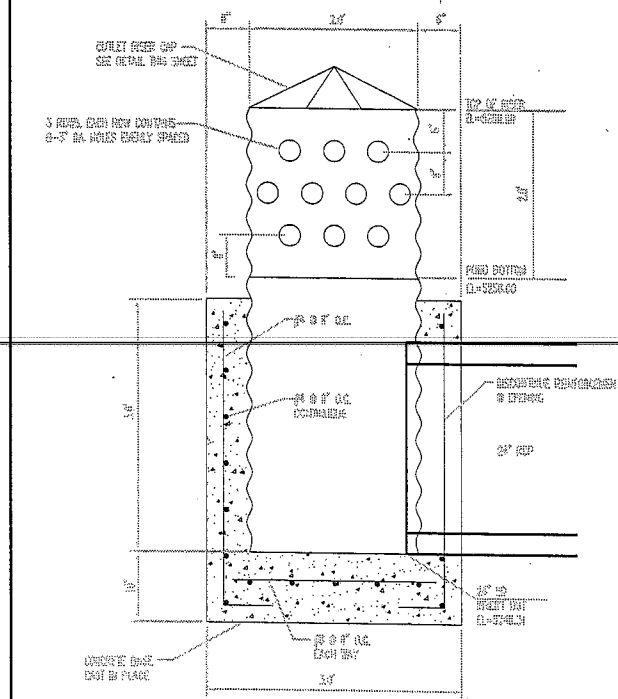
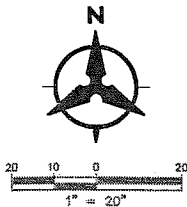
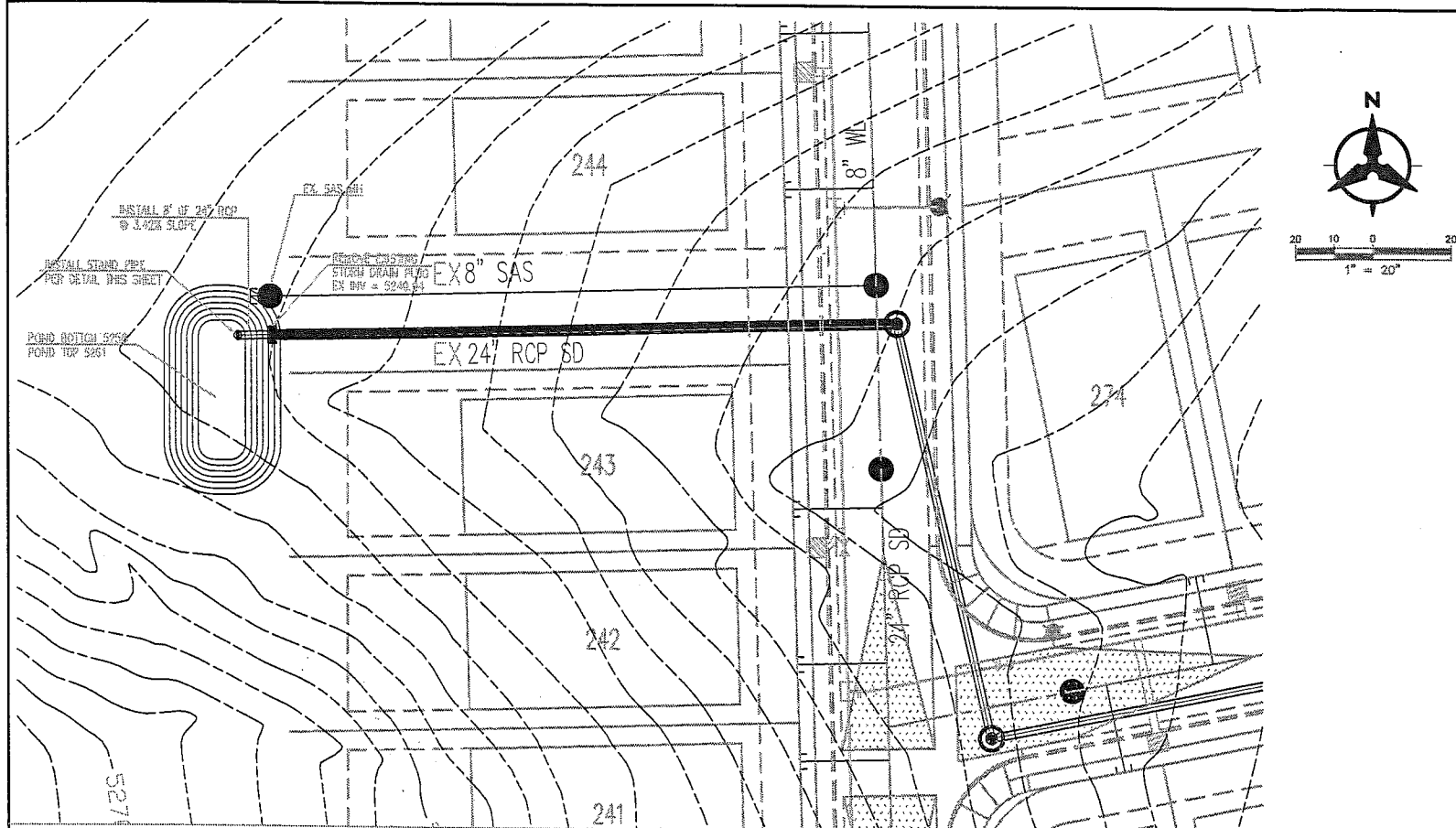
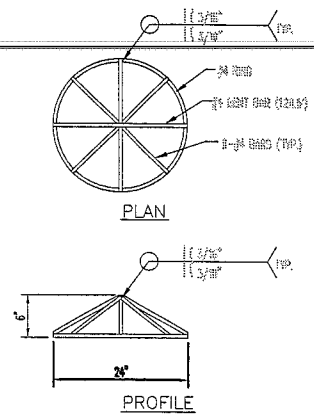




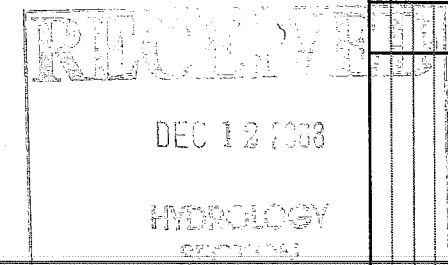
POND OUTLET RISER DETAIL

NOT TO SCALE



OUTLET RISER CAP DETAIL

NOT TO SCALE



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ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
SIERRA RANCH UNIT 2
OFFSITE POND

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXXXX	Zone Map No. N-9	Sheet 1 Of 1		

JUNE 2002

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE

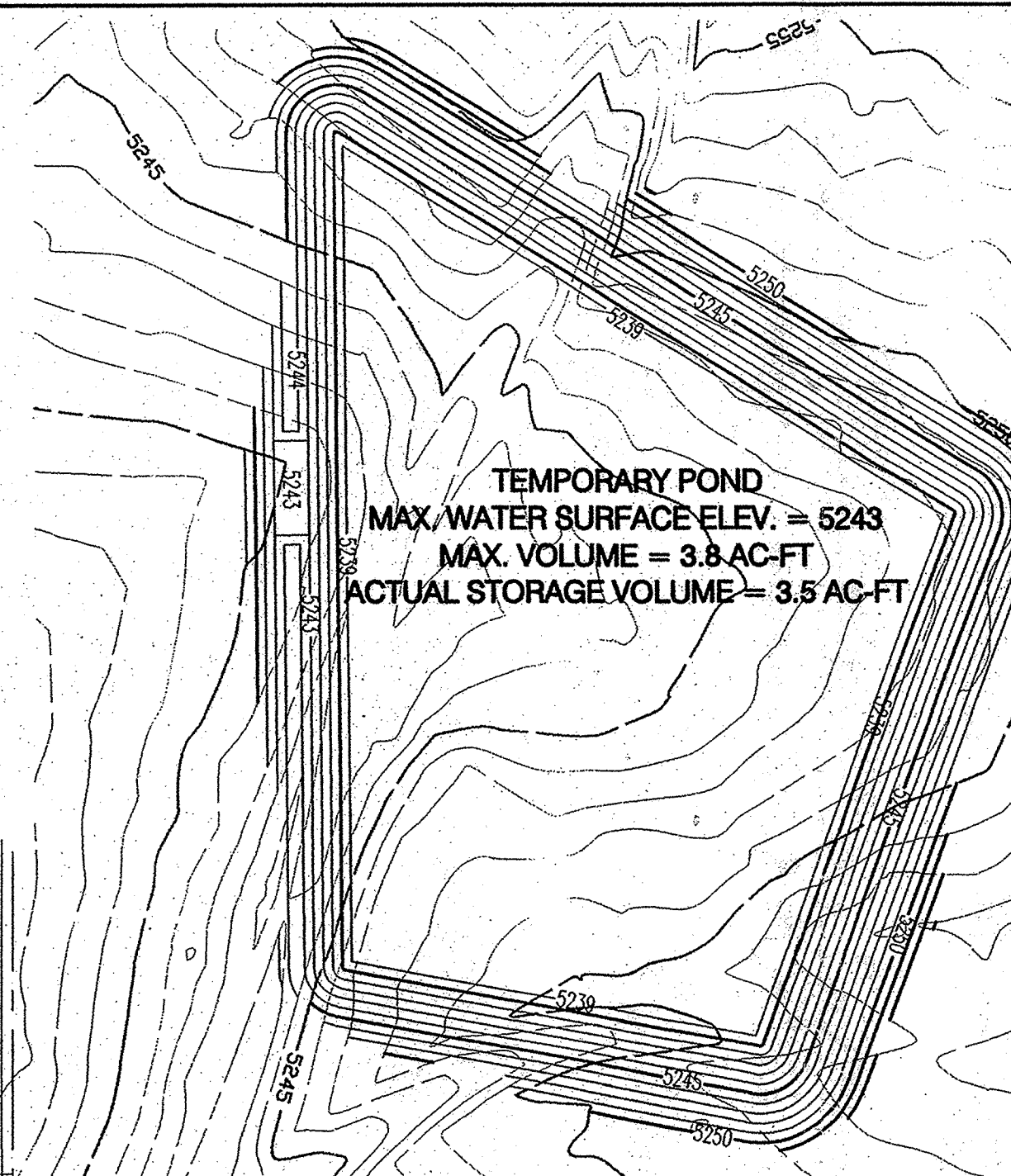
BENCH MARKS	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL	

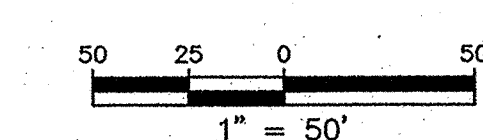
REVISIONS	
No.	Date

MICRO-FILM INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE



GENERAL NOTES

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3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DIST. CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
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5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOLDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



DRAINAGE CERTIFICATION

1. SCOTT J. STEFFEN, MIN# 14684, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE SIERRA RANCH UNIT 1 SUBDIVISION HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLANNED 1/26/05. AT THIS TIME, SIERRA RANCH UNIT 2 HAS NOT BEEN GRADED AND WILL BE SEPARATELY CERTIFIED UPON COMPLETION OF GRADING. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS DOES NOT REPRESENT THE LAND SURVEYOR'S FIELD DATA. THE SURVEYOR HAS PERSONALLY VISITED THE PROJECT SITE ON 8/25/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIA/FINANCIAL GUARANTY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY THIS SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

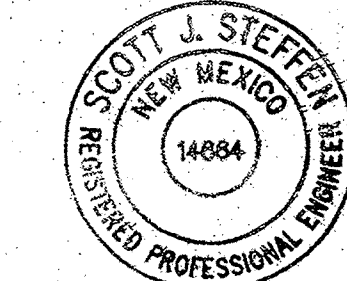
Scott J. Steffen 10/17/06

_____ SCOTT J. STEFFEN,
NMP# 14664
DATE: OCTOBER 17, 2006

1990

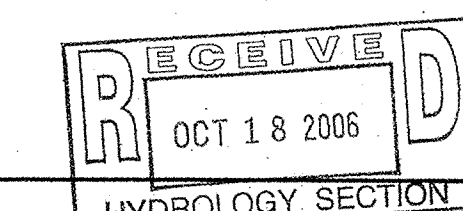
ST J. STEPHEN

SCOTT J. STEFFEN



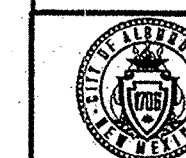
LEGEND

- | | |
|---|--------------------------------------|
|  | FUTURE SPOT ELEVATION |
|  | PROPOSED SPOT ELEVATION |
|  | EXISTING SPOT ELEVATION (GRND & TC) |
|  | EXISTING CURB & GUTTER |
|  | PROPOSED MOUNTABLE CURB & GUTTER |
|  | PROPOSED STANDARD CURB & GUTTER |
|  | EXISTING CONCRETE W/ INDEX ELEVATION |
|  | FLOW ARROW |
|  | PROPOSED RETAINING WALL |
|  | PROPOSED GARDEN WALL |
|  | CONCRETE FILLED TO 1-FOOT DEPTH |
|  | PROPOSED SLOPE |
|  | PROPOSED STORM DRAIN |
|  | PROPOSED STORM DRAIN MANHOLE |
|  | PROPOSED STORM DRAIN INLET |
|  | PROPOSED CATTLE GUARD INLET |
|  | WALL DRAIN |



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

**SIERRA RANCH SUBDIVISION
UNIT I GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.			
City Project No.	XXXXXX	Zone Map No.	N-8-N	Sheet	1	Of	7

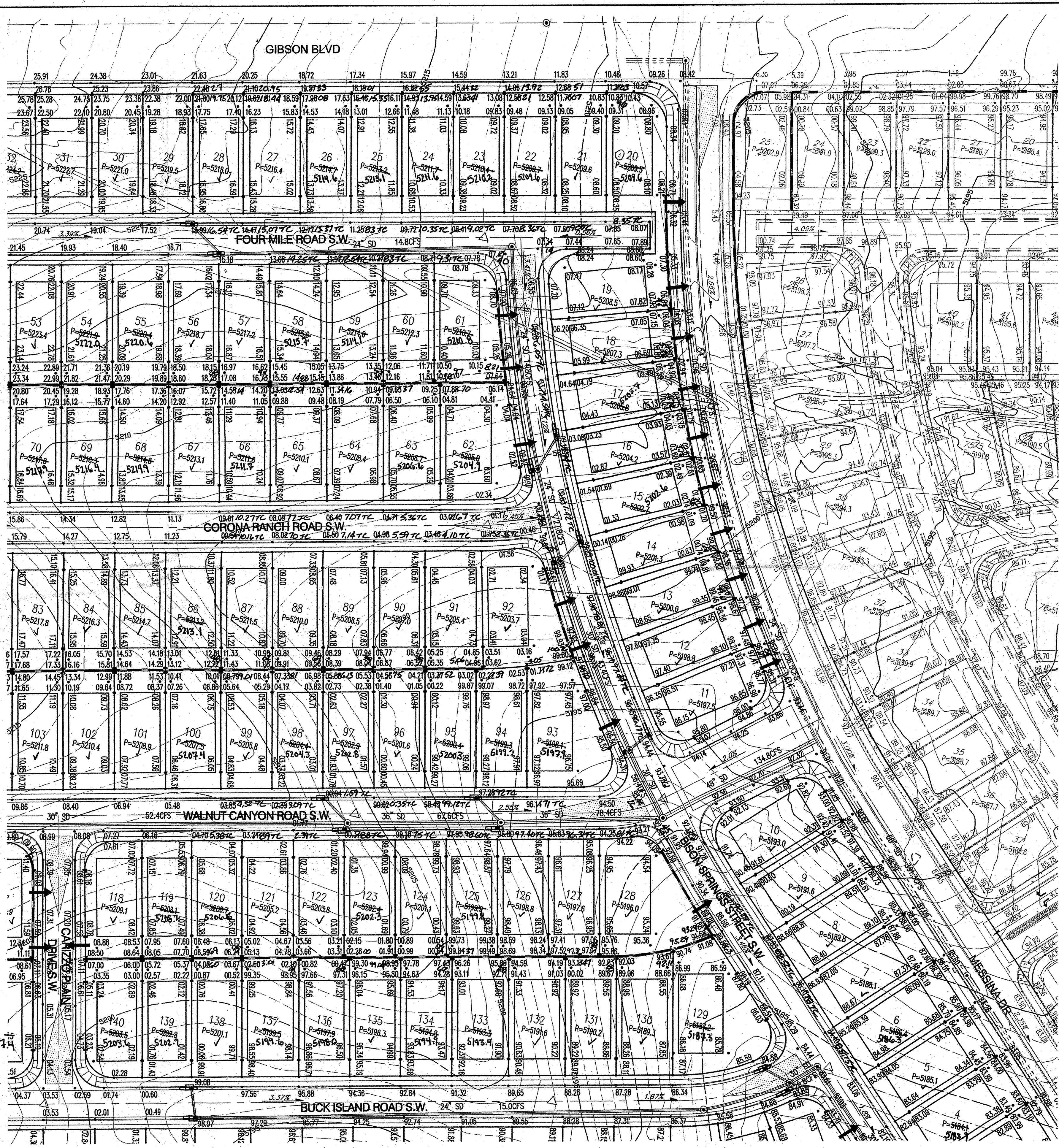
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Bradley L. Bingham 1-26-05

APPROVED FOR ROUGH GRADING DATE

DRB APPROVED 01/26/05

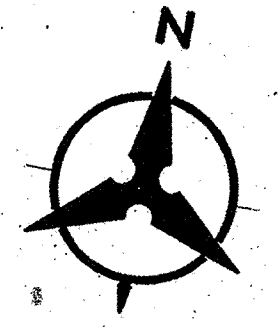
SEE SHEET 1 FOR CONTINUATION



SEE SHEET 3 FOR CONTINUATION

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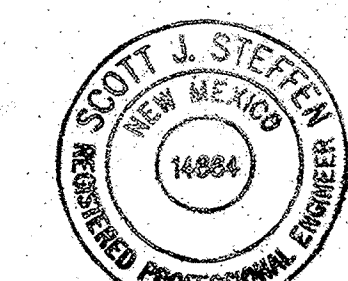
50 25 0 50
1" = 50'

DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, N.M.P.E. 14664, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE SIERRA RANCH UNIT 1 SUBDIVISION HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/25/05. AT THIS TIME, SIERRA RANCH UNIT 2 HAS NOT BEEN GRADED AND WILL BE SEPARATELY CERTIFIED UPON COMPLETION OF GRADING. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALDRICH LAND SURVEYING INC., N.M.P.S. 7719. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/25/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIA/FINANCIAL GUARANTEE RELEASE.

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Scott J. Steffen 10/1/06
N.M.P.E. 14664
DATE: OCTOBER 2006



LEGEND

- SCOTT J. STEFFEN, N.M.P.E. 14664
- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED MOUNTAIN CURB & GUTTER
- ===== PROPOSED STANDARD CURB & GUTTER
- ===== EXISTING CANTON W/ INDEX ELEVATION
- FLOW ARROW
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
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- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED CATTLE GUARD INLET
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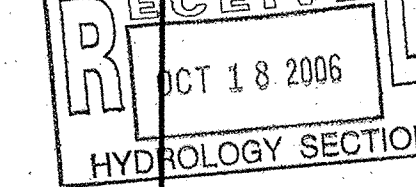


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

SIERRA RANCH SUBDIVISION
UNIT 1 GRADING AND DRAINAGE PLAN

Design Review Committee

City Engineer Approval



City Project No.

XXXXX

Zone Map No.

N-8-Z

Sheet

Of

2

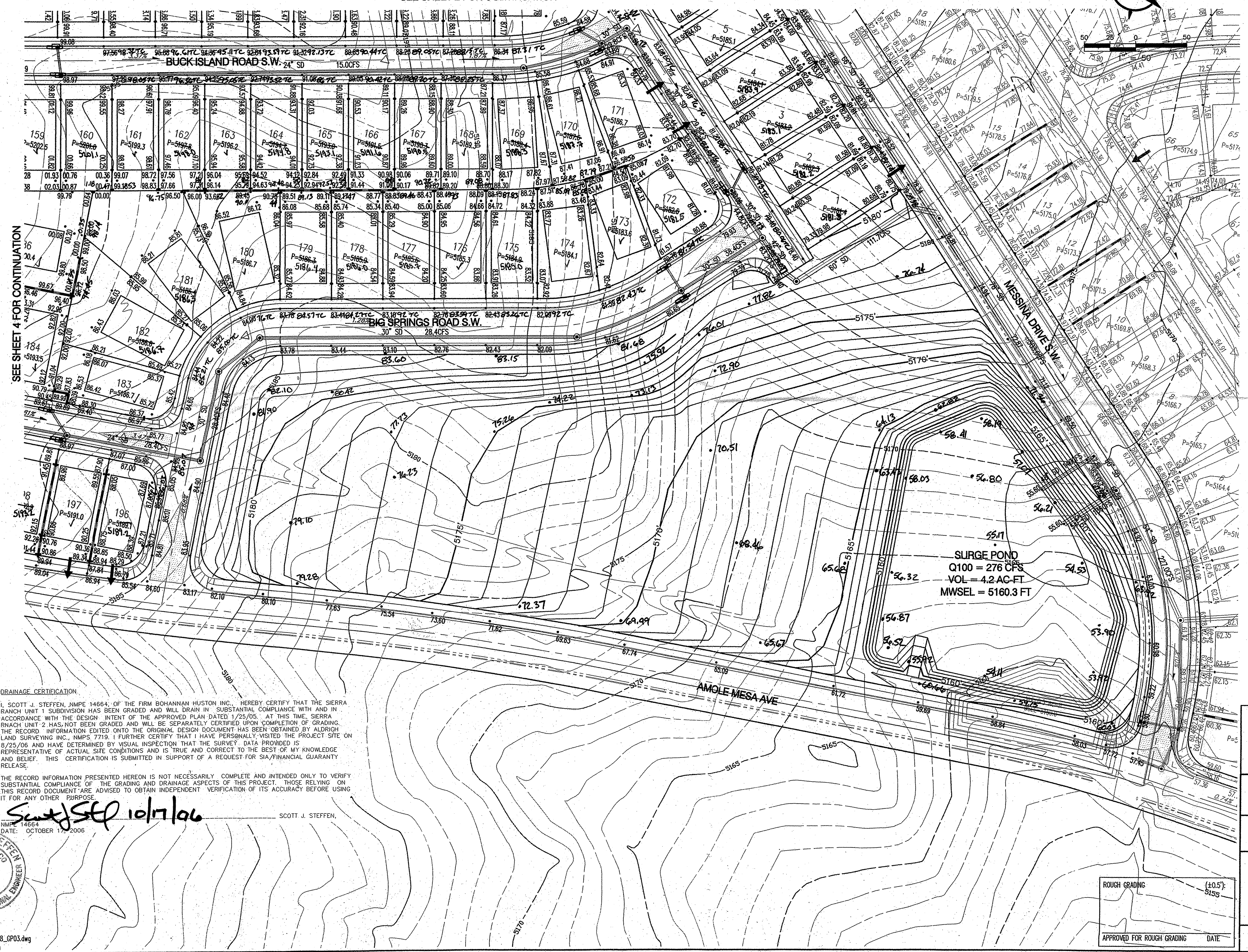
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ROUGH GRADING (±0.5')
Bradley L. Bunker 1.26.05
APPROVED FOR ROUGH GRADING DATE

DRB APPROVED 01/26/05

SEE SHEET 2 FOR CONTINUATION

SEE SHEET 4 FOR CONTINUATION

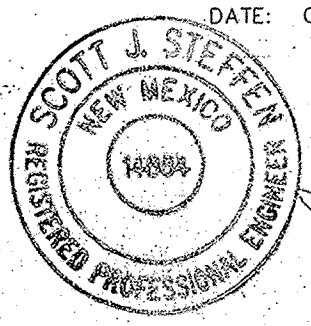


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Scott J. Steffen 10/17/06
SCOTT J. STEFFEN
NMPE 14664
DATE: OCTOBER 17, 2006



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- (91.62) FUTURE SPOT ELEVATION
 - 91.62 PROPOSED SPOT ELEVATION
 - × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
 - ===== EXISTING CURB & GUTTER
 - ===== PROPOSED MOUNTABLE CURB & GUTTER
 - ===== PROPOSED STANDARD CURB & GUTTER
 - 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - ===== PROPOSED RETAINING WALL
 - ===== PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
 - ===== PROPOSED SLOPE
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 - ===== PROPOSED CATTLE GUARD INLET
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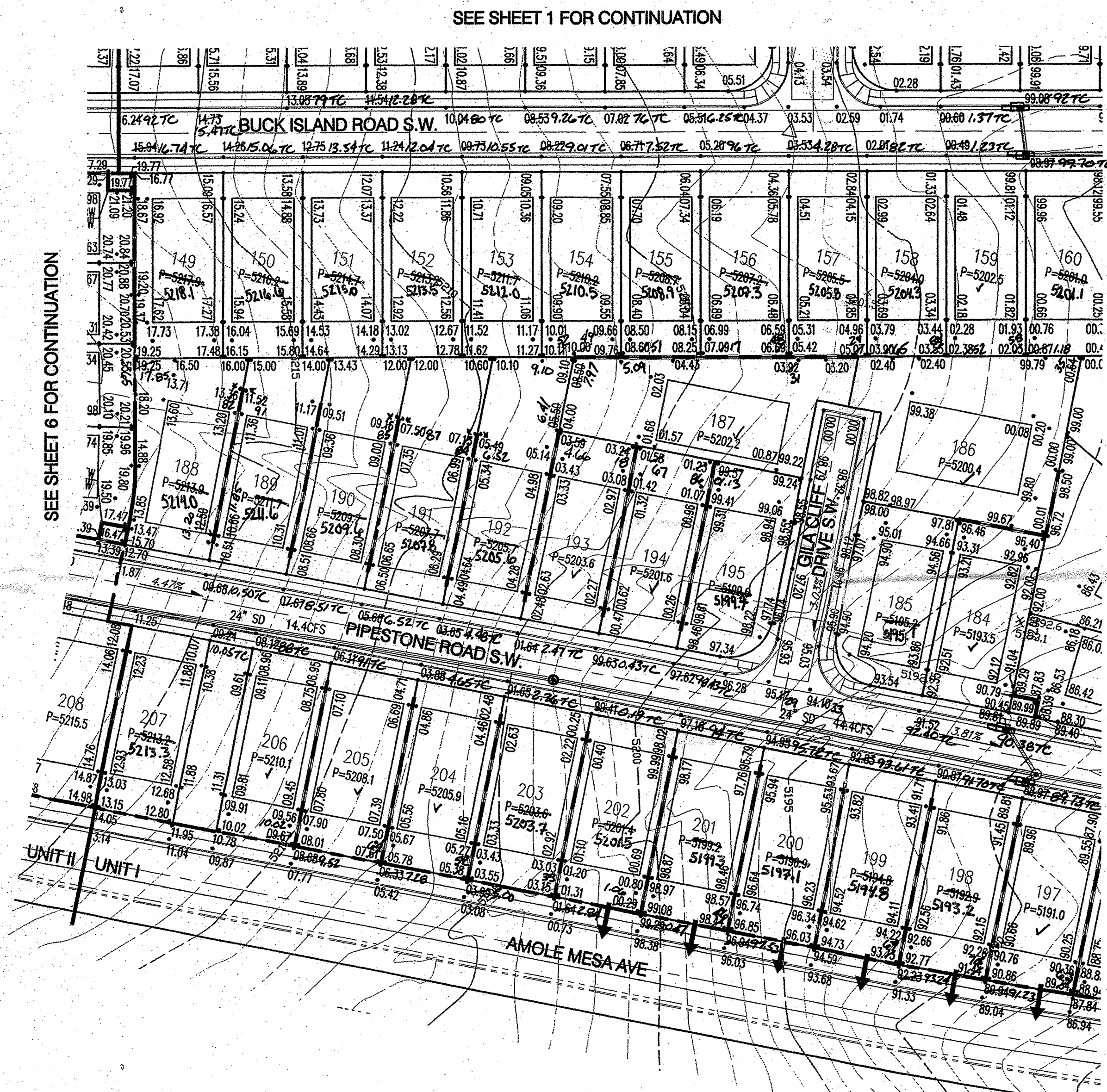
Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
SIERRA RANCH SUBDIVISION
UNIT I GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXX	Sheet	3 Of 7

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		REMARKS	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	BY	NO.	BY
INSPECTOR	DATE	INSPECTOR	DATE								
FIELD	DATE	FIELD	DATE								
VERIFICATION BY	DATE	VERIFICATION BY	DATE								
APPROVED BY	DATE	APPROVED BY	DATE								
RECORDED BY	DATE	RECORDED BY	DATE								
NO.		NO.									





DRAINAGE CERTIFICATION

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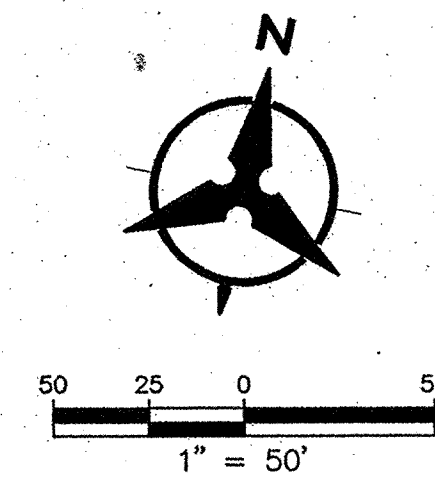
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Scott J. Steffen 10/17/06
NMPE 14664
DATE: OCTOBER 17, 2006



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LEGEND

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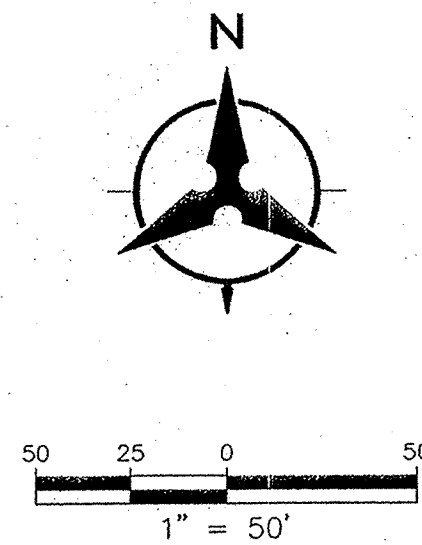
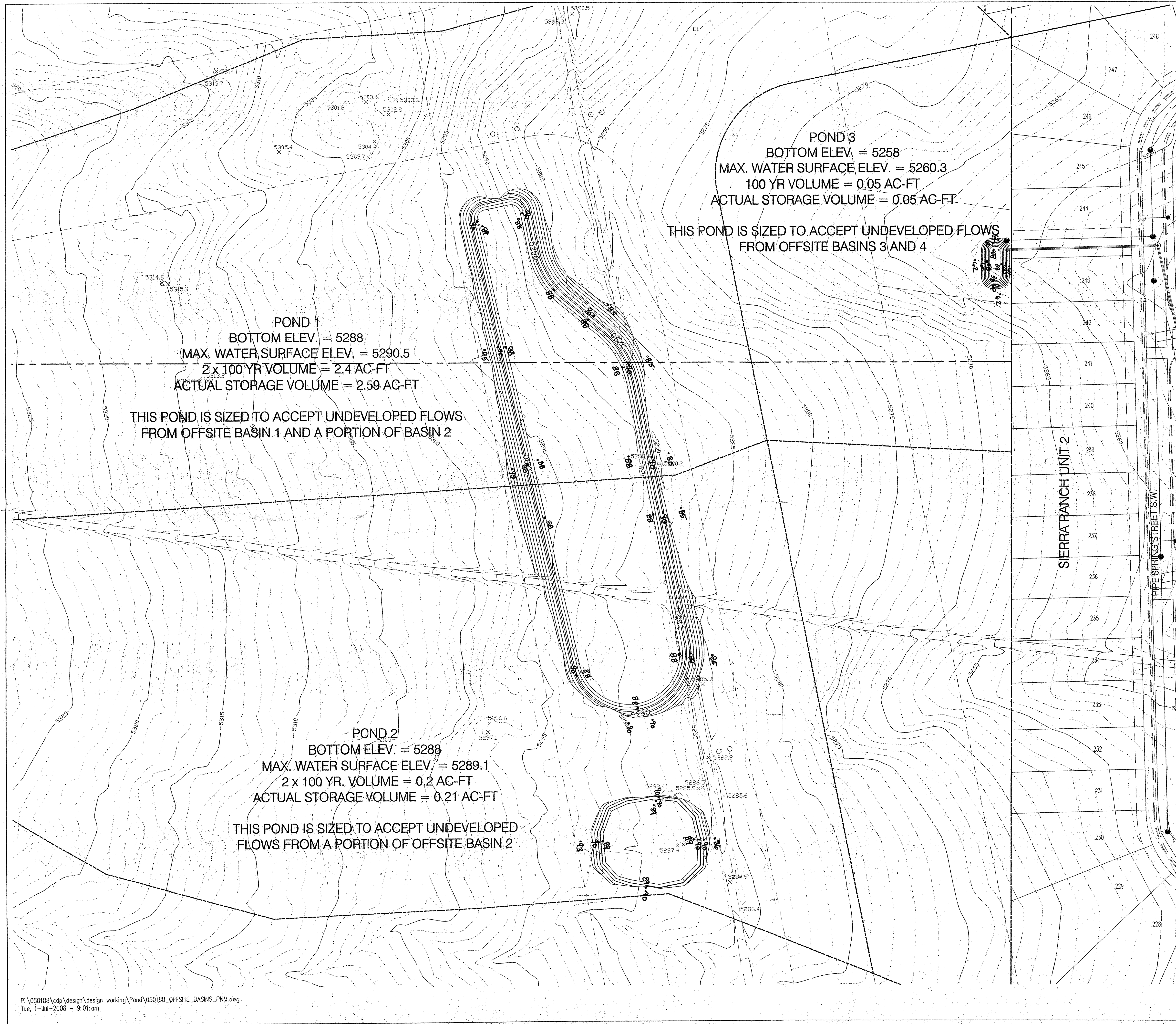
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

SIERRA RANCH SUBDIVISION
UNIT I GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
	RECEIVED OCT 18 2006 HYDROLOGY SECTION		
City Project No.	Zone Map No.	Sheet	Of
XXXXX	N-8-Z	4	7



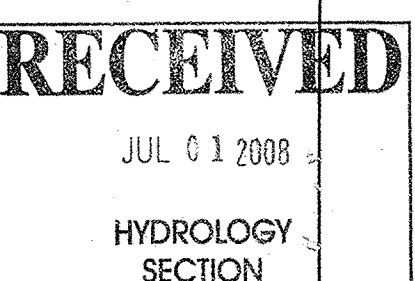
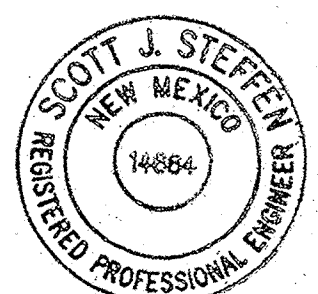
PNM POWERLINE EASEMENT PONDS SIERRA RANCH SUBDIVISION FEBRUARY 2008

DRAINAGE CERTIFICATION

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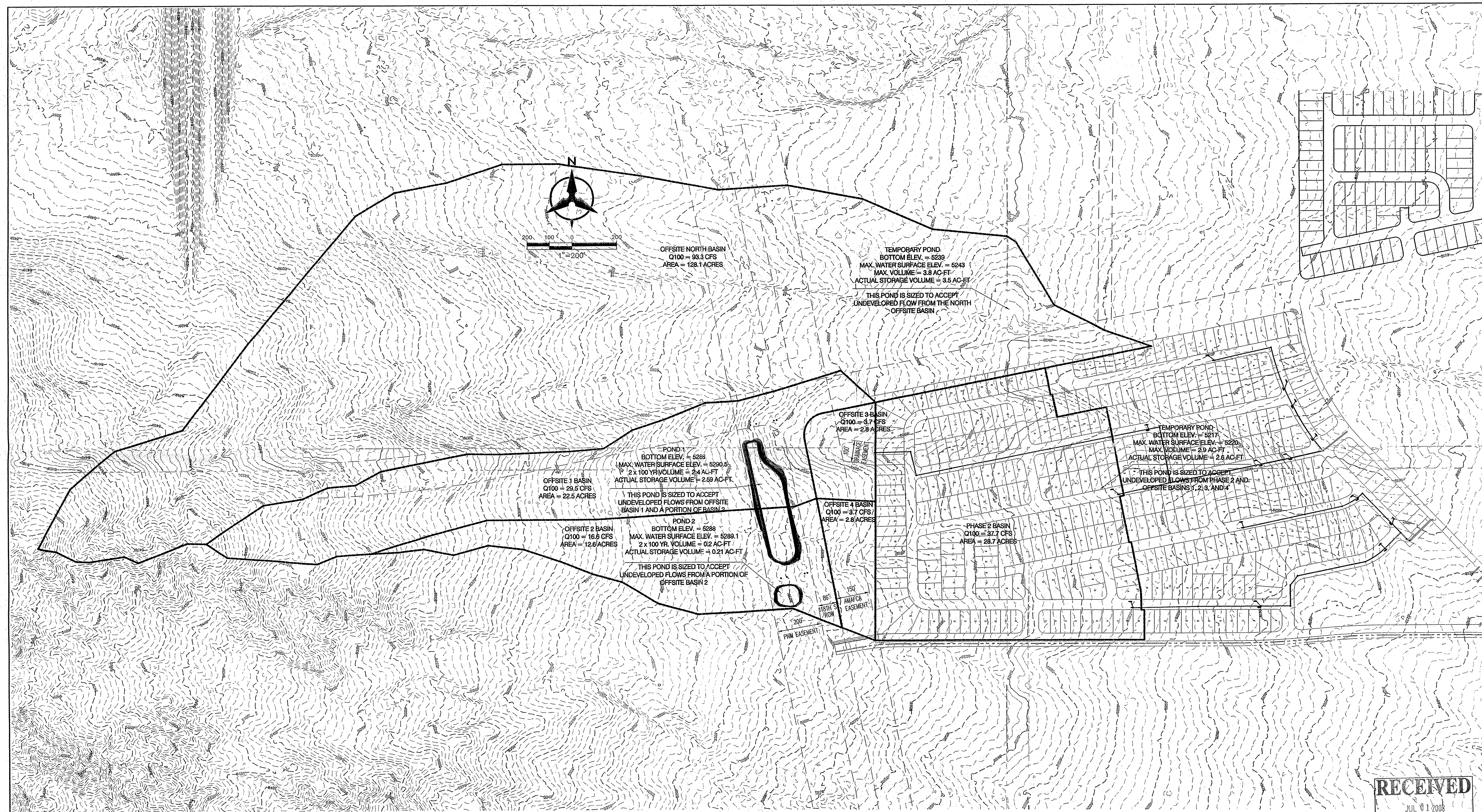
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DATE: JULY 1, 2008 *Scott J. Steffen* 7-1-08 SCOTT J. STEFFEN, NMPE 14664



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**HISTORIC FLOW CONDITIONS
 OFF-SITE BASIN MAP
 SIERRA RANCH SUBDIVISION
 FEBRUARY 2008**

P:\050188\cdp\design\design working\050188_BASIN_MAP_OFFSITE.dwg
 July 01, 2008 - 8:51am

RECEIVED
 JUL 01 2008
 HYDROLOGY
 SECTION

Handwritten signature and date: 2/20/08

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