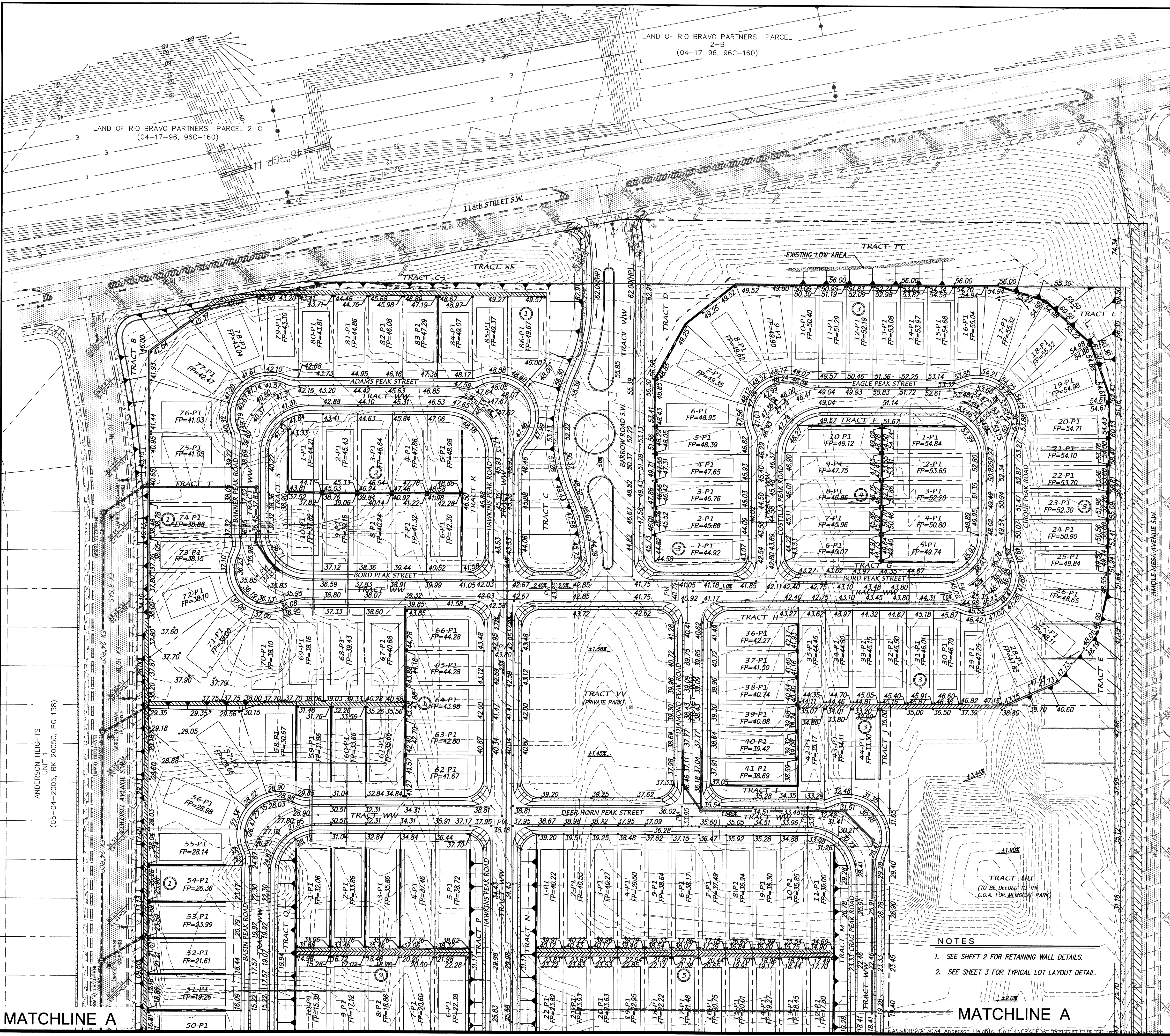




LEGEND

- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING FENCE
- EXISTING POWER POLE
- EXISTING GAS LINE
- EXISTING STORM DRAIN
- EXISTING SAS LINE
- EXISTING WATER LINE
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SIDEWALK (THIS PROJECT)
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW SPOT ELEVATIONS
- NEW FLOW DIRECTION
- NEW SLOPE
- NEW HIGH POINT
- NEW STORM DRAIN INLET
- ZONE BOUNDARY LINE
- NEW SINGLE RETAINING WALL
- NEW DOUBLE RETAINING WALL
- NEW TRIPLE RETAINING WALL
- NEW POINT OF VERTICAL INTERSECTION
- NEW STORM DRAIN
- NEW STORM DRAIN MANHOLE
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE

APPROVED ROUGH GRADING $\pm 18"$

CITY HYDROLOGY

DATE

60' 30' 0 60' 120'

SCALE: 1" = 60'

NOTES

- SEE SHEET 2 FOR RETAINING WALL DETAILS.
- SEE SHEET 3 FOR TYPICAL LOT LAYOUT DETAIL.

MATCHLINE A

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK ORDER NO.	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
REVIEWED BY	DATE
APPROVED BY	DATE

STATION "3-PIOT" IS LOCATED 5.9 MI. SW OF DOWNTOWN ALBUQUERQUE TO REACH STATION FROM INT. OF COORS AND DENNIS CHAVEZ BLVD. (FORMERLY RIO BRAVO), GO S. ON COORS BLVD. 0.62 MI. TO THE CENTERLINE OF COORS BLVD. THE STATION IS A STANDARD ACS AND IS ALUMINUM CAP RITTED TO A PIPE 0.25' ABOVE THE GROUND AND IS STAMPED "3-PIOT, 1998".

X=860733.56, Y=462437.48 (NAD 27), ELEV=4935.735 (S.D. 29)

ENGINEER'S SEAL

NO. DATE

REMARKS

DESIGN

DATE

DATE

DATE

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

TITLE: **ANDERSON HEIGHTS - UNIT 4 GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF

N-8/P-8 **1** **3**

ANDERSON HEIGHTS
UNIT 1
(05-04-2005, BK 2005C, PG 138)

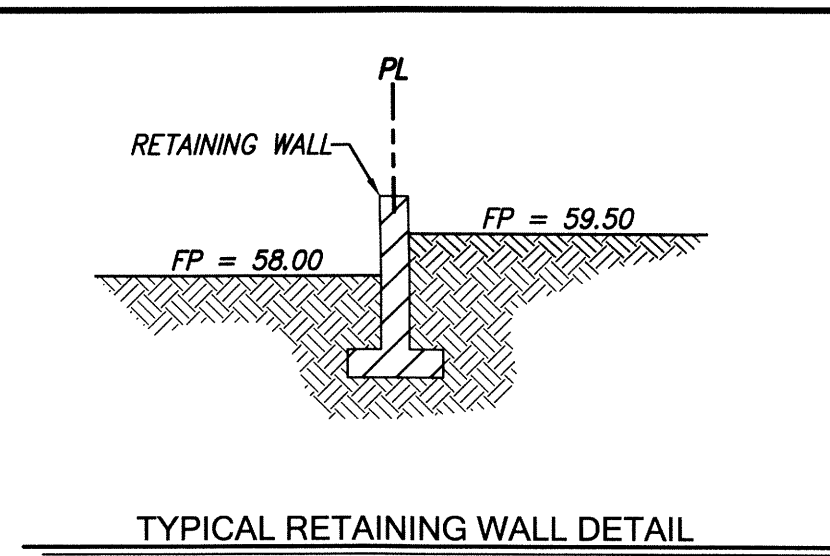
MATCHLINE A

MATCHLINE A

ALBANY 0055413034 Anderson Heights Unit 4 GRADING & DRAINAGE PLAN.dwg 6/26/2014

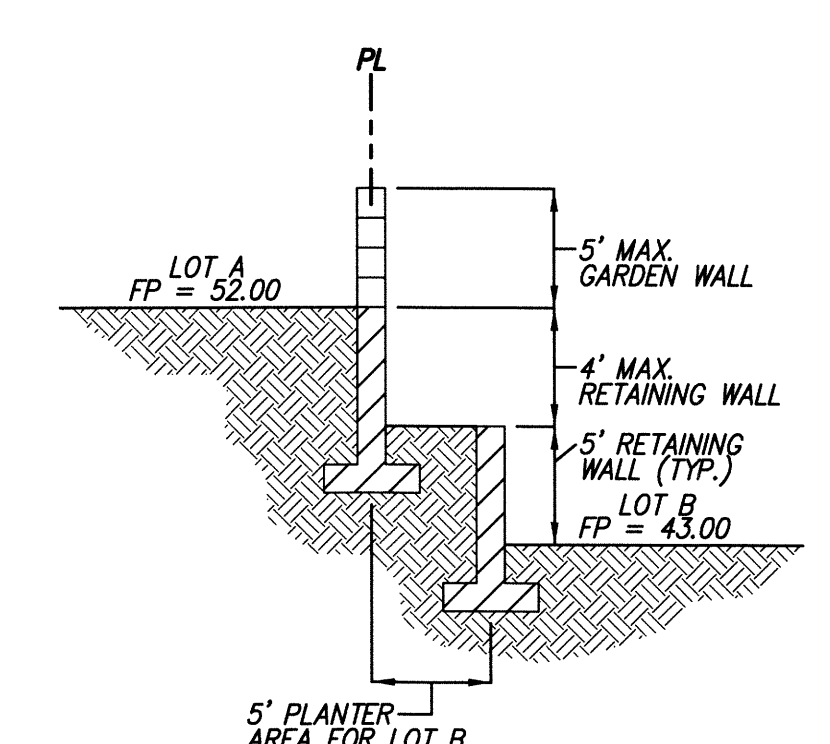
MATCHLINE A

MATCHLINE A

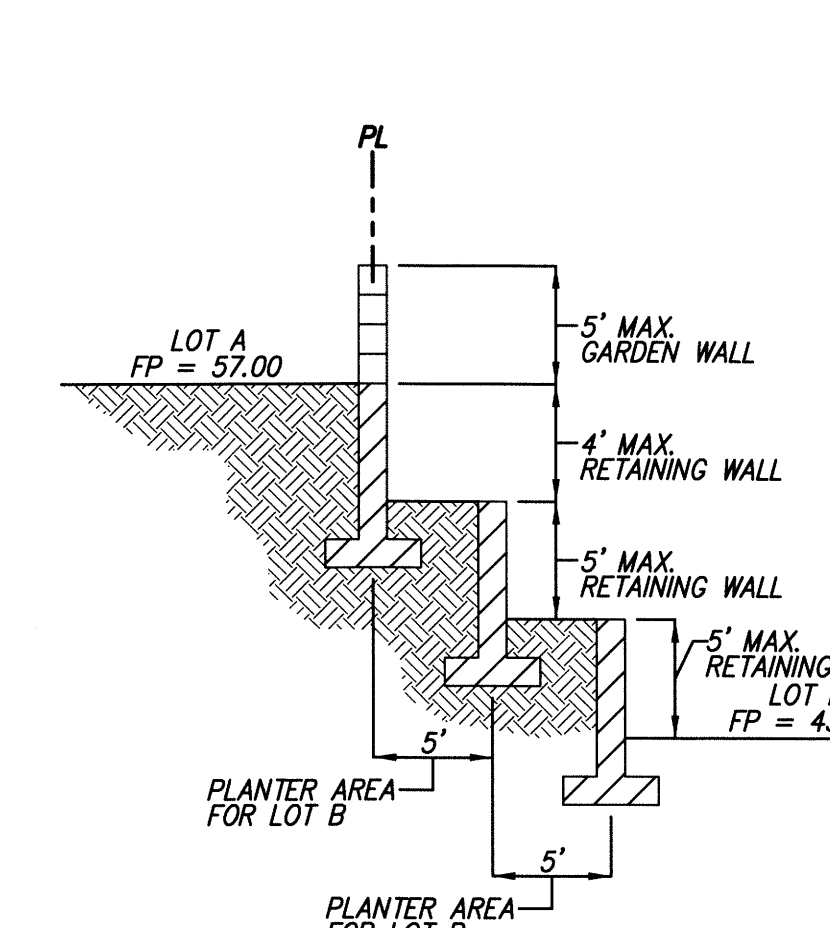


TYPICAL RETAINING WALL DETAIL

NOTE: RETAINING WALL REQUIRED WHEN THE DIFFERENCE BETWEEN PAD ELEVATIONS IS GREATER THAN 1.5



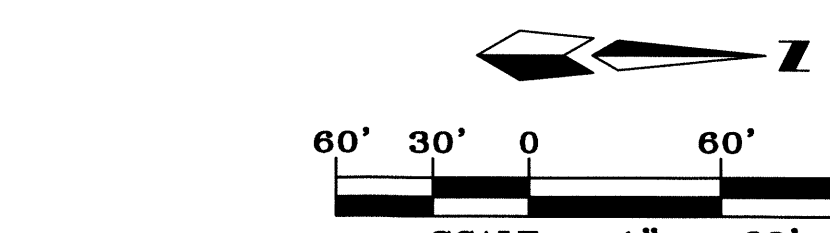
TYPICAL DOUBLE RETAINING WALL DETAIL



TYPICAL TRIPLE RETAINING WALL DETAIL

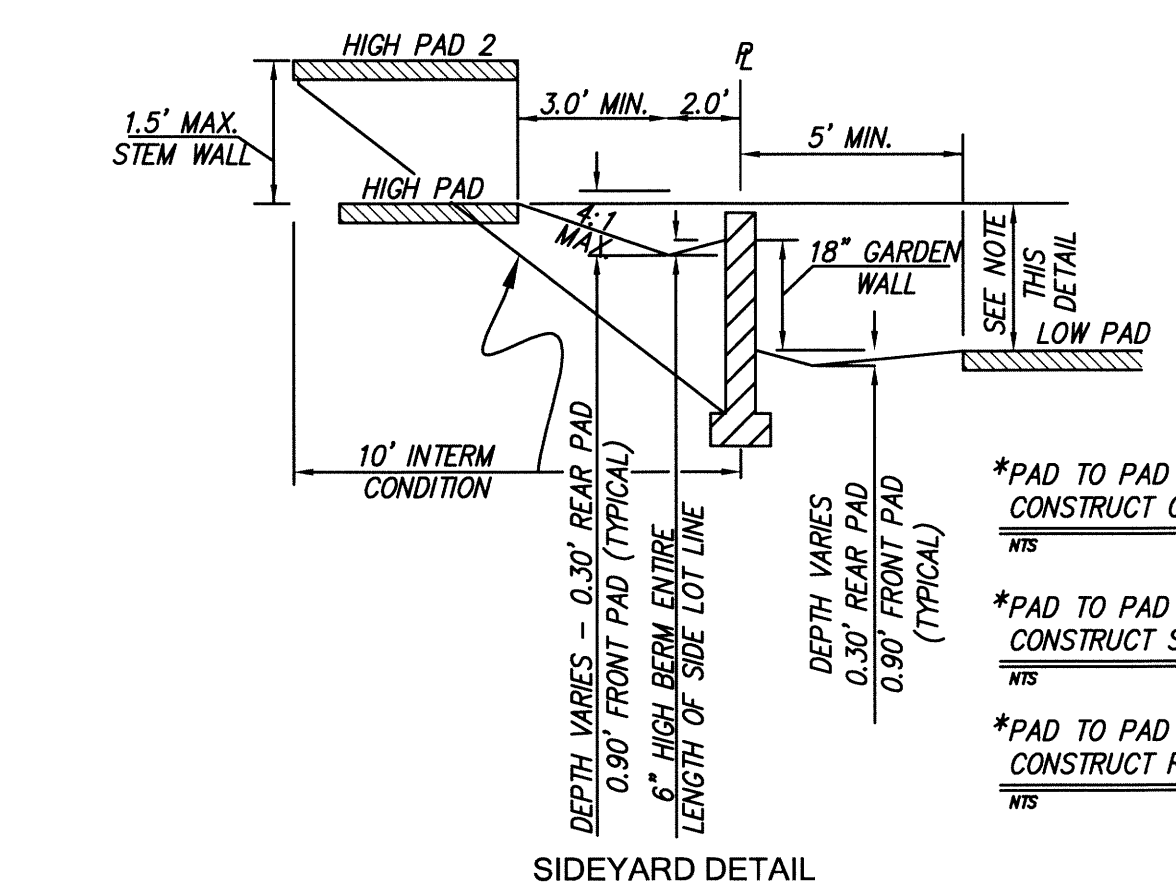
NOTES

- SEE SHEET 3 FOR TYPICAL LOT LAYOUT DETAIL



LEGEND

- | | | |
|---|--|---|
| <p>EXISTING CONTOUR (MAJOR)</p> <p>EXISTING CONTOUR (MINOR)</p> <p>EXISTING SPOT ELEVATION</p> <p>EXISTING SANITARY SEWER MANHOLE</p> <p>EXISTING FIRE HYDRANT</p> <p>EXISTING ELECTRIC TRANSFORMER</p> <p>EXISTING FENCE</p> <p>EXISTING POWER POLE</p> <p>6" GAS</p> <p>8" GAS</p> <p>10" GAS</p> | <p>10" W</p> <p>NEW MOUNTABLE CURB & GUTTER</p> <p>NEW STANDARD CURB & GUTTER</p> <p>NEW SIDEWALK (THIS PROJECT)</p> <p>NEW RIGHT-OF-WAY</p> <p>NEW CENTERLINE</p> <p>NEW LOT LINES</p> <p>NEW EASEMENTS</p> <p>NEW SPOT ELEVATIONS</p> <p>NEW FLOW DIRECTION</p> <p>NEW SLOPE</p> <p>NEW HIGH POINT</p> | <p>NEW STORM DRAIN INLET</p> <p>ZONE BOUNDARY LINE</p> <p>NEW SINGLE RETAINING WALL</p> <p>NEW DOUBLE RETAINING WALL</p> <p>NEW TRIPLE RETAINING WALL</p> <p>NEW POINT OF VERTICAL INTERSECTION</p> <p>NEW STORM DRAIN</p> <p>NEW STORM DRAIN MANHOLE</p> <p>EXISTING ASPHALT PAVEMENT</p> <p>EXISTING CONCRETE</p> |
|---|--|---|



USE RETAINING WALLS:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS 3.0' OR MORE A RETAINING WALL MUST BE CONSTRUCTED BETWEEN THE LOTS AS SHOWN ON THE PLAN AND THERE WILL BE NO PRIVATE DRAINAGE EASEMENT.

USE STEM WALLS:
WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE ADJACENT PADS IS GREATER THAN 1.5' BUT LESS THAN 3.0', A STEM WALL SHALL BE CONSTRUCTED BY THE BUILDER ON THE "HIGH SIDE" OF LOT PAD.

FOR ALL SIDE YARDS:
EACH LOT OWNER MUST CONSTRUCT, OPERATE, AND MAINTAIN HIS OWN SEPARATE DRAINAGE SWALE ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.

*PAD TO PAD < 1.5' CONSTRUCT GARDEN WALL

*PAD TO PAD 1.5' > 3.0' CONSTRUCT STEM WALL OR RETAINING WALL

*PAD TO PAD > 3.0' CONSTRUCT RETAINING WALL

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **ANDERSON HEIGHTS - UNIT 4
GRADING AND DRAINAGE PLAN**

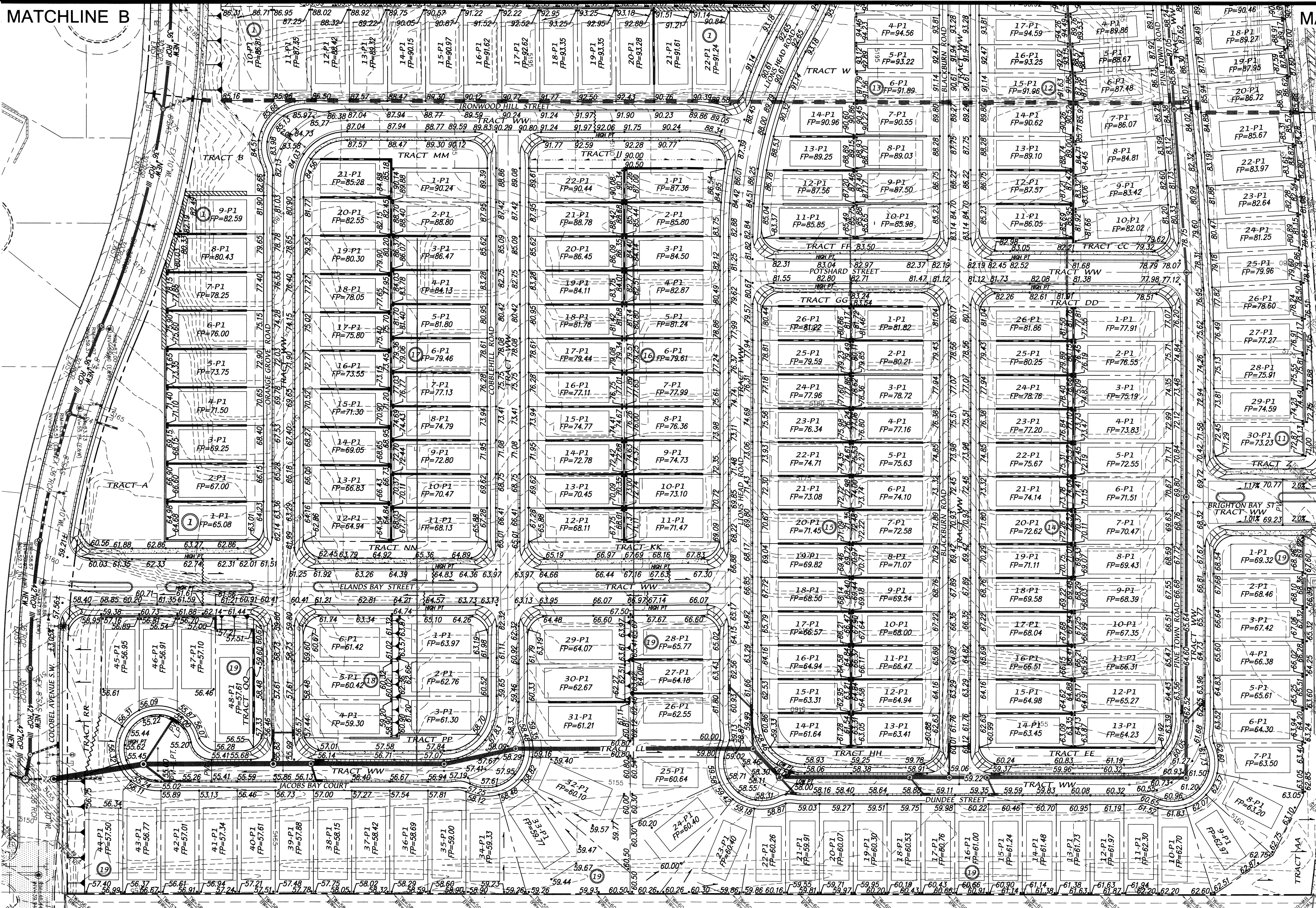
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

DESIGNED BY: **DLH** DATE: **04/14**
DRAWN BY: **DER** DATE: **04/14**
CHECKED BY: **DMG** DATE: **04/14**

CITY PROJECT NO. **N-8/P-8** ZONE MAP NO. **2** SHEET **3**

MATCHLINE B

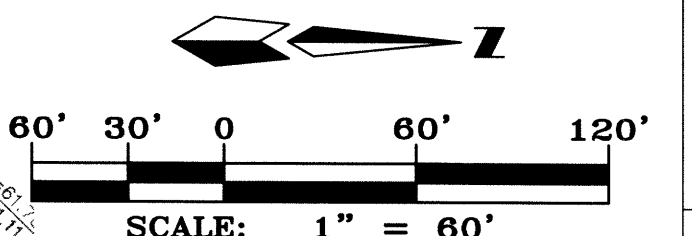
MATCHLINE B



- EROSION CONTROL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND METTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

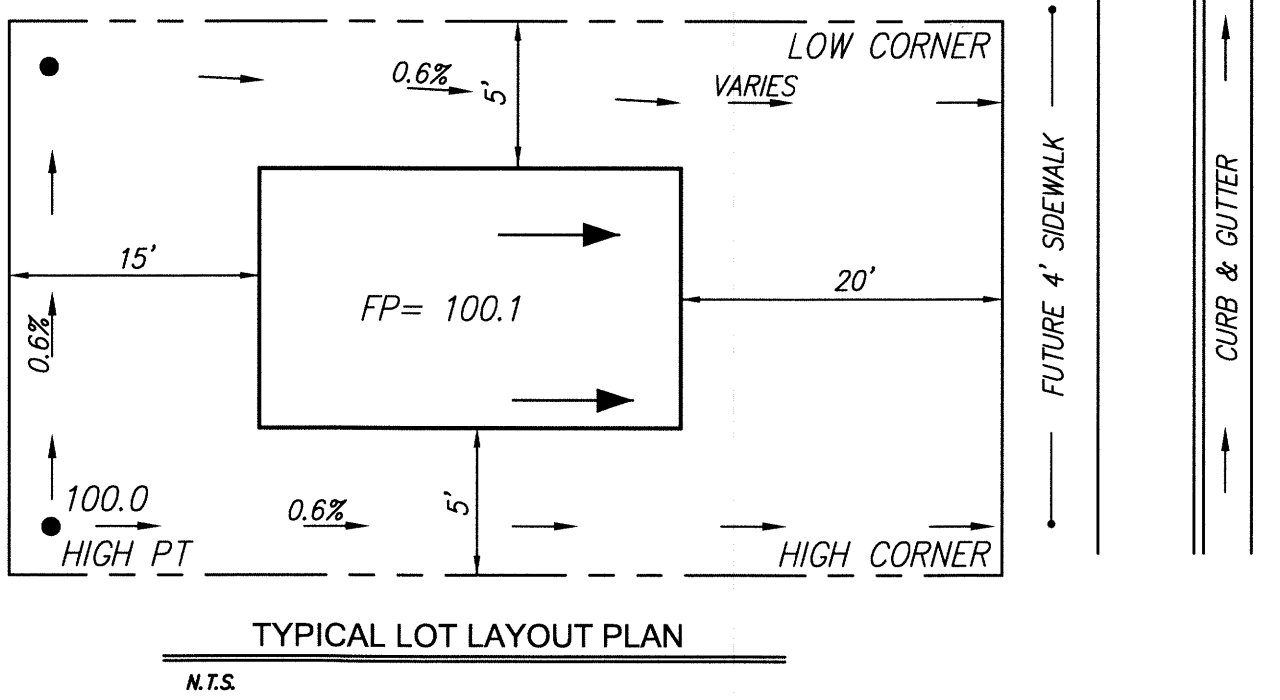
NOTES

1. SEE SHEET 2 FOR RETAINING WALL DETAILS.



LEGEND

- | | | | |
|-------------------------------------|------------|---------------------------------|--|
| --- EXISTING CONTOUR (MAJOR) | --- 10' WL | --- EXISTING WATER LINE | --- NEW STORM DRAIN INLET |
| --- EXISTING CONTOUR (MINOR) | --- 10' WL | --- NEW MOUNTABLE CURB & GUTTER | --- ZONE BOUNDARY LINE |
| --- EXISTING SPOT ELEVATION | --- 10' WL | --- NEW STANDARD CURB & GUTTER | --- NEW SINGLE RETAINING WALL |
| --- EXISTING SANITARY SEWER MANHOLE | --- 10' WL | --- NEW SIDEWALK (THIS PROJECT) | --- NEW DOUBLE RETAINING WALL |
| --- EXISTING FIRE HYDRANT | --- 10' WL | --- NEW RIGHT-OF-WAY | --- NEW TRIPLE RETAINING WALL |
| --- EXISTING ELECTRIC TRANSFORMER | --- 10' WL | --- NEW CENTERLINE | --- NEW POINT OF VERTICAL INTERSECTION |
| --- EXISTING FENCE | --- 10' WL | --- NEW LOT LINES | --- NEW STORM DRAIN |
| --- EXISTING POWER POLE | --- 10' WL | --- NEW EASEMENTS | --- NEW STORM DRAIN MANHOLE |
| --- 6" GAS | --- 10' WL | --- NEW SPOT ELEVATIONS | --- EXISTING ASPHALT PAVEMENT |
| --- 30" SD | --- 10' WL | --- NEW FLOW DIRECTION | --- EXISTING CONCRETE |
| --- 8" SAS | --- 10' WL | --- NEW SLOPE | |
| --- 10" WL | --- 10' WL | --- NEW HIGH POINT | |



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

ANDERSON HEIGHTS - UNIT 4
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL: MO./DAY/YR. MO./DAY/YR.

DESIGNED BY: DLH DATE: 04/14
DRAWN BY: DER DATE: 04/14
CHECKED BY: DMG DATE: 04/14

CITY PROJECT NO. ZONE MAP NO. SHEET OF

N-8/P-8 3 3