

June 27, 2013

Mr. Tim Sims
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification, Diamond Mesa
DRB Case No. 1002819, (N9/D12)

Dear Tim:

We are requesting Permanent Certificate of Occupancy for Buildings 94-96 at Diamond Mesa. Enclosed for your review is the approved grading and drainage plan dated 6/19/12, with as-built elevations.

In addition, this certification includes the previously approved certification dated 12/13/11 for Buildings 23, 24 and 86, 2/29/12 for the Club House building, 2/1/13 for Building 25, 2/19/13 for Buildings 26 and 87, 4/18/13 for Buildings 27-31, 5/24/13 for Building 32, and 6/17/13 for Buildings 89-93, which are also noted on the as-built drawing. The as-built survey was provided by Surv-Tek.

After reviewing these as-built elevations and visiting the site on 6/27/13, it is my belief that the site has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for permanent Certificate of Occupancy for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

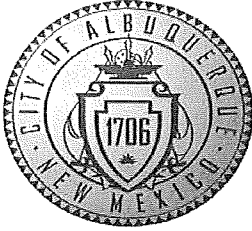
Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Rick Beltramo, Galway Construction



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Diamond Mesa Building Permit #: _____ City Drainage #: N9/D012
DRB#: 1002819 EPC#: _____ Work Order#: _____
Legal Description: Tract E-6-A-1, Albuquerque South, Unit 3
City Address: 2300 Diamond Mesa Trail

Engineering Firm: Bohannon Huston, Inc. Contact: Scott Steffen
Address: Courtyard I 7500 Jefferson Street NE Albuquerque NM 87109
Phone#: 505-823-1000 Fax#: _____ E-mail: ssteffen@bhinc.com

Owner: Galway Construction Contact: Rick Beltramo
Address: 6330 Riverside Plaza Lane #160 Albuquerque NM 87120
Phone#: 505-761-9911 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: June 27, 2013 By: Scott J. Steffen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

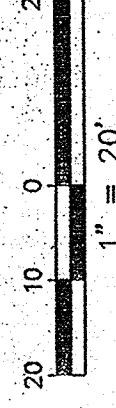
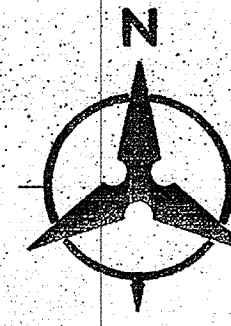
1. *What is the main purpose of the study?*
 2. *What are the research objectives?*
 3. *What is the research methodology?*
 4. *What are the findings of the study?*
 5. *What are the conclusions of the study?*
 6. *What are the limitations of the study?*
 7. *What are the implications of the study?*
 8. *What are the future research directions?*
 9. *What are the contributions of the study?*
 10. *What are the key words of the study?*

[illegible]

Project :

DIAMOND MESA

ALBUQUERQUE, N.M.



ACS: BRASS TABLET STAMPED: "TRANS"
Geographic Position: (NAD: 1927)
N.M. State Plane Coordinates (Central
X= 354,899.45; Y= 1,471,822.67
Ground-to-Grid Factor = 0.99967921
 $\Delta\alpha = -00^{\circ}15'42''$

License Stamp



Project Contact:
Phone #:
Fax #:
E-Mail:

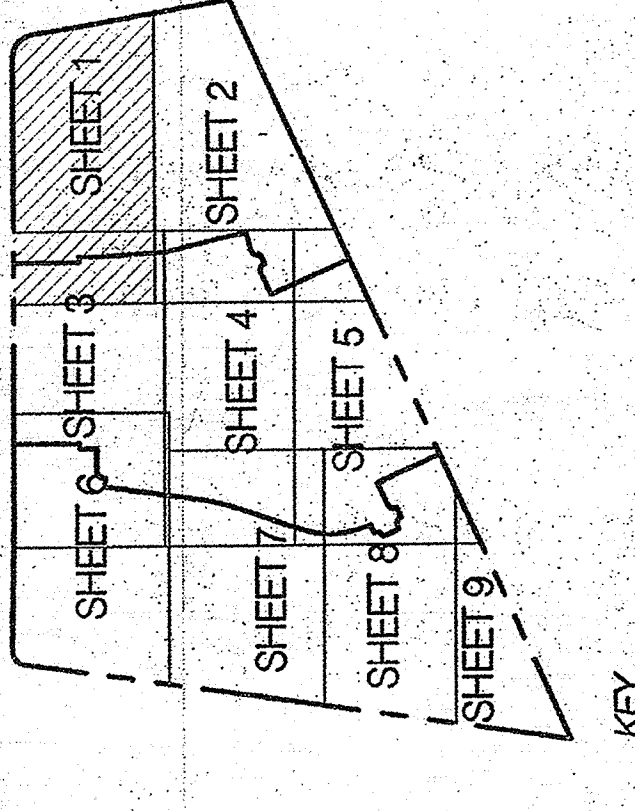
Principal in Charge
Project Director
Project Designer
Project Manager

Sheet Title :

GRADING & DRAINAGE PLAN

Sheet No.

02:07



GENERAL NOTES

1. ALL WORK BEING DONE ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES' STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION, AND THE CITY OF LOS ANGELES' STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS WITH RESPECT TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING PERMITS, ETC., AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRIC, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITIES, CABLES, AND APPURTEINANCES. ENGINEERING CONSULTING WITH THESE UTILITIES SHALL BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO MAINTAIN ACCESS TO ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRIC, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITIES, CABLES, AND APPURTEINANCES. ENGINEERING CONSULTING WITH THESE UTILITIES SHALL BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO MAINTAIN ACCESS TO ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRIC, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITIES, CABLES, AND APPURTEINANCES. ENGINEERING CONSULTING WITH THESE UTILITIES SHALL BE REQUIRED.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE CITY ENGINEERING DEPARTMENT FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITIES, CABLES, AND APPURTEINANCES, EXPOSED DURING CONSTRUCTION, SHALL BE PROTECTED, SHALL BE REPAIRED, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO MAINTAIN ACCESS TO ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRIC, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITIES, CABLES, AND APPURTEINANCES. ENGINEERING CONSULTING WITH THESE UTILITIES SHALL BE REQUIRED.
6. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING LOCATION & ELEVATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRIC, TELEPHONE, CABLE, TV, GAS AND OTHER UTILITIES, CABLES, AND APPURTEINANCES, EXPOSED DURING CONSTRUCTION, SHALL BE PROTECTED, SHALL BE REPAIRED, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERHEAD PIPING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR ADJACENT TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. EXCAVATING, TYPING, DISTURBANCE, EXCAVATION PERMITS, ETC. FROM THE CITY OF LOS ANGELES).
10. ALL PROPERTY CONDITIONS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CONDITIONS MUST BE RESTORED TO A RECONSTRUCTED LAND SURFACE.
11. ALL BARRICADES AND CONSTRUCTION SIGNALING SHALL CONFORM TO APPLICABLE SECTIONS OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ITS SUPPLEMENTS, AND ITS REVISIONS.

OPEN-ENDED NOTES

- * A. INSTALL 4" DIA. TYPE "C" MANHOLE PER COA STD DWG. 2102.
- B. RETAINING WALL BY OTHERS. SEE SHEET C2.11 FOR TYPICAL RETAINING WALL Nomenclature.
- * C. INSTALL TYPE "D" SINGLE GRAVE INLET, PER COA STD DWG 2108.
- * D. INSTALL PVC MEDIAN CURBSET SEE PLAN FOR SIZE AND ELEVATIONS. SEE DETAIL SHEET C2.11.
- * E. 2" CURB OUT PER DETAIL SHEET C2.11.
- * F. MODIFIED 6" DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C2.11.
- * G. MODIFIED 6" DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C2.11.
- * H. 1" RUBBER CHANNEL. SEE DETAIL SHEET C2.10.
- * I. SINGLE GRAVE TYPE "A" INLET, PER COA STD DWGS 2101 & 2102.
- * J. DEBRIS TREATMENT MANHOLE SYSTEM PER DETAILS SHEET C2.11
- * K. INSTALL 6" DIA. TYPE "E" MANHOLE PER COA STD DWG 2102.
- L. INSTALL 4" DIA. PVC SIDEWALK CURBSET.
- * M. BUILD 10' WIDE 2' AC TRAP PER COA STD DWG 2105
- * N. BUILD 4' DIA. PVC SIDEWALK CURBSET

MATERIALS

SD LINE: CLASS III RCP OR HDPE (UNLESS OTHERWISE NOTED ON PLANS)

LEGEND

- PROPERTY LINE**
- EXISTING CONTIGUOUS
EXISTING GROUND SPOT ELEVATION
 $\gamma = 301.15$
PROPOSED SPOT ELEVATION
96.53
PROPOSED DIRECTION OF FLOW
S-2.0%
- EASIMENT**
- PROPOSED STORM DRAIN INLET
PROPOSED STORM DRAIN MANHOLE
PROPOSED RETAINING WALL
- EXISTING OVERHEAD POWER LINES
AND POWER POLES
- PERMETER WALL TYPE "A" - 3'
- ENCLOSURE ATTACHED TO SHEET NO.

NOTICE TO CONVEYANCE

- NOTICE TO CONTRACTORS**
- 1: CONTRACTOR SHALL ADJUST ALL MANHOLES TO FINISHED GRADE PER COA STD. DWG. 2111.

CRADING NOTE

- [illegible]

GRADING AND DRAINAGE CERTIFICATION

SEED GRABBER AND VIBAL PLUMBER, A SUBSTITUTION GRABBER WITH NO ACCURACY WITH THE DESIGN. THE DESIGN OF THE APPROVED GRABBER AND CHANGE PLAN DATED 07/11/2016, THE RECORD INFORMATION ENTIRELY FROM THE ORIGINAL DESIGN CONSTRUCTION HAS BEEN PROVIDED BY RUSSELL HUBB, 1005 9TH ST, SUITE 101, ST. LOUIS, MO 63103, 314-437-1100, 314-437-1101, 314-437-1102, 314-437-1103, 314-437-1104, 314-437-1105, 314-437-1106, 314-437-1107, 314-437-1108, 314-437-1109, 314-437-1110, 314-437-1111, 314-437-1112, 314-437-1113, 314-437-1114, 314-437-1115, 314-437-1116, 314-437-1117, 314-437-1118, 314-437-1119, 314-437-1120, 314-437-1121, 314-437-1122, 314-437-1123, 314-437-1124, 314-437-1125, 314-437-1126, 314-437-1127, 314-437-1128, 314-437-1129, 314-437-1130, 314-437-1131, 314-437-1132, 314-437-1133, 314-437-1134, 314-437-1135, 314-437-1136, 314-437-1137, 314-437-1138, 314-437-1139, 314-437-1140, 314-437-1141, 314-437-1142, 314-437-1143, 314-437-1144, 314-437-1145, 314-437-1146, 314-437-1147, 314-437-1148, 314-437-1149, 314-437-1150, 314-437-1151, 314-437-1152, 314-437-1153, 314-437-1154, 314-437-1155, 314-437-1156, 314-437-1157, 314-437-1158, 314-437-1159, 314-437-1160, 314-437-1161, 314-437-1162, 314-437-1163, 314-437-1164, 314-437-1165, 314-437-1166, 314-437-1167, 314-437-1168, 314-437-1169, 314-437-1170, 314-437-1171, 314-437-1172, 314-437-1173, 314-437-1174, 314-437-1175, 314-437-1176, 314-437-1177, 314-437-1178, 314-437-1179, 314-437-1180, 314-437-1181, 314-437-1182, 314-437-1183, 314-437-1184, 314-437-1185, 314-437-1186, 314-437-1187, 314-437-1188, 314-437-1189, 314-437-1190, 314-437-1191, 314-437-1192, 314-437-1193, 314-437-1194, 314-437-1195, 314-437-1196, 314-437-1197, 314-437-1198, 314-437-1199, 314-437-1200, 314-437-1201, 314-437-1202, 314-437-1203, 314-437-1204, 314-437-1205, 314-437-1206, 314-437-1207, 314-437-1208, 314-437-1209, 314-437-1210, 314-437-1211, 314-437-1212, 314-437-1213, 314-437-1214, 314-437-1215, 314-437-1216, 314-437-1217, 314-437-1218, 314-437-1219, 314-437-1220, 314-437-1221, 314-437-1222, 314-437-1223, 314-437-1224, 314-437-1225, 314-437-1226, 314-437-1227, 314-437-1228, 314-437-1229, 314-437-1230, 314-437-1231, 314-437-1232, 314-437-1233, 314-437-1234, 314-437-1235, 314-437-1236, 314-437-1237, 314-437-1238, 314-437-1239, 314-437-1240, 314-437-1241, 314-437-1242, 314-437-1243, 314-437-1244, 314-437-1245, 314-437-1246, 314-437-1247, 314-437-1248, 314-437-1249, 314-437-1250, 314-437-1251, 314-437-1252, 314-437-1253, 314-437-1254, 314-437-1255, 314-437-1256, 314-437-1257, 314-437-1258, 314-437-1259, 314-437-1260, 314-437-1261, 314-437-1262, 314-437-1263, 314-437-1264, 314-437-1265, 314-437-1266, 314-437-1267, 314-437-1268, 314-437-1269, 314-437-1270, 314-437-1271, 314-437-1272, 314-437-1273, 314-437-1274, 314-437-1275, 314-437-1276, 314-437-1277, 314-437-1278, 314-437-1279, 314-437-1280, 314-437-1281, 314-437-1282, 314-437-1283, 314-437-1284, 314-437-1285, 314-437-1286, 314-437-1287, 314-437-1288, 314-437-1289, 314-437-1290, 314-437-1291, 314-437-1292, 314-437-1293, 314-437-1294, 314-437-1295, 314-437-1296, 314-437-1297, 314-437-1298, 314-437-1299, 314-437-1300, 314-437-1301, 314-437-1302, 314-437-1303, 314-437-1304, 314-437-1305, 314-437-1306, 314-437-1307, 314-437-1308, 314-437-1309, 314-437-1310, 314-437-1311, 314-437-1312, 314-437-1313, 314-437-1314, 314-437-1315, 314-437-1316, 314-437-1317, 314-437-1318, 314-437-1319, 314-437-1320, 314-437-1321, 314-437-1322, 314-437-1323, 314-437-1324, 314-437-1325, 314-437-1326, 314-437-1327, 314-437-1328, 314-437-1329, 314-437-1330, 314-437-1331, 314-437-1332, 314-437-1333, 314-437-1334, 314-437-1335, 314-437-1336, 314-437-1337, 314-437-1338, 314-437-1339, 314-437-1340, 314-437-1341, 314-437-1342, 314-437-1343, 314-437-1344, 314-437-1345, 314-437-1346, 314-437-1347, 314-437-1348, 314-437-1349, 314-437-1350, 314-437-1351, 314-437-1352, 314-437-1353, 314-437-1354, 314-437-1355, 314-437-1356, 314-437-1357, 314-437-1358, 314-437-1359, 314-437-1360, 314-437-1361, 314-437-1362, 314-437-1363, 314-437-1364, 314-437-1365, 314-437-1366, 314-437-1367, 314-437-1368, 314-437-1369, 314-437-1370, 314-437-1371, 314-437-1372, 314-437-1373, 314-437-1374, 314-437-1375, 314-437-1376, 314-437-1377, 314-437-1378, 314-437-1379, 314-437-1380, 314-437-1381, 314-437-1382, 314-437-1383, 314-437-1



SCOTT J. STEFFEN, NMPE14684 6/27/13 DATE

P:\2012\144\CDP\Plans\General\GRADING_PLAN.dwg
Tue, 19-Jun-2012 - 2:04:pm

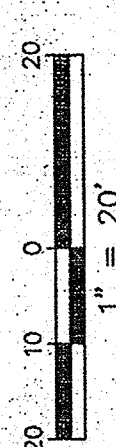
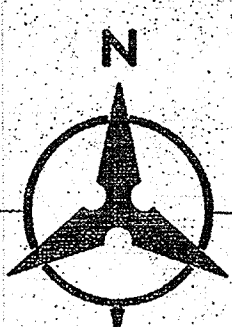
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IT IS THE CLIENT'S RESPONSIBILITY TO BE KEENLY CONSCIOUS TO NOTIFY THE ARCHITECT OF ANY CHANGES, OMISSIONS, OR ADDITIONS TO THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR SHOULD BE AWARE. THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR SHOULD BE AWARE, WITH THE INSTRUCTIONS ADDRESSING SUCH CHANGES OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE FIELD OR EVENTS SUBMITTALS PRECEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY OMISSIONS IN CONSTRUCTION IF THESE PRECEDURES ARE NOT FOLLOWED.

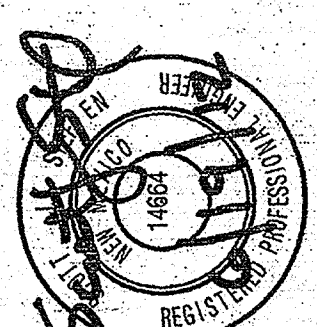
Project

DIAMOND MESA

ALBUQUERQUE, N.M.



ACS BRASS TABLET STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X = 354,899.45 Y = 1,471,822.67
Ground-to-Grid Factor = 0.99967921
 $\Delta\alpha = -00^{\circ}16'42''$
S.D. 1929 Elevation = 5118.43



License Stamp:

Project Contact:
Phone #:
Fax #:
E-Mail:

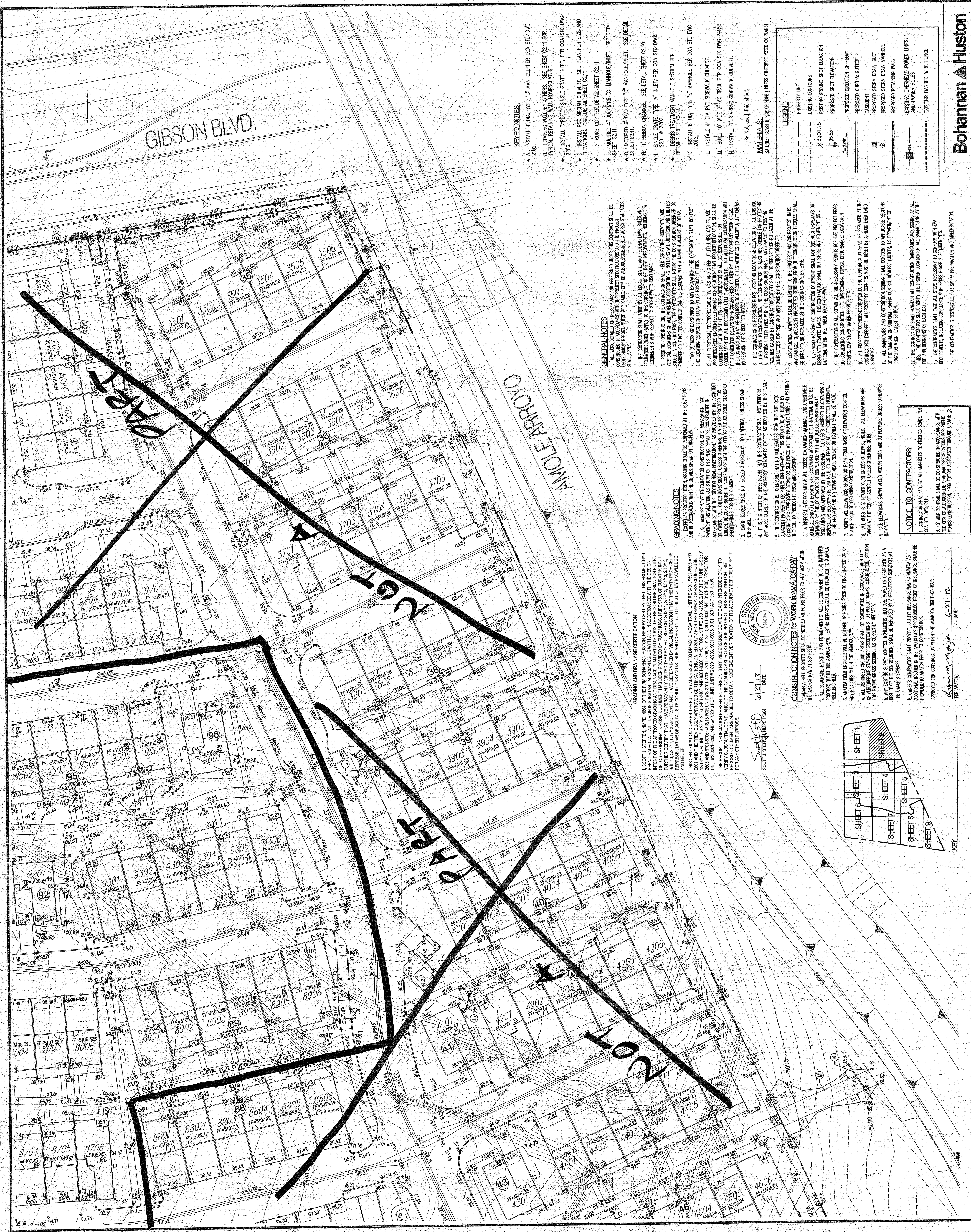
Principal in Charge
Project Director :
Project Designer:
Project Manager:

GRADING & DRAINAGE PLAN

Sheet No. :

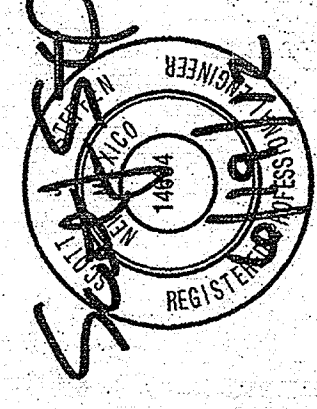
Copyright © 1999

\\2012m144\cnp\plans\General\GRADING PLAN.dwg





License Stamp:



Sheet Title :

Sheet No. :



BE
ALL WORK PERFORMED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE
CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT
TECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS
AND LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WITH RESPECT TO STORM WATER DISCHARGE.

[illegible]

- * A. INSTALL 4" DIA. TYPE "E" MANHOLE PER COA STD. DWG. 2402.
- B. RETAINING WALL BY OTHERS. SEE SHEET C211 FOR THICK RETAINING WALL INFORMATION.
- * C. INSTALL TYPE "D" SINGLE GRATE INLET, PER COA STD DWG 2206.
- D. INSTALL PVC MEDIAN OVERTURN. SEE PLAN FOR SIZE AND ELEVATIONS. SEE DETAIL SHEET C211.
- * E. 2' CURB CUT PER DETAIL SHEET C211.
- * F. MODIFIED 6" DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C211.
- * G. MODIFIED 6" DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C211.
- * H. 1" REBORN CHANNEL. SEE DETAIL SHEET C210.
- * I. SINGLE GRATE TYPE "A" INLET, PER COA STD DWGS 2201 & 2202.
- * J. 1" PERFS. TREATMENT MANHOLE SYSTEM PER DETAILS SHEET C211.
- * K. INSTALL 6" DIA. TYPE "E" MANHOLE PER COA STD DWG 2401.
- L. INSTALL 4" DIA. PVC SIDEWALK OVERTURN.
- * M. BUILD 6" WIDE "2" COA TRAIL PER COA STD DWG 2415B
- * N. INSTALL 6" DIA. PVC SIDEWALK OVERTURN.
- * Not used this sheet.

SD LINE: CLASS III RCP OR HUPP (UNLESS OTHERWISE NOTED OR PLANS)

PROPERTY LINE

EXISTING CONTOURS

EXISTING GROUND SPOT ELEVATION

EXISTING SPOT ELEVATION

95.53

χ 5301.15

PROPOSED DIRECTION OF FLOW

PROPOSED CURB & GUTTER

EASEMENT

PROPOSED STORM DRAIN INLET

PROPOSED STORM DRAIN MANHOLE

PROPOSED RETAINING WALL

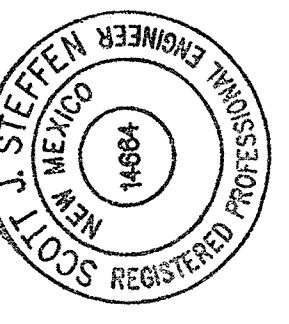
EXISTING OVERHEAD POWER LINES
AND POWER POLES

PERMETER WALL TYPE "A" - 3' VIEW

GRADE

INTEGRATOR SHALL ADJUST ALL MANHOLES TO FINISHED GRADE PER
STD. DWS. 211.

1. EXCEPT AS PROVIDED HEREIN, CUTOFF SHALL BE CONFINED TO THE ELEVATION AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLAN.
2. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION AND EROSION CONTROL SHALL BE COMPLETED PRIOR TO THE BEGINNING OF CONSTRUCTION WITH THE FOUNDATIONAL INSTALLATION, AS PROVIDED BY THE ARCHITECT'S REQUIREMENTS.
3. ALL OTHER WORK SHALL BE COMPLETED PRIOR TO THE BEGINNING OF CONSTRUCTION BY THE OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE COMPLETED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EXCEPT AS PROVIDED BY THE ARCHITECT, ALL ELEVATIONS SHALL BE IN FEET.
5. EXCEPT AS PROVIDED, SHALL NOT EXCEED 3 HORIZONTAL, 1 VERTICAL, UNLESS SHOWN OTHERWISE.
6. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES AS REQUIRED BY HIS PLAN.
7. THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXPOSES FROM THE SITE UNTIL THE CONTRACTOR HAS COMPLETED ALL REQUIRED EROSION CONTROL MEASURES. CONSIDERING TEMPORARY STORMS OF 4" - 6" INCHES, THIS SHOULD BE ADOPTED BY THE CONTRACTOR TO PREVENT EROSION OF SOIL FROM THE PROPERTY UNITS AND WEAVING THE SOIL TO PROTECT IT FROM WIND AND COLD.
8. A DISPOSAL SITE FOR EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ALL APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE GEOTECHNICAL AND ALL APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE GEOTECHNICAL, ALL EXCESS MATERIAL IN OBTAINING DISPOSAL OR BORROW SITE AND HAIL TO TO OR FROM SHALL BE CONSIDERED INDIVIDUAL TO THE PROJECT AND NO SPILLAGE OR REMOVAL OF MATERIAL SHALL BE ALLOWED.
9. KEEP ALL ELEVATIONS SHOWN ON PLAN FROM BASES OF ELEVATION CONTROL. STAYAWAY FROM BEGINNING CONSTRUCTION.
10. ALL CURBS IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE TAKEN AT THE FLOWLINE OF THE CURB UNLESS OTHERWISE NOTED.
11. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE 4" FLOWLINE UNLESS OTHERWISE INDICATED.

[illegible]

SCOTT J. STEFFEN, WAPE 14664
Seat, Sep 6/29/13 DATE