

June 17, 2013

Mr. Tim Sims
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification, Diamond Mesa
DRB Case No. 1002819, (N9/D12)

Dear Tim:

We are requesting Permanent Certificate of Occupancy for Buildings 89-93 at Diamond Mesa. Enclosed for your review is the approved grading and drainage plan dated 6/19/12, with as-built elevations.

In addition, this certification includes the previously approved certification dated 12/13/11 for Buildings 23, 24 and 86, 2/29/12 for the Club House building, 2/1/13 for Building 25, 2/19/13 for Buildings 26 and 87, 4/18/13 for Buildings 27-31, and 5/24/13 for Building 32, which are also noted on the as-built drawing. The as-built survey was provided by Surv-Tek.

After reviewing these as-built elevations and visiting the site on 6/17/13, it is my belief that the site has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for permanent Certificate of Occupancy for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

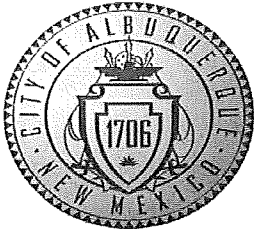
Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Rick Beltramo, Galway Construction



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Diamond Mesa Building Permit #: _____ City Drainage #: N9/D012
DRB#: 1002819 EPC#: _____ Work Order#: _____
Legal Description: Tract E-6-A-1, Albuquerque South, Unit 3
City Address: 2300 Diamond Mesa Trail

Engineering Firm: Bohannon Huston, Inc. Contact: Scott Steffen
Address: Courtyard I 7500 Jefferson Street NE Albuquerque NM 87109
Phone#: 505-823-1000 Fax#: _____ E-mail: ssteffen@bhinc.com

Owner: Galway Construction Contact: Rick Beltramo
Address: 6330 Riverside Plaza Lane #160 Albuquerque NM 87120
Phone#: 505-761-9911 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

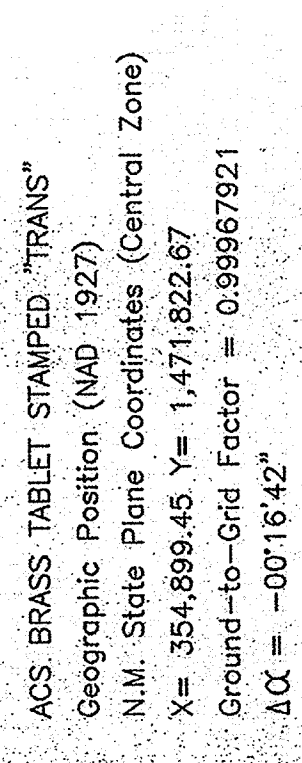
DATE SUBMITTED: June 17, 2013 By: Scott J. Steffen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

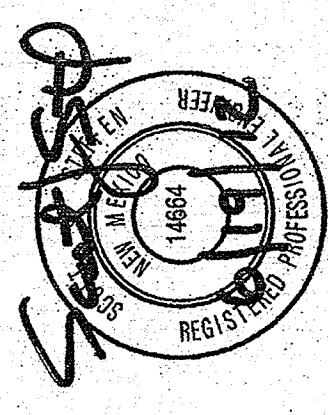
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

[illegible]

ALBUQUERQUE, N.M.



License Stamp:



Project Contact :
Phone # :
Fax # :
E-Mail :

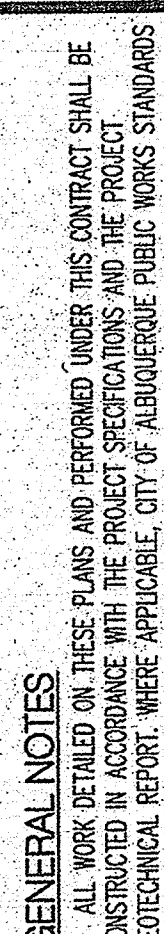
Principal in Charge :
Project Director :
Project Designer :
Project Manager :

Sheet Title :

GRADING & DRAINAGE PLAN

Sheet No.

C2.01



GENERAL NOTES

- [illegible]

○ KEYED NOTES

- * A. INSTALL 2" DIA. TYPE "C" MANHOLE PER COA STD DWG 2102.
 - * B. DETAINING WALL PER SHEET C2.11 FOR TYPICAL RETAINING WALL NONCULVERT.
 - * C. INSTALL TYPE "D" SINGLE GRATE INLET PER COA STD DWG 2103.
 - * D. INSTALL 30" MEDIAN CULVERT. SEE PLAN FOR SIZE AND ELEVATIONS. SEE DETAIL SHEET C2.11.
 - * E. 2' CURB OUT PER DETAIL SHEET C2.11.
 - * F. MODIFIED 4' DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C2.11.
 - * G. MODIFIED 6' DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C2.11.
 - * H. 1' RIBBON CHANNEL. SEE DETAIL SHEET C2.10.
 - * I. SINGLE GRATE TYPE "A" INLET, PER COA STD DWGS Z201 & Z202.
 - * J. DERRIS TREATMENT MANHOLE SYSTEM PER DETAILS SHEET C2.11
 - * K. INSTALL 6' DIA TYPE "C" MANHOLE PER COA STD DWG 2102.
 - * L. INSTALL 4" DIA PVC SIDEWALK CULVERT.
 - * M. BUILD 10' WIDE 2' AC TRAIL PER COA STD DWG 2415B
 - * N. INSTALL 6" DIA PVC SIDEWALK CULVERT.
- * Not used this sheet.

MATERIALS:

SD LINE: CLASS II RCP OR HDPE (UNLESS OTHERWISE NOTED ON PLANS)

NOTICE TO CONTRACTORS

1. CONTRACTOR SHALL ADJUST ALL MANHOLES TO FINISHED GRADE PER
COA STD. DWS. 2111.

LEGEND

-
- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- X 5301.15
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW
- PROPOSED CURB & GUTTER
- EASEMENT
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED RETAINING WALL
- EXISTING OVERHEAD POWER LINE
- AND POWER POLES
- PERMITTER WALL TYPE "A" - 3"
- FENCE ON TOP OF BLOCK WALL
- 5.5.3
- S-2.05

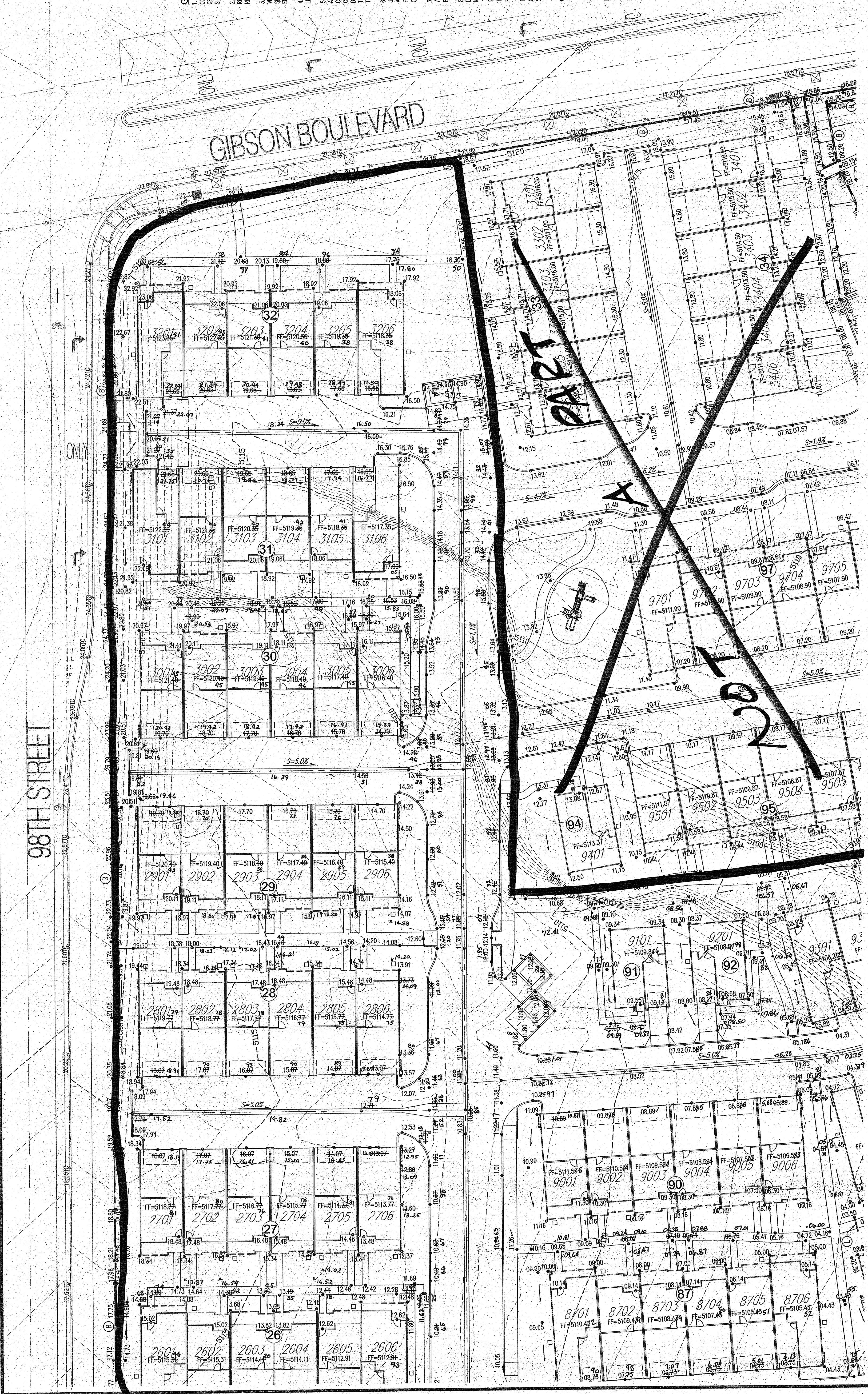
GRADING NOTES

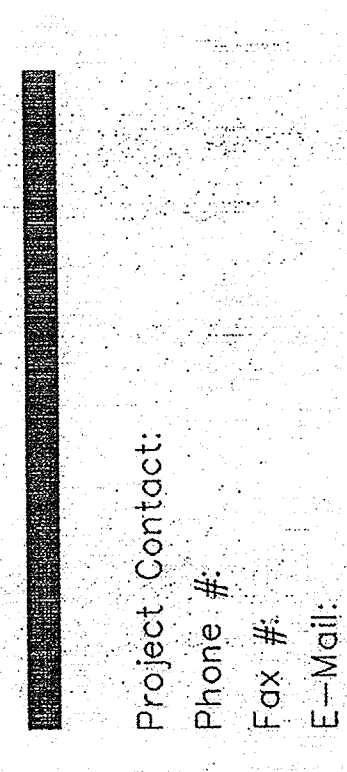
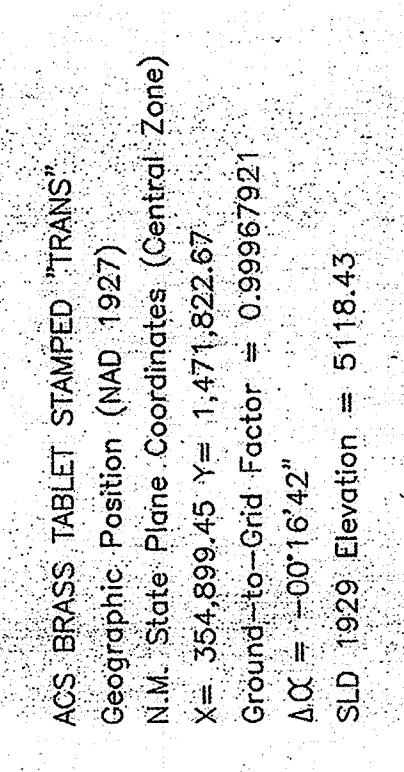
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GRADING AND DRAINAGE CERTIFICATION

[illegible]

SCOTT J. STEFFEN, NIMPE 14864 6/17/13 DATE





Principal in Charge :
Project Director :
Project Designer:
Project Manager:

GRADING & DRAINAGE PLAN



- * A. INSTALL 4 DIA. TYPE "C" MANHOLE PER COA STD DWG. 2102.
- * B. RETAINING WALL BY OTHERS. SEE SHEET C2.11 FOR TYPICAL RETAINING WALL NOMENCLATURE.
- * C. 1. INSTALL TYPE "C" SINGLE GRAVE INLET, PER COA STD DWG 2108.
- * D. INSTALL PVC MEDIAN CULVERT. SEE PLAN FOR SIZE AND ELEVATIONS. SEE DETAIL SHEET C2.11.
- * E. 1. CURB CUT PER DETAIL SHEET C2.11.
- * F. 1. IMPROVED 4 DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C2.11.
- * G. 1. MODIFIED 6 DIA. TYPE "C" MANHOLE/INLET. SEE DETAIL SHEET C2.11.
- * H. 1. RIBBON CHANNEL. SEE DETAIL SHEET C2.10.
- * I. 1. SINGLE GRAVE TYPE "A" INLET, PER COA STD DWGS 2107 & 2108.
- * J. DORIS TREATMENT MANHOLE SYSTEM PER DETAILS SHEET C2.11
- * K. 1. INSTALL 6 DIA TYPE "E" MANHOLE PER COA STD DWG 2102.
- * L. 1. INSTALL 4 DIA. TYPE "C" SIDEWALK CULVERT

LELAND

PROPERTY LINE

EXISTING COLUMNS

EXISTING GROUND SPOT ELEVATION
X 530.15

PROPOSED SPOT ELEVATION
95.53

PROPOSED DIRECTION OF FLOW

PROPOSED CURB & GUTTER

EXISTING DRAIN

PROPOSED STORM DRAIN INLET

PROPOSED STORM DRAIN MANHOLE

PROPOSED RETAINING WALL

EXISTING OVERHEAD POWER LINES
AND POWER POLES

EXISTING BARBED WIRE FENCE

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.

- [illegible]

GRADED NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "COTTONWOOD" INVESTIGATION, AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR OTHERWISE, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
3. EXIST SURFACES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
4. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
5. THE CONTRACTOR IS TO PROVIDE THAT NO SERVICES FROM THE SITE OUTSIDE THE PROPERTY BOUNDARIES OR BEYOND BEARER'S-OWN SHALL BE PROVIDED BY THE CONTRACTOR. PREPARATION, REPAIRS OR CUT FENCE ALONG THE PROPERTY LINES AND SETTING OF CORNER MARKERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION NOTES for WORK in AMAFCA RAW

1. AMCA FEED ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY WORK WITHIN THE AMCA FEED ENGINEER'S AREA OF RESPONSIBILITY.
2. ALL SUBGRADE BACKFILL AND BARRIAGEMENT SHALL BE COMPACTED TO 95% (ADJUSTED PROCEED) WITHIN THE AMCA FEED ENGINEER'S TESTING REPORTS SHALL BE PROVIDED TO AMCA FEED ENGINEER.
3. AMCA FEED ENGINEER WILL BE NOTIFIED 48 HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMCA FEED ENGINEER'S AREA OF RESPONSIBILITY.
4. ALL DISTURBED GROUND AREAS SHALL BE RETEENED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 102.02.00 (LATEST EDITION) AND CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 102.02.01 (LATEST EDITION).
5. ANY EXISTING SURVEY CONTROL MONUMENTS THAT ARE MOVED OR DESTROYED AS A RESULT OF THE CONSTRUCTION SHALL BE REPLACED BY THE DISTURBED SURVEYOR AT THE SURVEYOR'S OWN RISK.

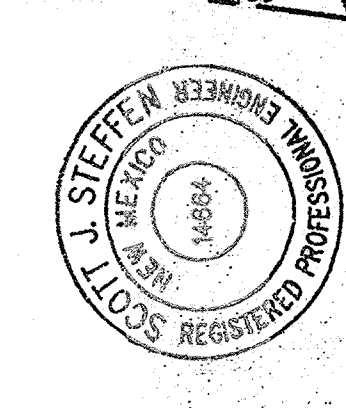
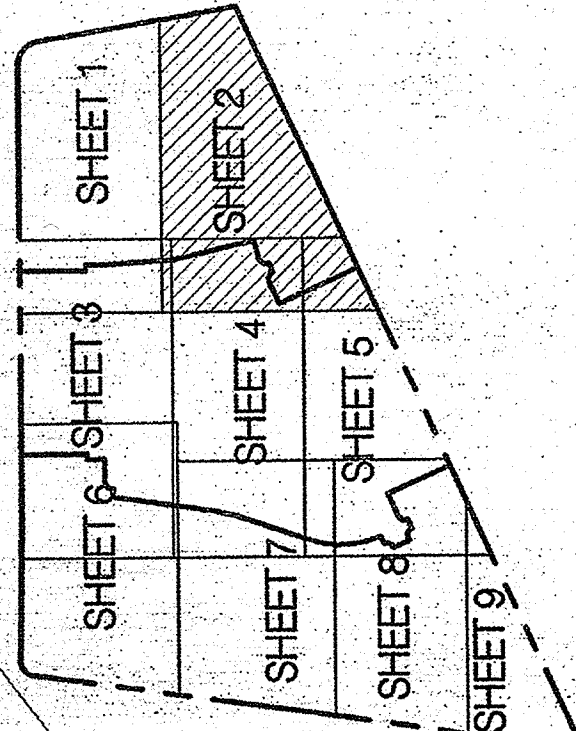
NOTICE TO CONTRACTORS

CONTRACTOR SHALL ADJUST ALL MANHOLES TO FINISHED GRADE PER

- 10' WIDE AC TRAIL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION AS REVISED THROUGH UPDATE #3.

SCOTT J. STEFFEN AND WILLIAM D. OF THE FIRM ROYALHAWK LINGSTON, I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE DESIGN AND CONSTRUCTION OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 08/19/12. THE RECORD INFORMATION EDITED INTO THIS PROJECT DOCUMENT HAS BEEN PROVIDED BY RUSSELL HUGHES, MEMPHIS 9784, OF SURVEYOR INC. A FURTHER CERTIFICATE OF RECORD INFORMATION HAS BEEN PROVIDED BY RUSSELL HUGHES, MEMPHIS 9784, REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION COVERS THE BUILDING ADDRESS: 2000 DIAMOND MESA TRAIL, UNIT #S 8001-8006, 8001-8006E, 8001-8006F, 8001-8006G, 8001-8006H, 8001-8006I, 8001-8006J, 8001-8006K, 8001-8006L, 8001-8006M, 8001-8006N, 8001-8006O, 8001-8006P, 8001-8006Q, 8001-8006R, 8001-8006S, 8001-8006T, 8001-8006U, 8001-8006V, 8001-8006W, 8001-8006X, 8001-8006Y, 8001-8006Z, 8001-8006AA, 8001-8006AB, 8001-8006AC, 8001-8006AD, 8001-8006AE, 8001-8006AF, 8001-8006AG, 8001-8006AH, 8001-8006AI, 8001-8006AJ, 8001-8006AK, 8001-8006AL, 8001-8006AM, 8001-8006AN, 8001-8006AO, 8001-8006AP, 8001-8006AQ, 8001-8006AR, 8001-8006AS, 8001-8006AT, 8001-8006AU, 8001-8006AV, 8001-8006AW, 8001-8006AX, 8001-8006AY, 8001-8006AZ, 8001-8006BA, 8001-8006BB, 8001-8006BC, 8001-8006BD, 8001-8006BE, 8001-8006BF, 8001-8006BG, 8001-8006BH, 8001-8006BI, 8001-8006BJ, 8001-8006BK, 8001-8006BL, 8001-8006BM, 8001-8006BN, 8001-8006BO, 8001-8006BP, 8001-8006BQ, 8001-8006BR, 8001-8006BS, 8001-8006BT, 8001-8006BU, 8001-8006BV, 8001-8006BW, 8001-8006BX, 8001-8006BY, 8001-8006BZ, 8001-8006CA, 8001-8006CB, 8001-8006CC, 8001-8006CD, 8001-8006CE, 8001-8006CF, 8001-8006CG, 8001-8006CH, 8001-8006CI, 8001-8006CJ, 8001-8006CK, 8001-8006CL, 8001-8006CM, 8001-8006CN, 8001-8006CO, 8001-8006CP, 8001-8006CQ, 8001-8006CR, 8001-8006CS, 8001-8006CT, 8001-8006CU, 8001-8006CV, 8001-8006CW, 8001-8006CX, 8001-8006CY, 8001-8006CZ, 8001-8006DA, 8001-8006DB, 8001-8006DC, 8001-8006DD, 8001-8006DE, 8001-8006DF, 8001-8006DG, 8001-8006DH, 8001-8006DI, 8001-8006DJ, 8001-8006DK, 8001-8006DL, 8001-8006DM, 8001-8006DN, 8001-8006DO, 8001-8006DP, 8001-8006DQ, 8001-8006DR, 8001-8006DS, 8001-8006DT, 8001-8006DU, 8001-8006DV, 8001-8006DW, 8001-8006DX, 8001-8006DY, 8001-8006DZ, 8001-8006EA, 8001-8006EB, 8001-8006EC, 8001-8006ED, 8001-8006EE, 8001-8006EF, 8001-8006EG, 8001-8006EH, 8001-8006EI, 8001-8006EJ, 8001-8006EK, 8001-8006EL, 8001-8006EM, 8001-8006EN, 8001-8006EO, 8001-8006EP, 8001-8006EQ, 8001-8006ER, 8001-8006ES, 8001-8006ET, 8001-8006EU, 8001-8006EV, 8001-8006EW, 8001-8006EX, 8001-8006EY, 8001-8006EZ, 8001-8006FA, 8001-8006FB, 8001-8006FC, 8001-8006FD, 8001-8006FE, 8001-8006FF, 8001-8006FG, 8001-8006FH, 8001-8006FI, 8001-8006FJ, 8001-8006FK, 8001-8006FL, 8001-8006FM, 8001-8006FN, 8001-8006FO, 8001-8006FP, 8001-8006FQ, 8001-8006FR, 8001-8006FS, 8001-8006FT, 8001-8006FU, 8001-8006FV, 8001-8006FW, 8001-8006FX, 8001-8006FY, 8001-8006FZ, 8001-8006GA, 8001-8006GB, 8001-8006GC, 8001-8006GD, 8001-8006GE, 8001-8006GF, 8001-8006GG, 8001-8006GH, 8001-8006GI, 8001-8006GJ, 8001-8006GK, 8001-8006GL, 8001-8006GM, 8001-8006GN, 8001-8006GO, 8001-8006GP, 8001-8006GQ, 8001-8006GR, 8001-8006GS, 8001-8006GT, 8001-8006GU, 8001-8006GV, 8001-8006GW, 8001-8006GX, 8001-8006GY, 8001-8006GZ, 8001-8006HA, 8001-8006HB, 8001-8006HC, 8001-8006HD, 8001-8006HE, 8001-8006HF, 8001-8006HG, 8001-8006HH, 8001-8006HI, 8001-8006HJ, 8001-8006HK, 8001-8006HL, 8001-8006HM, 8001-8006HN, 8001-8006HO, 8001-8006HP, 8001-8006HQ, 8001-8006HR, 8001-8006HS, 8001-8006HT, 8001-8006HU, 8001-8006HV, 8001-8006HW, 8001-8006HX, 8001-8006HY, 8001-8006HZ, 8001-8006IA, 8001-8006IB, 8001-8006IC, 8001-8006ID, 8001-8006IE, 8001-8006IF, 8001-8006IG, 8001-8006IH, 8001-8006II, 8001-8006IJ, 8001-8006IK, 8001-8006IL, 8001-8006IM, 8001-8006IN, 8001-8006IO, 8001-8006IP, 8001-8006IQ, 8001-8006IR, 8001-8006IS, 8001-8006IT, 8001-8006IU, 8001-8006IV, 8001-8006IW, 8001-8006IX, 8001-8006IY, 8001-8006IZ, 8001-8006JA, 8001-8006JB, 8001-8006JC, 8001-8006JD, 8001-8006JE, 8001-8006JF, 8001-8006JG, 8001-8006JH, 8001-8006JI, 8001-8006JJ, 8001-8006JK, 8001-8006JL, 8001-8006JM, 8001-8006JN, 8001-8006JO, 8001-8006JP, 8001-8006JQ, 8001-8006JR, 8001-8006JS, 8001-8006JT, 8001-8006JU, 8001-8006JV, 8001-8006JW, 8001-8006JX, 8001-8006JY, 8001-8006JZ, 8001-8006KA, 8001-8006KB, 8001-8006KC, 8001-8006KD, 8001-8006KE, 8001-8006KF, 8001-8006KG, 8001-8006KH, 8001-8006KI, 8001-8006KJ, 8001-8006KL, 8001-8006KM, 8001-8006KN, 8001-8006KO, 8001-8006KP, 8001-8006KQ, 8001-8006KR, 8001-8006KS, 8001-8006KT, 8001-8006KU, 8001-8006KV, 8001-8006KW, 8001-8006KX, 8001-8006KY, 8001-8006KZ, 8001-8006LA, 8001-8006LB, 8001-8006LC, 8001-8006LD, 8001-8006LE, 8001-8006LF, 8001-8006LG, 8001-8006LH, 8001-8006LI, 8001-8006LJ, 8001-8006LK, 8001-8006LL, 8001-8006LM, 80



Scott J. STEFFEN, NIMPR 14664
DATE 6/17/13

