

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 21, 2024

Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87102

RE: Aspire Subdivision Unit 3
Engineer's Certification Date: 11/15/2024
Engineer's Stamp Date: 03/08/22
Hydrology File: N08D006F4
CPN: 757580

Dear Ms. Nilsson-Weber:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the Certification received 11/18/2024 and site visit on 11/21/2024, this certification is approved in support of ROFG/SIA by Hydrology.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

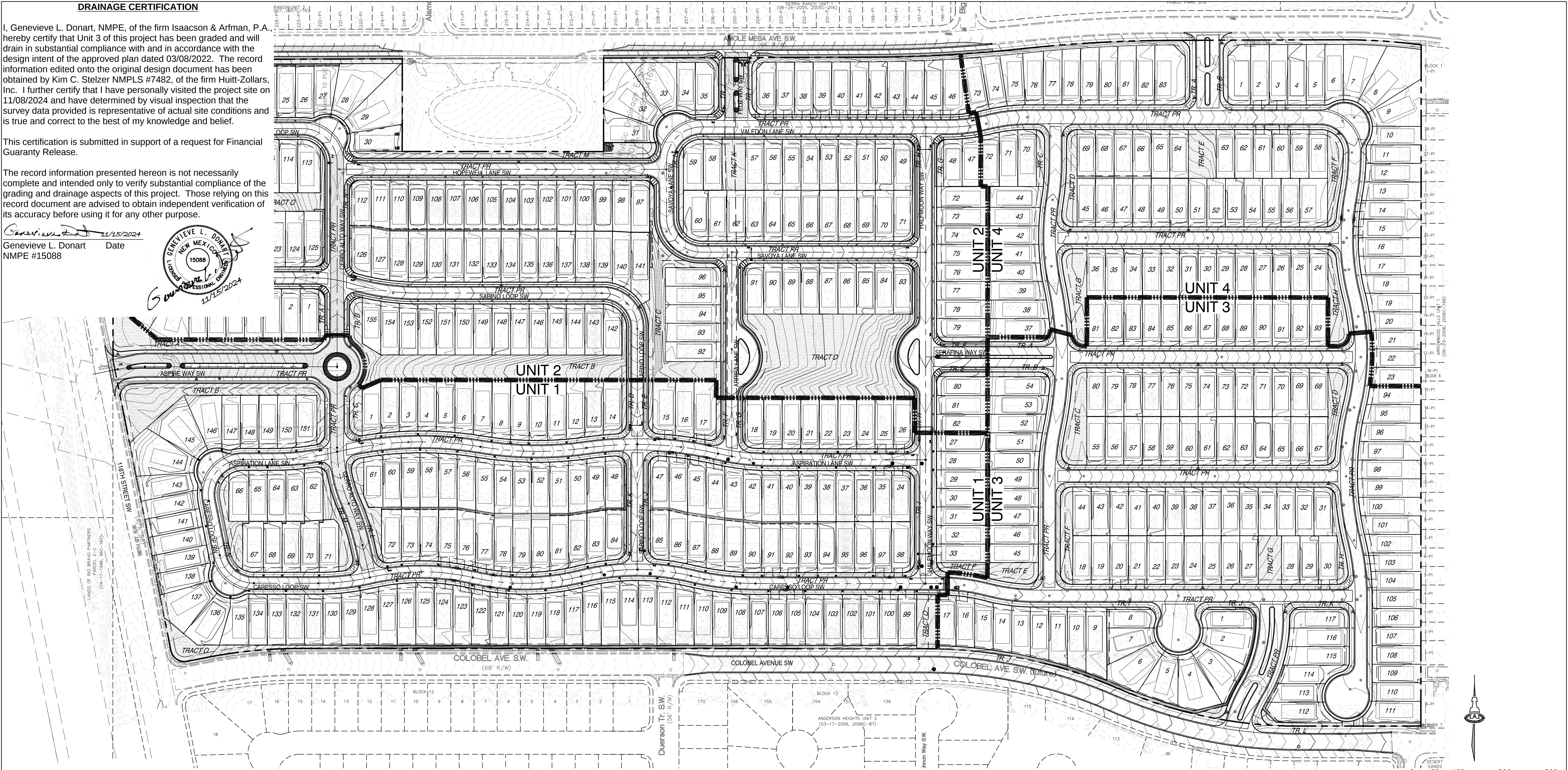
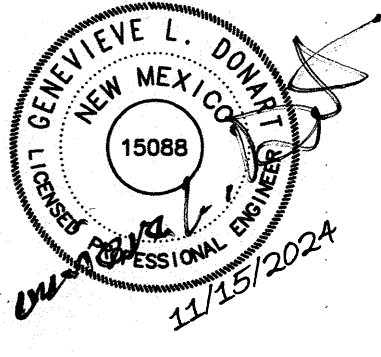
DRAINAGE CERTIFICATION

I, Genevieve L. Donart, NMPE, of the firm Isaacson & Arfman, P.A., hereby certify that Unit 3 of this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 03/08/2022. The record information edited onto the original design document has been obtained by Kim C. Stelzer NMPLS #7482, of the firm Huitt-Zollars, Inc. I further certify that I have personally visited the project site on 11/08/2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

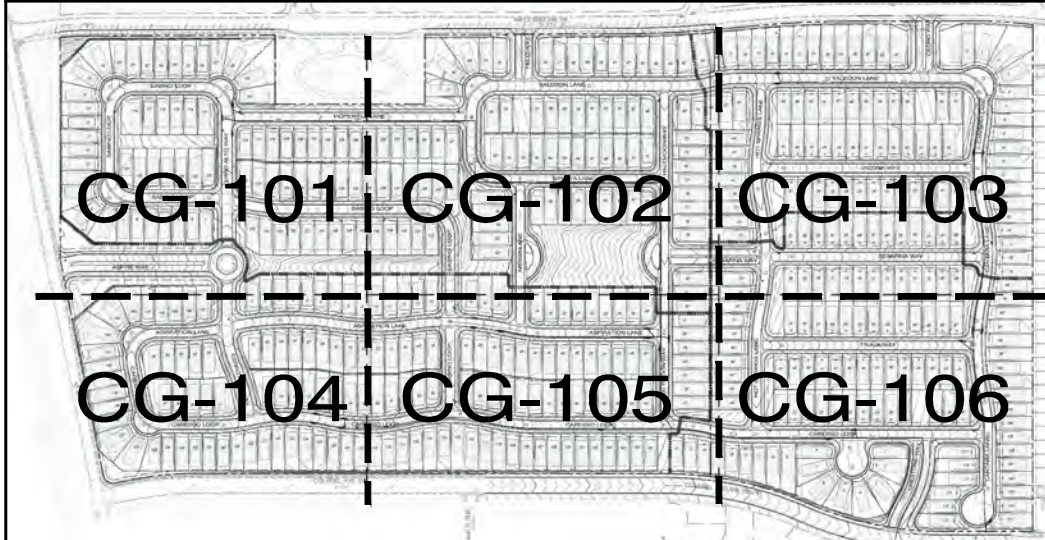
This certification is submitted in support of a request for Financial Guaranty Release.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart
Date 11/15/2024
NMPE #15088



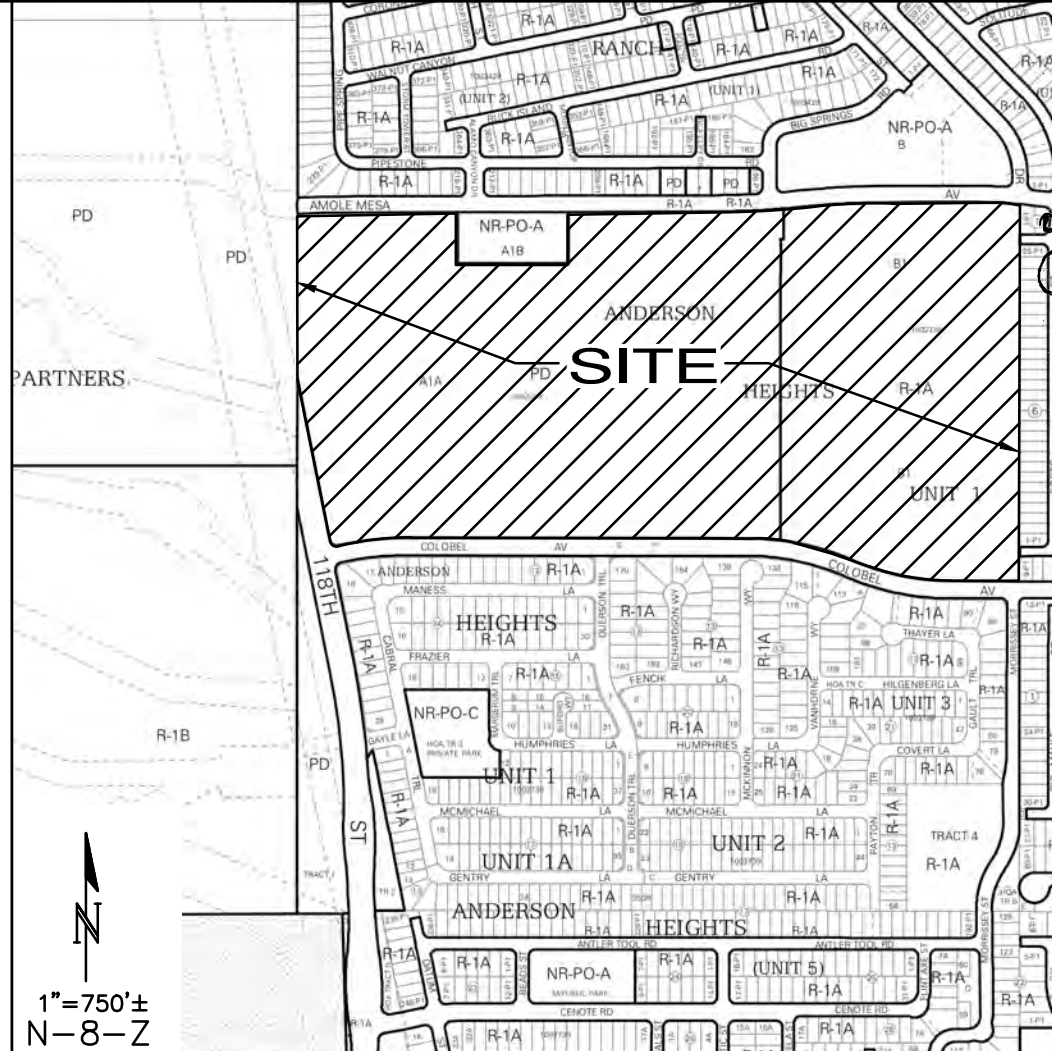
SITE KEY



GENERAL NOTES

- A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- C. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- D. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- E. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT BY OTHERS.) CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE $\pm 0.05'$ FROM PLAN ELEVATION.
- G. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- H. PAD ELEVATIONS SHALL BE WITHIN 0.1±.
- I. POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- J. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- K. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- L. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
- L.A. AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
- L.B. TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
- L.C. ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- M. UPON WRITTEN REQUEST, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL.
- N. SITE CONSTRUCTION LAYOUT / STAKING SHALL BE COORDINATED WITH THE OWNER.

VICINITY MAP



Isaacson & Arfman, Inc. Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC

OVERALL GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
08/2020	1 REVISED LOT GRADES	12/2020	2290
	2 REVISED RING WALL, PAD, AND COLOBEL GRADES	03/2022	
Drawn By:	thor		CG-100
Ckd By:	ANW		SH. OF

8/21/20
12/15/20
03/08/22
NEW MEXICO PROFESSIONAL ENGINEER 17631

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, Inc. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, Inc. ©

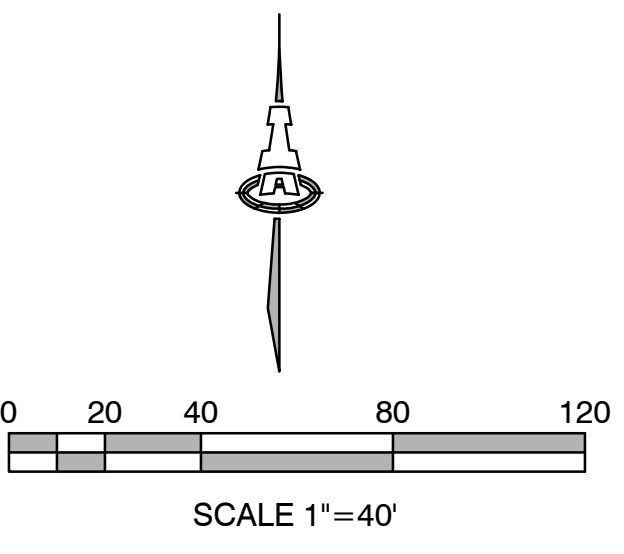
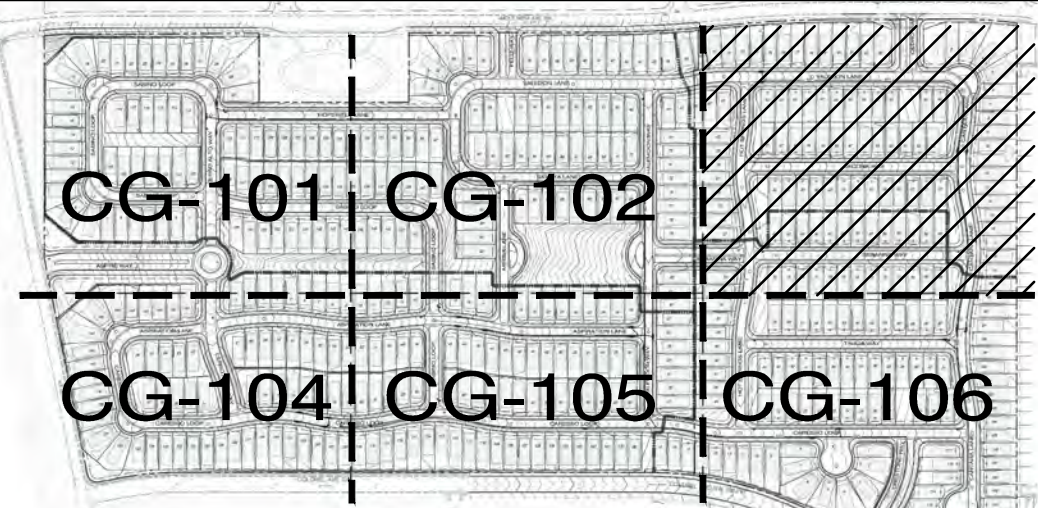
City of Albuquerque
Planning Department
Development Review
HYDROLOGY SECTION
APPROVED
DATE: 03/18/22
BY: *Renee C. Brando*
HydroTrans # N08D006F

THE APPROVAL OF THIS PLANNING SHALL NOT BE
CONSIDERED AN ENDORSEMENT OF THE PROJECT OR
GUARANTEE OF THE ACCURACY OF THE INFORMATION
CONTAINED HEREIN. THE CITY OF ALBUQUERQUE SHALL NOT
BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS
SPECIFICATIONS OR CONSTRUCTION SHALL BE APPROVED PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
APPROPRIATE AUTHORIZATION.

LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- RETAINING WALL
- DRIVEWAY LOCATION DESIGNATED
TO AVOID CONFLICT WITH
STORM INLETS

SITE KEY



Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

Professional Engineer
NEW MEXICO
17631
08/21/20
12/15/20 Renew
03/08/22 Renew

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, Inc. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, Inc. ©

ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC

GRADING & DRAINAGE PLAN 3

Date:	No.	Revision:	Date:	Job No.
08/2020	1	REVISED LOT GRADES	12/2020	2290
	2	REVISED RING WALL, PAD, AND COLOREL GRADES	03/2022	
Drawn By:	thor	ADDED 2-FOOT RANDBOY ON LOT 18, UNIT 2		CG-103
Ckd By:	ANW	CHANGED TO MOUNTABLE CURB LOTS 18-20		SH. OF

SEE SHEET CG-102

SEE SHEET CG-106

SURVEYOR'S CERTIFICATION

I, KIM C. STELZER, NEW MEXICO PROFESSIONAL SURVEYOR NUMBER 7482, HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN HEREON IS THE RESULT OF ACTUAL GROUND SURVEY BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS AS-BUILT SURVEY WAS PERFORMED IN THE MONTH OF JULY; THAT IT MEETS ALL REQUIREMENTS LISTED UNDER THE STANDARD DRAWINGS AND STANDARD SPECIFICATIONS FOR SURVEYING ISSUED BY THE ENGINEER OF RECORD; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

KIM C. STELZER
NMPS NO. 7482

7-22-2024
DATE



N:\PROJECTS\2020\2020-2290\DWG\2290-PLAN-2290-03-10-104.dwg, 3/6/2022, 10:52 AM

SEE SHEET CG-103

SEE SHEET CG-105

KEYED NOTES

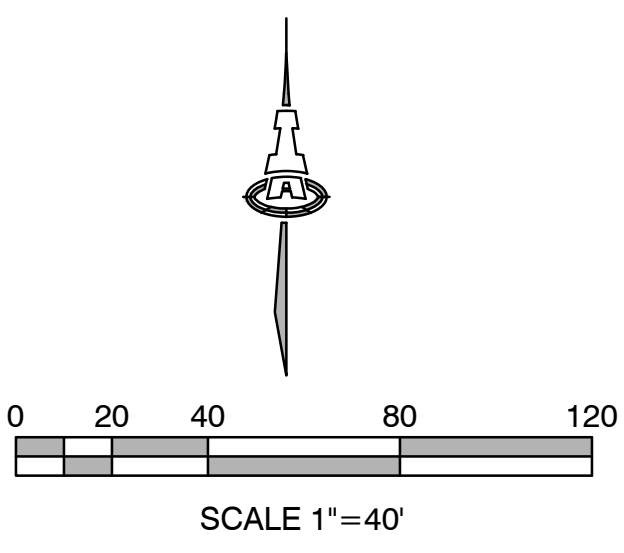
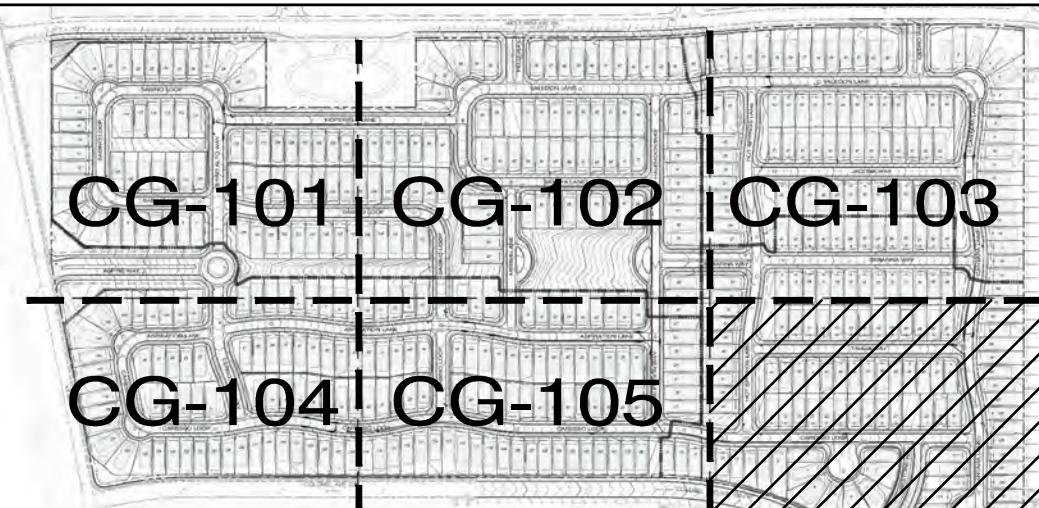
1. DRAINAGE EMERGENCY OVERFLOW AT PEDESTRIAN GATE.



LEGEND

- EXISTING CONTOUR
- 5233.34' EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- 30.63 PROPOSED SPOT ELEVATION
- PG= 5240.5 PAD GRADE ELEVATION
- FLOW ARROW
- STORM DRAIN
- STORM INLET
- RETAINING WALL
- DRIVEWAY LOCATION DESIGNATED TO AVOID CONFLICT WITH STORM INLETS

SITE KEY



Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

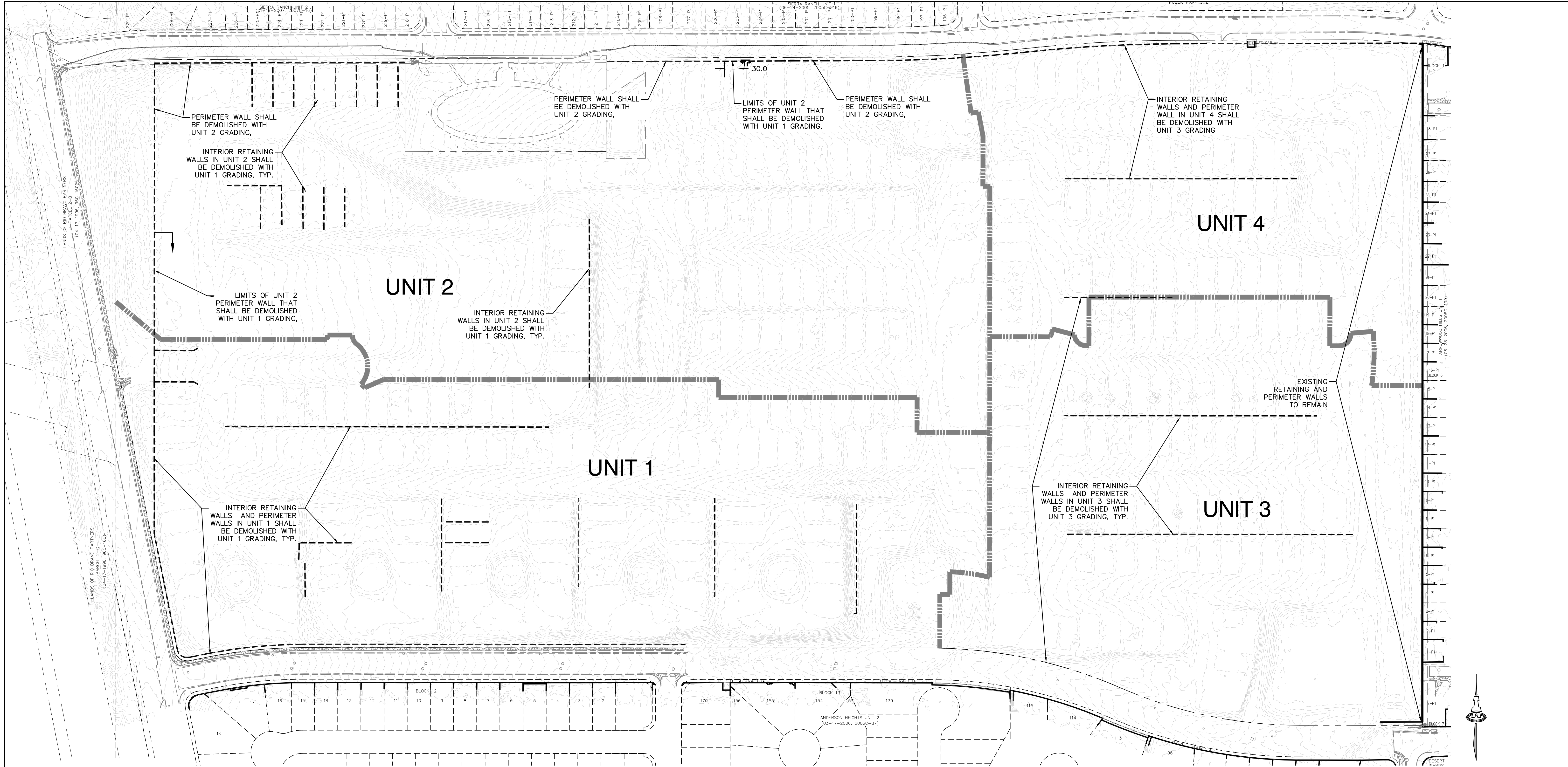
Professional Engineer Seal: Isaacson & Arfman, Inc. No. 17631, State of New Mexico, Civil Engineering.

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, Inc. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, Inc. ©

ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC

GRADING & DRAINAGE PLAN 6

Date:	08/20/2020	No.:	1	Revision:	12/20/2020	Date:	03/20/2022	Job No.:	2290
Drawn By:	thor	No.:	2	Revision:	03/20/2022	Drawn By:	thor	Job No.:	CG-106
Ckd By:	ANW	No.:		Revision:		Ckd By:	ANW	Job No.:	SH. OF



WALL DEMOLITION NOTES

1. ALL WALLS SHALL BE DEMOLISHED EXCEPT AS NOTED ON PLAN.
2. PATCH & REPAIR EXISTING ADJOINING WALLS TO REMAIN.
3. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ENGINEER IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
4. ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
5. THOROUGHLY CLEAN ADJACENT AREAS OF DEBRIS CAUSED BY DEMOLITION WORK.
6. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE WALLS TO REMAIN.
7. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
8. CONTRACTOR SHALL REVIEW ALL WALLS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED AND DETERMINE SALVAGE LOCATION. UNSALVAGEABLE WALL BLOCKS AND FOOTINGS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED.

LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE DEMOLISHED
- ===== UNIT LINE



Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, Inc. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, Inc. ©

ASPIRE SUBDIVISION
UNITS 1-4
SUCCESS LAND HOLDINGS, LLC

WALL DEMOLITION PLAN

Date:	08/20/2020	No. 1	Revised: LOT GRADES	Date:	12/20/2020	Job No.	2290
Drawn By:	thor	2	Revised: RING WALL, PAD, AND COLOMBEL GRADES	Date:	03/20/2022		CG-200
Ckd By:	ANW		ADDED 2-FOOT RAMP ON LOT 18, UNIT 2				SH. OF
			CHANGED TO MOUNTABLE CURB LOTS 18-20				