

November 14, 2013

Mr. Tim Sims
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification, Diamond Mesa
DRB Case No. 1002819, (N9/D12)

Dear Tim:

We are requesting Permanent Certificate of Occupancy for Buildings 72 through 76 at Diamond Mesa. Enclosed for your review is the approved grading and drainage plan dated 10/22/12, with as-built elevations.

In addition, this certification includes the previously approved certification dated 12/13/11 for Buildings 23, 24 and 86, 2/29/12 for the Club House building, 2/1/13 for Building 25, 2/19/13 for Buildings 26 and 87, 4/18/13 for Buildings 27-31, 5/24/13 for Building 32, 6/17/13 for Buildings 89-93, 6/27/13 for Buildings 94-96, 8/1/13 for Buildings 33 and 97, 8/28/13 for Buildings 34 and 35, and 11/5/13 for Buildings 36-39, which are also noted on the as-built drawing. The as-built survey was provided by Surv-Tek.

After reviewing these as-built elevations and visiting the site on 11/14/13, it is my belief that the site has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for permanent Certificate of Occupancy for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

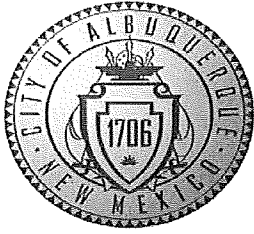
Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Rick Beltramo, Galway Construction



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Diamond Mesa Building Permit #: _____ City Drainage #: N9/D012
DRB#: 1002819 EPC#: _____ Work Order#: _____
Legal Description: Tract E-6-A-1, Albuquerque South, Unit 3
City Address: 2300 Diamond Mesa Trail

Engineering Firm: Bohannon Huston, Inc. Contact: Scott Steffen
Address: Courtyard I 7500 Jefferson Street NE Albuquerque NM 87109
Phone#: 505-823-1000 Fax#: _____ E-mail: ssteffen@bhinc.com

Owner: Galway Construction Contact: Rick Beltramo
Address: 6330 Riverside Plaza Lane #160 Albuquerque NM 87120
Phone#: 505-761-9911 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

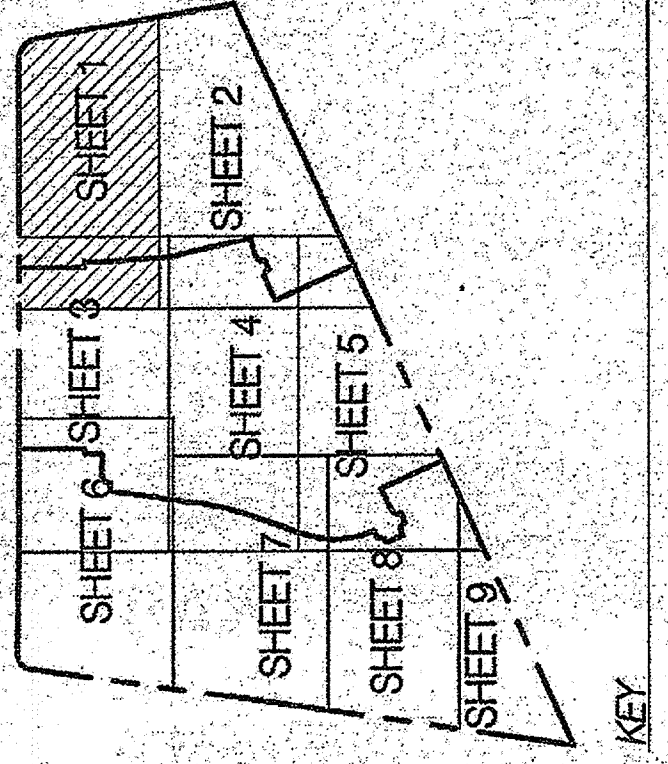
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: November 14, 2013 By: Scott J. Steffen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



GENERAL NOTES

1. ALL WORK SHOWN ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO, PRIOR TO THE START OF CONSTRUCTION.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES DURING CONSTRUCTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE PROPER LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND STRUCTURES.

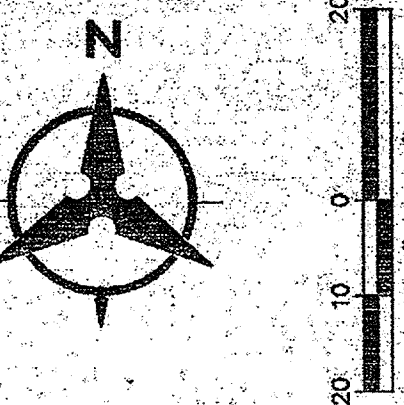
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

7. THE CONTRACTOR SHALL MAINTAIN THE PROPER LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND STRUCTURES.

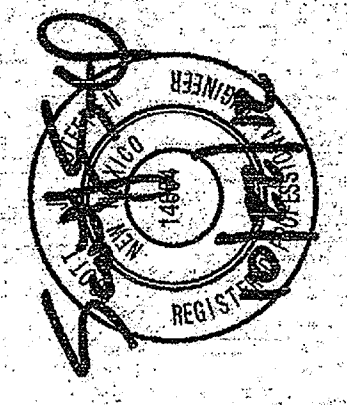
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

9. THE CONTRACTOR SHALL MAINTAIN THE PROPER LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND STRUCTURES.

Project: **DIAMOND MESA**
ALBUQUERQUE, N.M.



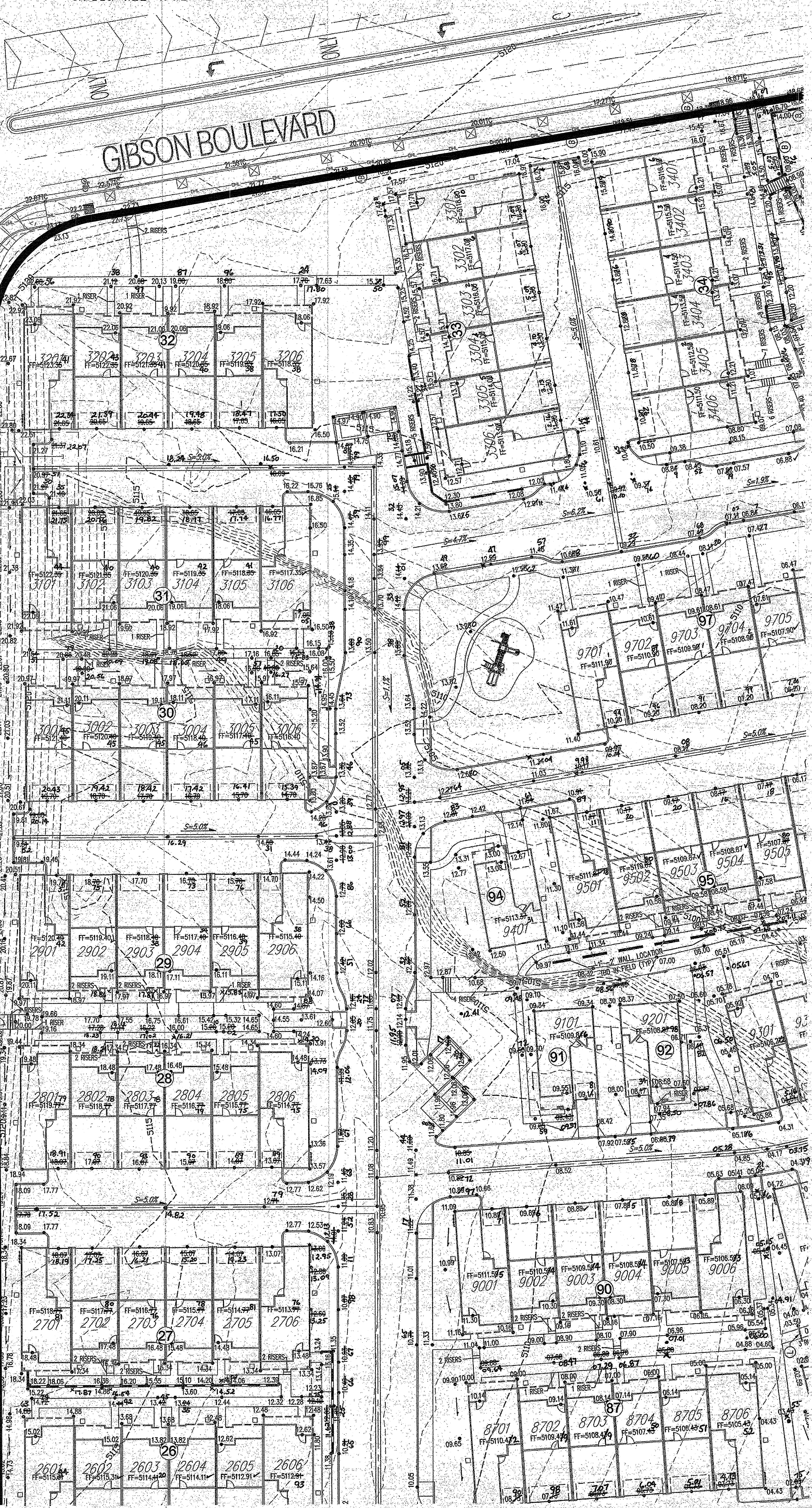
ACS BRASS TABLET STAMPED "TRANS"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X = 354,892.48 Y = 1,471,822.67
Ground-to-Grid Factor = 0.99987921
L.C. = -007'18"42"
SLD 1928 Elevation = 5118.43



Project Contact:
Phone #:
Fax #:
E-Mail:
Principal in Charge:
Project Director:
Project Designer:
Project Manager:

Sheet Title: **GRADING & DRAINAGE PLAN**

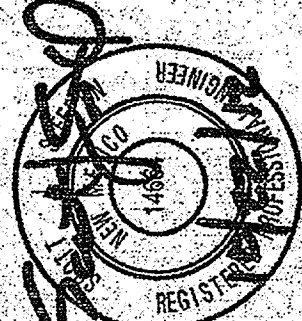
Sheet No.: **C2. 01**



Project : DIAMOND MESA
ALBUQUERQUE, N.M.



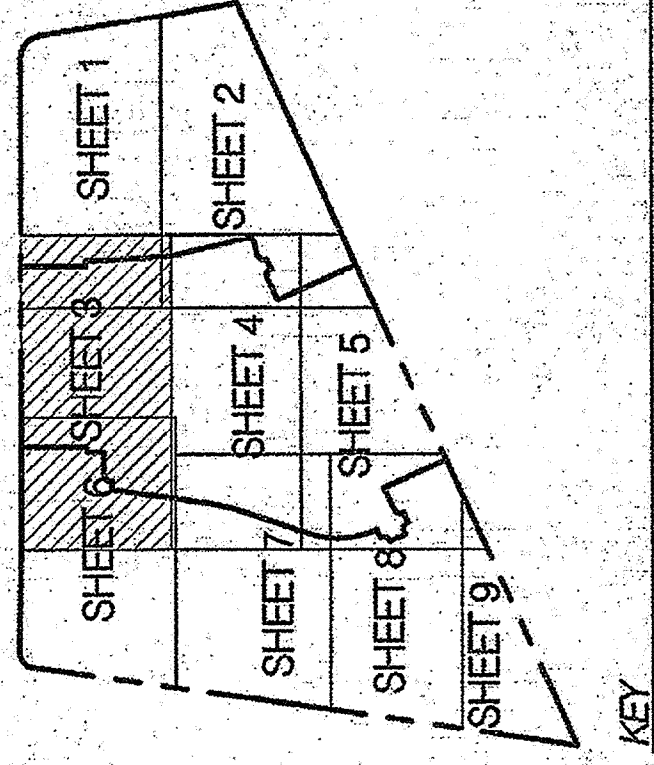
License Stamp:



Sheet Title

Sheet No.

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Mon, 22-Oct-2012 - 2:14:nn



GENERAL NOTES

- [illegible]

MATERIALS:
SD LINE: CLASS III RCP OR HDPE (UNLESS OTHERWISE NOTED ON PLANS).

NOTICE TO CONTRACTORS

1. CONTRACTOR SHALL ADJUST ALL MANHOLES TO COA STD. DWG. 2111.

2. 10' WIDE AC TRAIL SHALL BE CONSTRUCTED IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION, 1986 EDITION AS REVISIONS.

PROPERTY LINE

EXISTING CONTIGUOUS

EXISTING GROUND SPOT ELEVATION

PROPOSED SPOT ELEVATION

PROPOSED DIRECTION OF FLOW

PROPOSED CURB & GUTTER

EASEMENT

PROPOSED STORM DRAIN INLET

PROPOSED STORM DRAIN MANHOLE

PROPOSED RETAINING WALL

EXISTING OVERHEAD POWER LINE

AND POWER POLES

PERMETER WALL TYPE "A" - 3"

FENCE ON TOP OF ROCK WALL

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, WORK ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GENERAL NOTES" HEREON, AS PROVIDED BY THE ADJUTANT GENERAL, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS.
3. EXCEPT AS SHOWN, ALL EXISTING SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
4. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT FURNISH ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
5. THE CONTRACTOR IS TO PROTECT ANY AND ALL EXISTING UTILITIES AND STRUCTURES, AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY UTILITIES LOCATED WITHIN THE SITE. A UTILITY LOCATED WITHIN THE SITE SHALL BE MARKED BY CONSTRUCTING TEMPORARY BEAMS OR S.I.F.E.M. IN THE PROPERTY LINES AND RETURN TO THE SIZE TO PROTECT IT FROM ANY DISTURBANCE.
6. THE PROJECT SITE FOR ANY AND ALL EXISTING EXCAVATION MATERIAL AND UNDESIRABLE MATERIAL AND/OR A BROWN SITE EXCAVATION ACCEPTABLE FILL MATERIAL SHALL BE EXCAVATED AND REMOVED TO THE EXISTING FINISH GRADE. ALL EXISTING EXCAVATION MATERIAL SHALL BE COMPACTED BY THE CONTRACTOR. ALL EXISTING UNDESIRABLE MATERIAL, EXCEPT AS SHOWN, SHALL BE REMOVED TO THE EXISTING FINISH GRADE. ALL EXISTING EXCAVATION MATERIAL SHALL BE REMOVED TO THE PROJECT AND NO SEPARATE EXCAVATION OF FILLMENT SHALL BE MADE.
7. VERIFY ALL EXISTING SHOWN ON PLAN FROM BASES OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
8. ALL CURBS & 6" MECHANICAL CURBS INTERFERING WITH, ALL ELEVATIONS ARE TAKEN AT THE FLOWLINE OF THE CURB UNLESS OTHERWISE NOTED.
9. ALL ELEVATIONS SHOWN ABOVE MECHANICAL CURBS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

GRADING AND DRAINAGE CERTIFICATION

[illegible]

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J STEFFEN/MP# 14684

DATE 11/14/13

14684

REGISTERED PROFESSIONAL ENGINEER
NO. 14684
STATE OF CALIFORNIA

SCOTT J. STEFFEN/MPE 14664