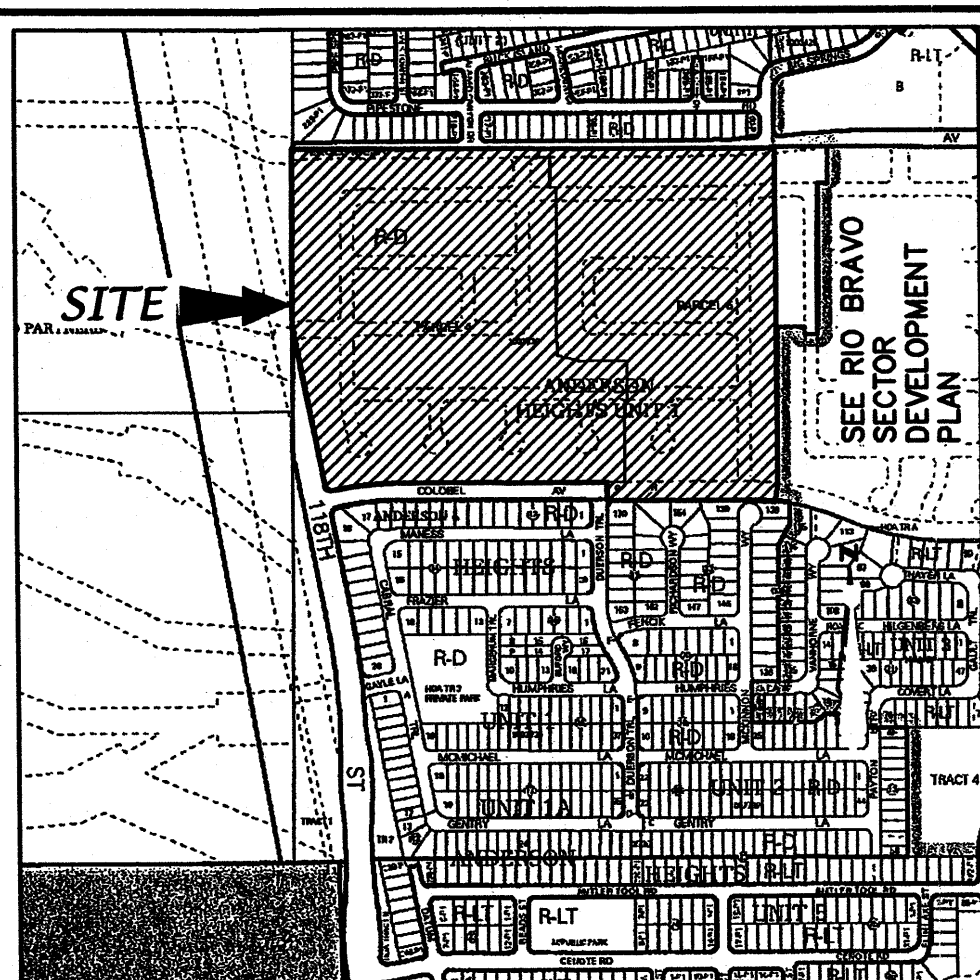


CURVE	DELTA	RADIUS	TANGENT	LENGTH
C1	111°29'	1034.00'	102.22'	203.77'
C2	90°00'	30.00'	30.00'	47.12'
C3	0°14'	3025.00'	6.24'	12.48'
C4	71°02'	966.00'	60.55'	120.95'

LINE	LENGTH	BEARING
L1	68.00	N00°01'54"E
L2	40.72	N78°44'25"E
L3	37.61	N89°46'25"E
L4	143.12	S00°01'54"W
L5	50.00	N01°38'26"W
L6	75.00	N07°12'20"E



SCALE: 1"=750' ZONE ATLAS: N-8

EASEMENTS

- EXISTING 150' AMAFCA DRAINAGE EASEMENT (04-17-96, 96C-160)
- EXISTING 86' PUBLIC ROADWAY EASEMENT (04-17-96, 96C-160)
- EXISTING 200' POWER LINE EASEMENT U.S.B.R. (02-05-52, D197-567)
- EXISTING 100' PNM EASEMENT (04-20-78, BK.MISC 602, 558-561)
- EXISTING 68' PUBLIC ACCESS EASEMENT AND PUBLIC SANITARY, WATER AND STORM DRAIN EASEMENT. (05/04/2005, BK-2005C, PG-138)
- EXISTING 46' PUBLIC ACCESS EASEMENT AND PUBLIC SANITARY, WATER AND STORM DRAIN EASEMENT. (05/04/2005, BK-2005C, PG-138)
- EXISTING 50' PUBLIC ACCESS EASEMENT AND PUBLIC SANITARY, WATER AND STORM DRAIN EASEMENT. (05/04/2005, BK-2005C, PG-138)

EASEMENTS TO BE VACATED

GENERAL NOTES:

- DEVELOPMENT DENSITY:
Site area of Parcel 20 is 58.8625 acres.
Parcel 20 is zoned R-D.
- MINIMUM BUILDING SETBACK:
There is a five foot (5') internal sideyard set back to property line.
Front yard setback is 15' and backyard is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
- BUILDING HEIGHT:
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:
The developer will be dedicating land for parks.
- OPEN SPACE:
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-8(C).
- WATER AND SEWER:
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
- PARKING:
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code.
- ACCESS:
Site ingress/egress is provided by public and private streets.
- BUILDINGS:
Buildings will be traditional or southwest style with flat or pitched roofs and siding will be stucco with stone accents and wood trim.
The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Zoning.
- PERIMETER WALL:
The subdivision perimeter garden wall will be constructed per the approved plan.
- BICYCLE AND PEDESTRIAN SITE INGRESS/EGRESS:
Consists of the internal sidewalks.
- THE LANDSCAPE AREAS WITHIN THE PUBLIC RIGHTS-OF-WAY:
Shall be for the benefit of the Home Owners Association, and shall be maintained by same.
- LOT SIZE & LOT WIDTH:
Minimum lot size is 4400 sf = 0.1010 ac
Minimum lot width is 40 feet

ANDERSON HEIGHTS UNITS 4 AND 6

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 5 AND 8
TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2007

LEGAL DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 5 and 8, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Parcel 4 and 6, ANDERSON HEIGHTS UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 04, 2005, in BK-2005C, Page 138 a and containing 56.8625 acres more or less.

SUBDIVISION DATA

GROSS ACREAGE	56.8625 AC
ZONE ATLAS NO.	N-8-Z
NO. OF LOTS CREATED	327 LOTS
NO. OF TRACTS CREATED	12 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	14.9416 AC
ZONING	R-D
DATE OF SURVEY	NOVEMBER, 2003

PROJECT NUMBER: 1002739
APPLICATION NUMBER: 07DRB-70348

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	11-7-07
Utilities Development	11-7-07
Parks and Recreation Department	11/7/07
City Engineer	11/7/07
* Environmental Health Department (conditional)	DATE
Solid Waste Management	DATE
DRB Chairperson, Planning Department	11/09/07

TRACT	BENEFICIARY AND MAINTENANCE
TRACT A, B, C, E, F, G, H, I, J, M	FOR AND TO BE MAINTAINED BY THE HOA
TRACT D	TO CITY AS A PARK BUT MAINTAINED BY HOA

SOLAR NOTE:
No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

UTILITY LEGEND

EXISTING WATER LINE	EX. 18" W.L.
NEW WATER LINE	6" W.L.
EXISTING SANITARY SEWER LINE	8" S.W.
NEW SANITARY SEWER LINE	8" S.W.
NEW FIRE HYDRANT	→

SEE RIO BRAVO SECTOR DEVELOPMENT PLAN

LEGEND

- 1 LOT NUMBER
- BLOCK 2 BLOCK NUMBER
- ROW RIGHT-OF-WAY

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 7924" (TYP)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET BATHEY MARKER "LS 14271"

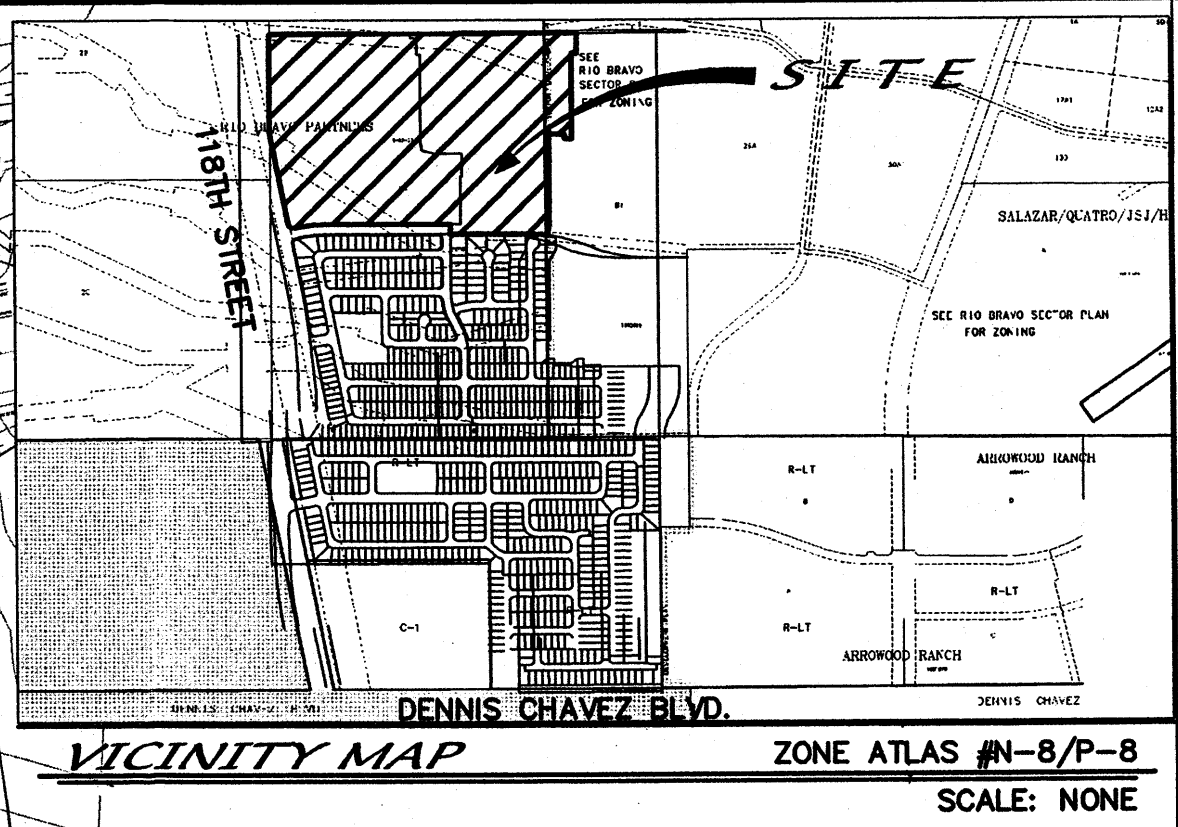
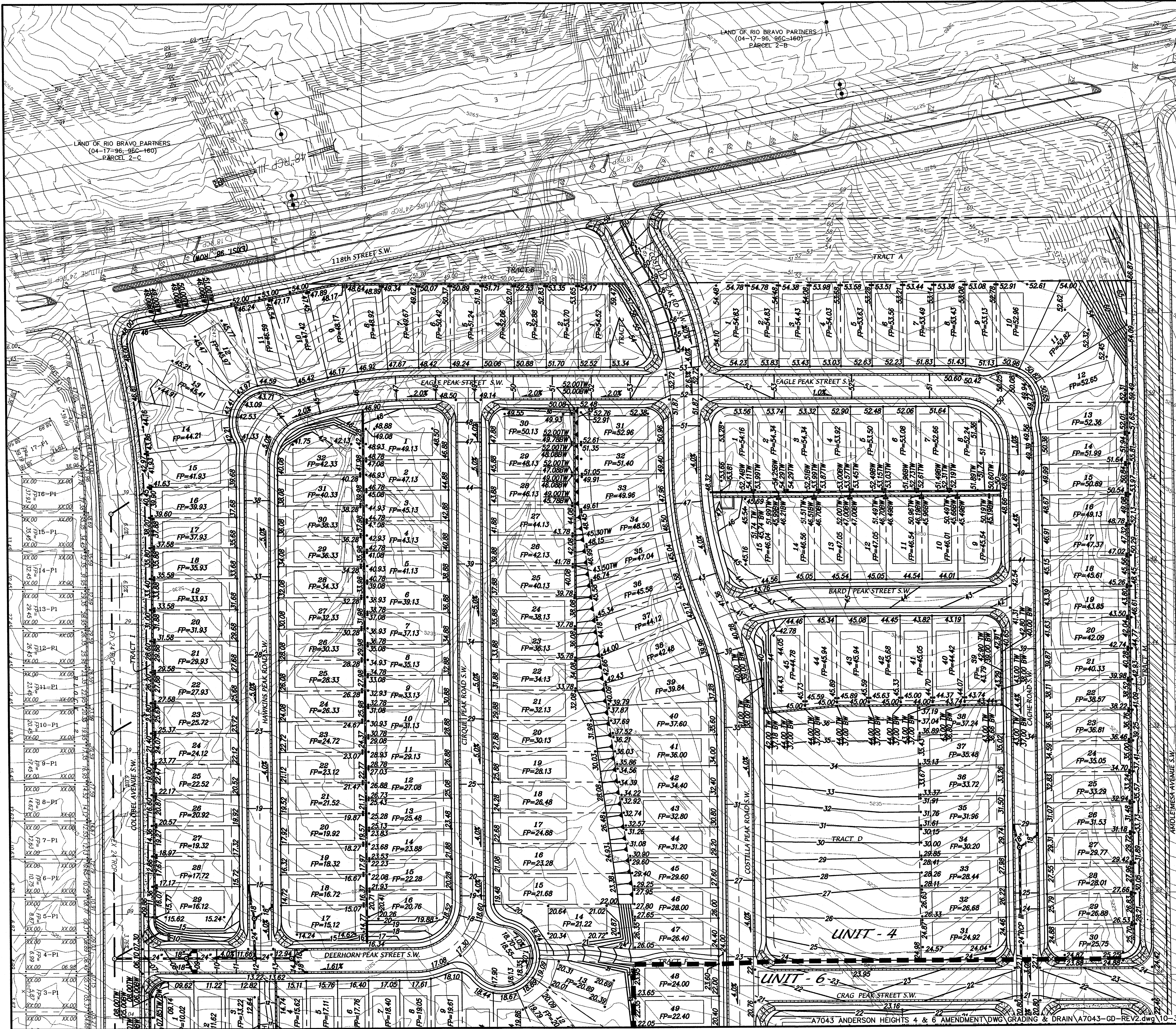
ANDERSON HEIGHTS

AMENDED SITE DEVELOPMENT PLAN & UTILITY PLAN FOR SUBDIVISION

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

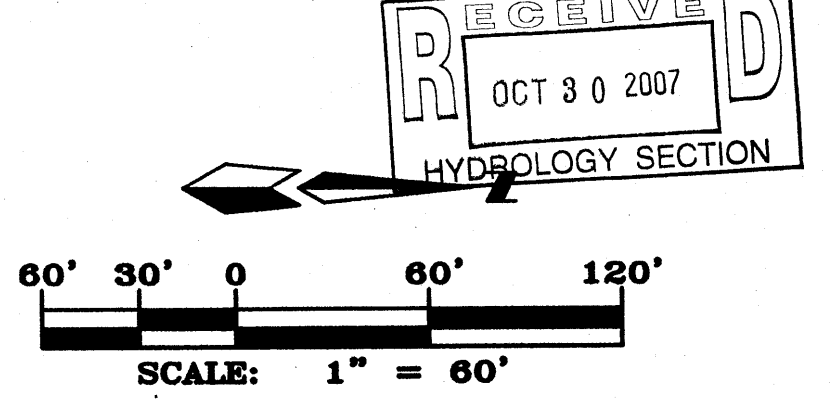
Designed: GJK	Drawn: RDQ	Checked: DMG	Sheet 1 of 1
Scale: 1" = 100'	Date: 8/17/2007	Job: A07043	

N 8 D006 D1



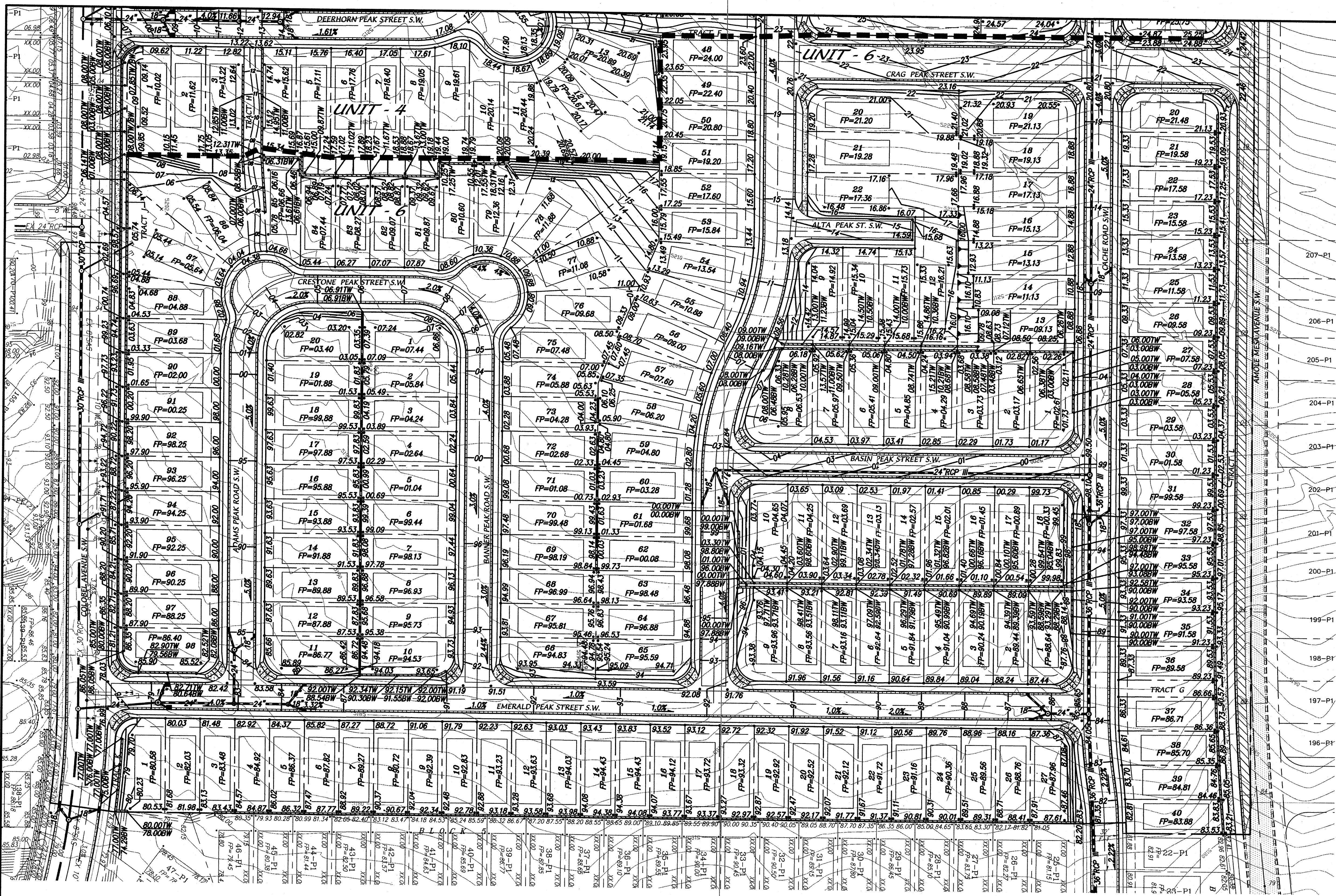
- LEGEND**
- 5210 EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - EXISTING SPOT ELEVATION
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING FENCE
 - EXISTING POWER POLE
 - EXISTING GAS LINE
 - EXISTING STORM DRAIN
 - EXISTING SAS LINE
 - EXISTING WATER LINE
 - NEW MOUNTABLE CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW SIDEWALK
 - NEW RIGHT-OF-WAY
 - NEW CENTERLINE
 - NEW LOT LINES
 - NEW EASEMENTS
 - NEW RETAINING WALL
 - NEW UNIT LINE
 - NEW SPOT ELEVATIONS
 - NEW FLOW DIRECTION
 - NEW SLOPE
 - NEW HIGH POINT
 - NEW CONTOUR
 - NEW STORM DRAIN INLET

APPROVED ROUGH GRADING $\pm 18"$ CITY HYDROLOGY DATE



		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 737-9539	
TITLE: ANDERSON HEIGHTS - UNITS 4 & 6 GRADING AND DRAINAGE PLAN		DESIGNED BY: G/K DATE: 05/07	
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL	
CITY PROJECT NO.		ZONE MAP NO. N-8/P-8	
LAST DESIGN UPDATE		SHEET 3 OF 34	
NO. DATE		REMARKS	
1. DATE		DESIGN	
2. DATE		DER	
3. DATE		DMG	

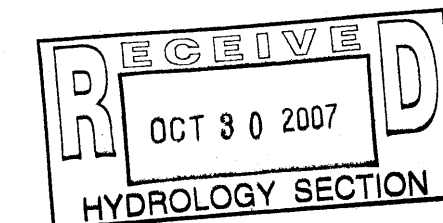
CONTRACTOR		DATE	
INSPECTOR		DATE	
FIELD ENGINEER		DATE	
MICRO-FILM INFORMATION		DATE	
RECORDED BY		NO.	
STATION "3-P10" IS LOCATED 5.9 MI. SW OF DOWNTOWN ALBUQUERQUE		DATE	
TO REACH STATION FROM INT. OF COORS AND DENNIS CHAVEZ BLVD.		DATE	
(FORMERLY RIO BRAVO), GO S. ON COORS BLVD. 0.62 MI. TO THE		DATE	
STATION WHICH IS ON AN EARTHEN BEAM 162.2' WEST OF THE		DATE	
CENTERLINE OF COORS BLVD. THE STATION IS A STANDARD ACS		DATE	
3 1/4" ALUMINUM CAP RITTED TO A PPE 0.25" ABOVE THE GROUND		DATE	
AND IS STAMPED "3-P10, 1998"		DATE	
X=360733.55; Y=162437.49 (NAD 27); ELEV=4835.735 (SD 28)		DATE	



LEGEND	
5210	EXISTING CONTOUR (MAJOR)
10' x 0.0	EXISTING CONTOUR (MINOR)
⊙	EXISTING SPOT ELEVATION
⊕	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING ELECTRIC TRANSFORMER
×	EXISTING FENCE
—	EXISTING POWER POLE
—	EXISTING GAS LINE
—	EXISTING STORM DRAIN
—	EXISTING SAS LINE
—	EXISTING WATER LINE
—	NEW MOUNTABLE CURB & GUTTER
—	NEW STANDARD CURB & GUTTER
—	NEW SIDEWALK
—	NEW RIGHT-OF-WAY
—	NEW CENTERLINE
—	NEW LOT LINES
—	NEW EASEMENTS
—	NEW RETAINING WALL
—	NEW UNIT LINE
—	NEW SPOT ELEVATIONS
—	NEW FLOW DIRECTION
—	NEW SLOPE
—	NEW HIGH POINT
—	NEW CONTOUR
—	NEW STORM DRAIN INLET

EROSION CONTROL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND METTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
6. SITE DOES LIE IN A 100 YEAR FLOOD ZONE.

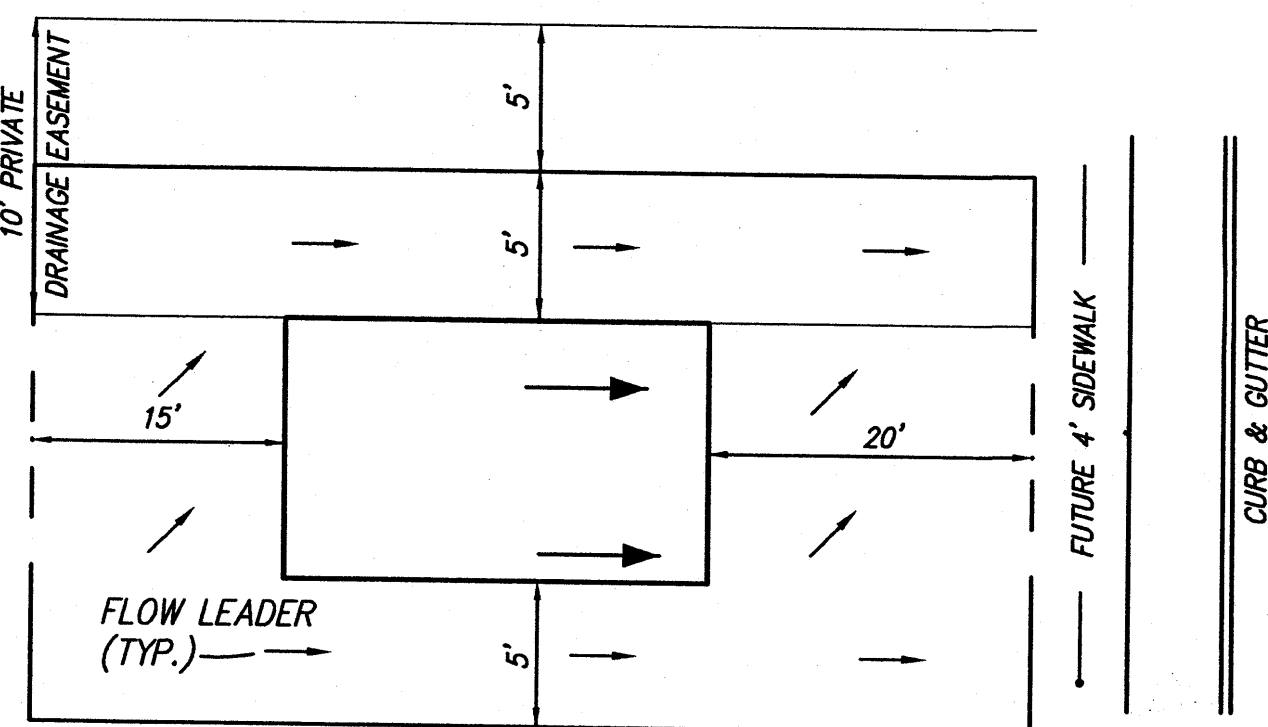
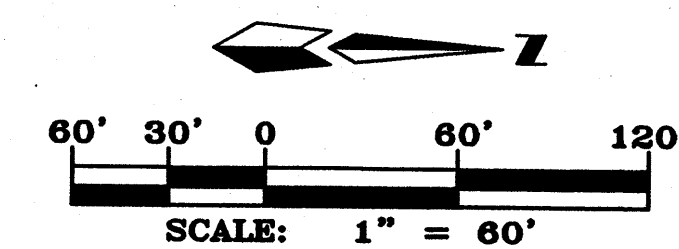


NOTE:

USE RETAINING WALLS WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS 3.0' OR MORE. A RETAINING WALL MUST BE CONSTRUCTED BETWEEN THE LOTS AS SHOWN ON THE PLAN AND THERE WILL BE NO PRIVATE DRAINAGE EASEMENT.

USE STEM WALLS WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS GREATER THAN 1.5' BUT LESS THAN 3.0'. A STEM WALL SHALL BE CONSTRUCTED BY THE BUILDER ON THE "HIGH SIDE" OF LOT PAD.

FOR ALL SIDE YARDS: EACH LOT OWNER MUST CONSTRUCT, OPERATE, AND MAINTAIN HIS OWN SEPARATE DRAINAGE SWALE. ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.

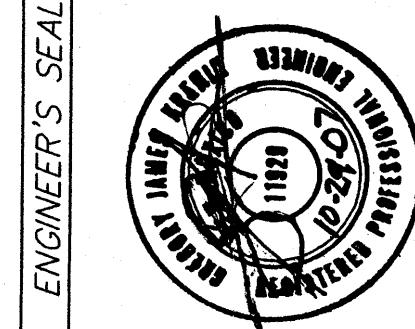


TYPICAL LOT LAYOUT PLAN

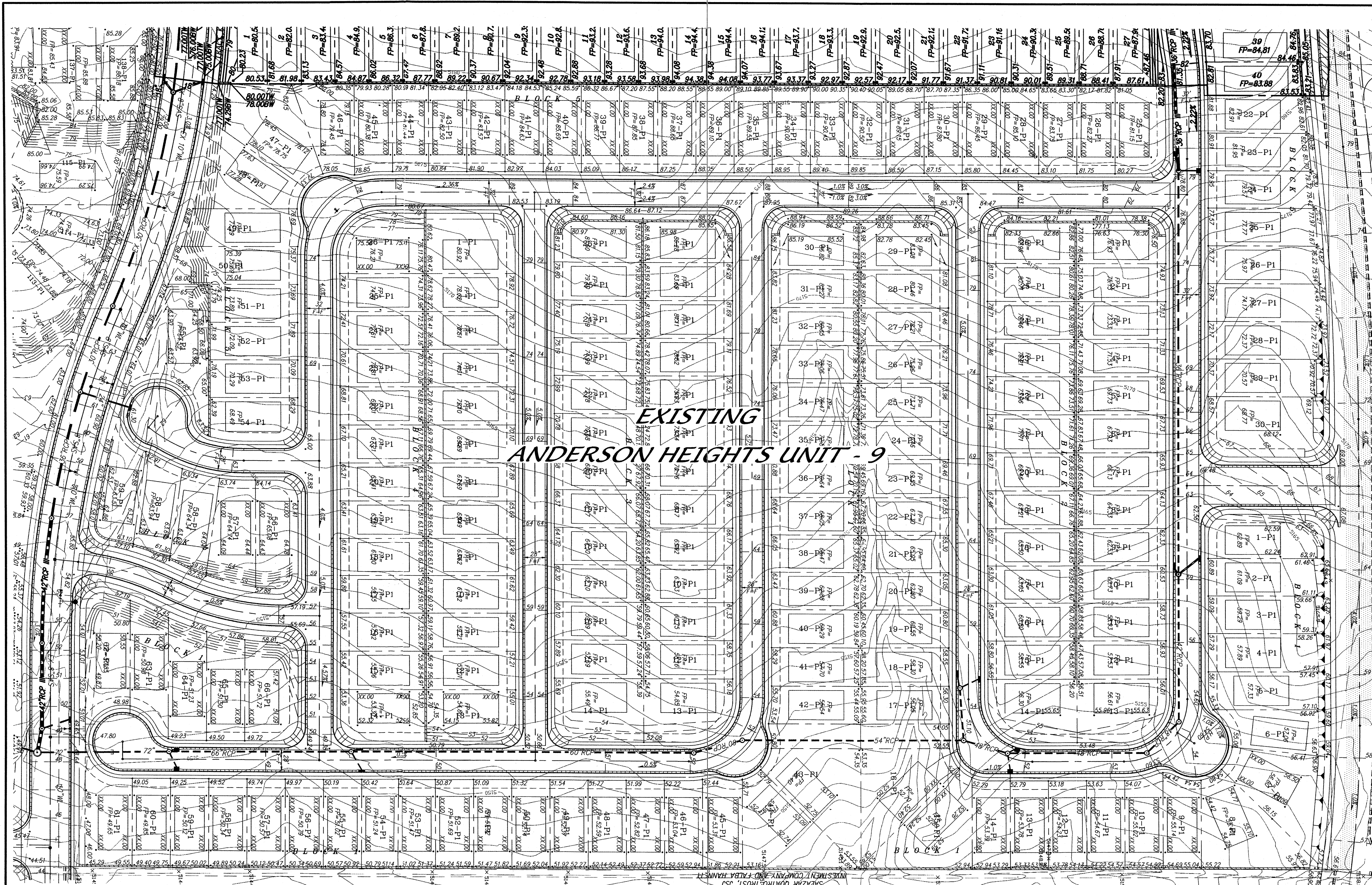


SIDEYARD DETAIL

- *PAD TO PAD 1.5' > 3.0' CONSTRUCT STEM WALL
- *PAD TO PAD < 1.5' CONSTRUCT GARDEN WALL
- *PAD TO PAD > 3.0' CONSTRUCT RETAINING WALL



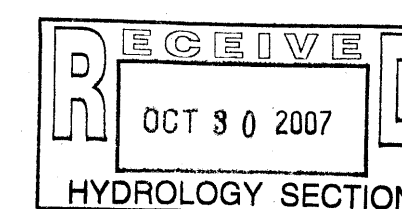
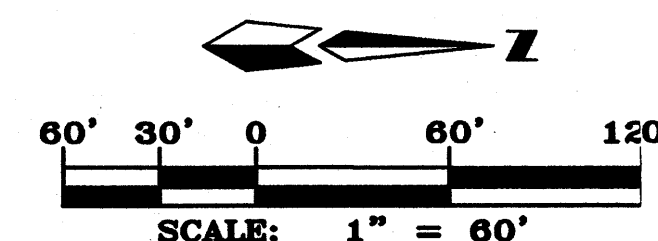
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: ANDERSON HEIGHTS - UNITS 4 & 6 GRADING AND DRAINAGE PLAN		SHEET 4 OF 34	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE		DATE	
CITY PROJECT NO.	ZONE MAP NO.	SHEET 4 OF 34	
N-8/P-8		4 34	



LEGEND

- | | | |
|------------|---------------------------------|-----------------------|
| 5210 | EXISTING CONTOUR (MAJOR) | NEW SIDEWALK |
| 10' x 0.0 | EXISTING CONTOUR (MINOR) | NEW RIGHT-OF-WAY |
| ⊙ | EXISTING SPOT ELEVATION | NEW CENTERLINE |
| ⊕ | EXISTING SANITARY SEWER MANHOLE | NEW LOT LINES |
| ⊕ | EXISTING FIRE HYDRANT | NEW EASEMENTS |
| ⊕ | EXISTING ELECTRIC TRANSFORMER | NEW RETAINING WALL |
| — X — | EXISTING FENCE | NEW UNIT LINE |
| ■ | EXISTING POWER POLE | NEW SPOT ELEVATIONS |
| — 6" GAS — | EXISTING GAS LINE | NEW FLOW DIRECTION |
| — 30" SD — | EXISTING STORM DRAIN | NEW SLOPE |
| — 8" SAS — | EXISTING SAS LINE | NEW HIGH POINT |
| — 10" WL — | EXISTING WATER LINE | NEW CONTOUR |
| — | NEW MOUNTABLE CURB & GUTTER | NEW STORM DRAIN INLET |
| — | NEW STANDARD CURB & GUTTER | |

EXISTING
ANDERSON HEIGHTS UNIT - 9



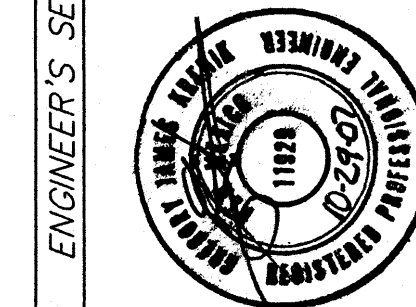
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **ANDERSON HEIGHTS - UNITS 4 & 6
GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	N-8/P-8	5	34



SURVEY INFORMATION	
FIELD NOTES	NO.
DATE	BY

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
STAMPED BY	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE

STATION "3+10" IS LOCATED 5.0 MI. SW OF DOWNTOWN ALBUQUERQUE
TO REACH STATION FROM INT. OF COORS AND DENNIS CHAVEZ BLVD.
(FORMERLY RIO BLVD), GO S. ON COORS BLVD. 0.82 MI. TO THE
STATION WHICH IS ON AN EXISTING BEWM 162.2' WEST OF THE
CENTERLINE OF COORS BLVD. THE STATION IS A STANDARD ACS
3 1/4" ALUMINUM CAP RITTED TO A PIPE 0.25' ABOVE THE GROUND
AND IS STAMPED "3+10, 1988",
X-360733.55, Y=148237.48 (NAD 27). ELEV=4935.735 (SD 29)