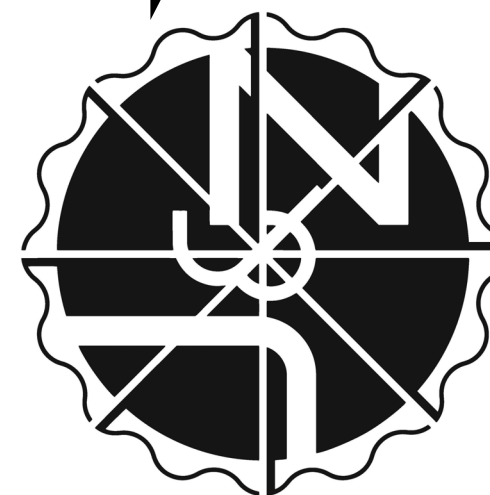
easy as pie



JEEBS & ZUZU, LLC.

5924 ANAHEIM AVENUE NE SUITE A  
ALBUQUERQUE, NM 87113  
P. 505-797-1318

Architecture  
Construction  
Design-Build



job no: 24-025

drawn: UM

checked: J&Z

date: Sept. 25, 2024

Little Minions Learning Center  
Home Daycare Remodel

10631 Groundstone Rd. SW  
Albuquerque NM 87121

sheet no:

TCL1.0

TRAFFIC CIRCULATION LAYOUT

www.jeebsandzuzu.com