

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 15, 2015

Scott Steffen, P.E.
Bohannon Huston, Inc.
Courtyard 7500 Jefferson St. NE
Albuquerque, NM 87109

**Re: Diamond Mesa All Phases, 2300 Diamond Mesa Trail
Certificate of Occupancy – Transportation Development**
Administrative Amendment dated 02-13-14 (N9-D012)
Certification dated 05-28-15

Dear Mr. Steffen,

Based upon the information provided in your submittal received 06-10-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

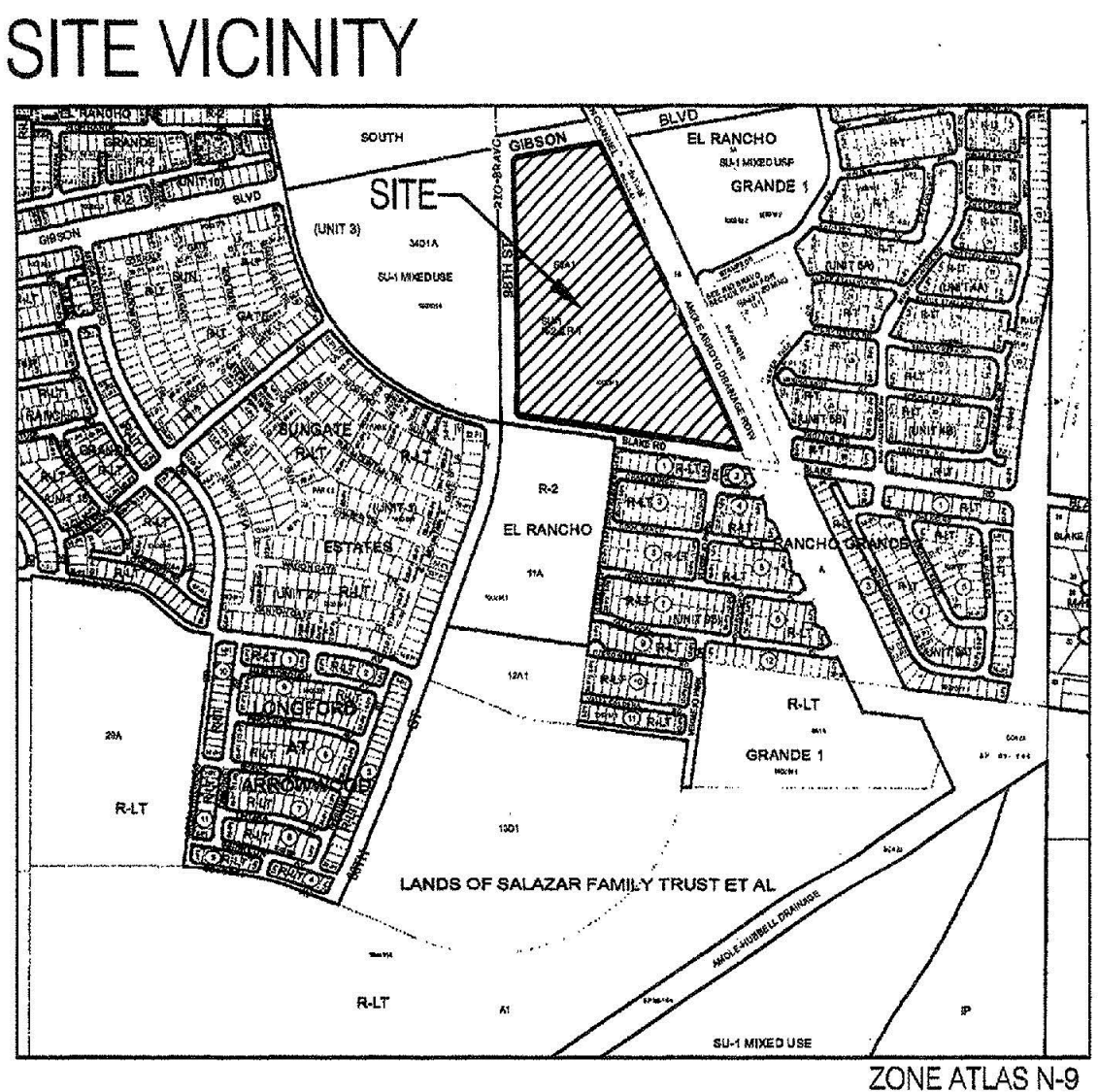
DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

ADMINISTRATIVE AMENDMENT
FILE # 12-10202 PROJECT # 1002819
APPROVED BY DATE

TRACT 34D-1
SU-1 MIXED USE



SITE INFORMATION:
The site consists of approximately 26.5 acres. The legal description for the site is Tract E-S-A-1, Albuquerque South, Unit Three. The zoning is SU-1 R-2 & R-T.

Proposed Use: The Site Plan for Building Permit allows a residential Multi-Family project that includes three building types as follows:

- 1. a six-plex with 4 two-story units and 2 one-story units - 35 Buildings,
- 2. a six-plex with 6 two-story units - 37 Buildings,
- 3. a single family detached, two-story unit - 24 Buildings.

There are a total of 466 dwelling units proposed. The community, named Diamond Mesa will be gated. It will contain a pool, a club house, and playground equipment, and 8.72 acres of open space.

Pedestrian and Vehicular Access and Egress:
Vehicular Access - Primary access into the development will be off of 98th Street SW. A secondary access is provided along Blake Road SW, on the south side of the site. Both accesses are gated. The 98th Street entrance will include a key pad and will be utilized by visitors and residents. The Blake Road access can be opened by a remote control provided to residents. Both access points will accommodate emergency vehicles.

Pedestrian Access - Pedestrians will be provided direct access through the subdivision from entryways off of Gibson Boulevard, 98th Street SW and Blake Road SW. There will also be three pedestrian access points to the trail located along the Amole Channel.

Bicycle Access - A primary trail is planned along Gibson Boulevard SW that will connect to the Amole Channel Trail. The Gibson trail will be accessed from the Diamond Mesa community via the Amole Trail and a direct connection at the north end of the project. These trails serve as part of the regional trail network.

Alleys - The Diamond Mesa community contains alleys that serve each building. The garages for each dwelling unit will be accessed from the alleys.

Transit Access - The site is currently served by Route 198 along 98th Street with stops located at the intersection of 98th & Gibson and 98th Street & Blake.

Internal Circulation:
Internal roads will be private but will be designed and built in compliance with the DPM. Local roads (at varying lengths) internal to the development will be provided to provide access to buildings and common parking areas.
Pedestrian circulation within the community will be facilitated through a network of concrete walking paths that provide connectivity throughout the community. ADA compliant sidewalks will also be provided throughout the community. Crosswalks shall be constructed of colored textured concrete.

Building Heights and Setbacks - Maximum building height and setbacks comply with the City Comprehensive Zoning Ordinance for the R-2 zone.

Parking:
Parking will be provided in compliance with 14-16-3-1 of the City Zoning Code (one space per full bath - two spaces per dwelling unit).

Required:
456 units @ 2 full bath per unit = 912 parking spaces required.
Provided:
800 garage parking spaces
48 guest parking spaces
157 on-street parking spaces
1005 parking spaces provided

Maintenance - The building exterior, internal streets, the pool/clubhouse area, pedestrian walkways, and landscaping/open space maintenance shall be provided by the Owner.

Lighting - Lighting will be provided in compliance with the City of Albuquerque Zoning Code.

Gate - Gates shall remain open from 7am - 6pm.

Solid Waste - The walls surrounding the refuse containers shall be a maximum of 8' in height and constructed of colored stucco or split face block. The gate will be opaque and of a durable material.

Perimeter Walls - Perimeter walls as illustrated on Sheet 3 shall not be changed or altered without prior approval by the Environmental Planning Commission.

Parks - The park area located adjacent to the community center is in addition to the (4) required pocket parks.

Parks - Amenities shall be determined by Phase and shall include any of the following: Children's Play Area, Passive Recreation, Car Care, Dog Park, Sports Court, etc. Per the EPC Notice of Decision, two Private Parks shall contain playground equipment.

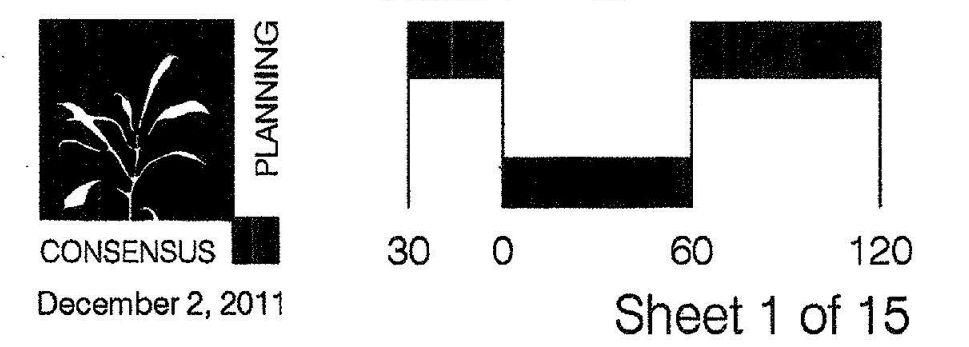
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DIAMOND MESA

Prepared for:
Diamond Mesa, LLC
7007 Jefferson St. NE
Suite A
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109

ADMINISTRATIVE AMENDMENT
FILE # 12-10202 PROJECT # 1002819
APPROVED BY DATE



- The following changes are proposed:
1. Modify the building footprints to accommodate slightly smaller units;
 2. Modify the building elevations;
 3. Update the notes, open space, and landscape calculations;
 4. Amend the pedestrian connections to better connect to the internal pedestrian circulation network and grade changes;
 5. Eliminate one detached unit and replace with a community "club room"; and
 6. Reduce turf areas and modify the landscape plan accordingly.

PROJECT NUMBER: 1002819

Application Number: 07-198-00354

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division
Water Utility Department
Parks and Recreation Department
City Engineer
Environmental Health Department (conditional)
Solid Waste Management
DRB Chairperson, Planning Department

4-11-07
4/11/07
4/11/07
8/29/07
4/10/07
8/30/07

DETACHED AND USEABLE OPEN SPACE REQUIREMENTS*

OPEN SPACE REQUIREMENTS					
	SF Required Per D/U	# of D/Us	Total Required	Total AC. Provided	Additional AC. Required*
Open Space	2400	456	25.18 AC.	7.99 AC.	15.03 AC.
MINIMUM USEABLE OPEN SPACE REQUIRED & PROVIDED					
	SF Required Per D/U	# of D/Us	SF Required By Unit Type	Total SF Provided	
2 Bedroom	250	70	17,500		
3 Bedroom	300	386	115,800		
Total		456	133,300 (3.1 AC.)	379,302 (8.72 AC.)	

*Additional Open Space requirement has been met through Cash in Lieu payment (May, 2007) per Zoning Ordinance Section 14-16-3-8 Detached Open Space Regulations.

I, SCOTT J. STEFFEN, NMPE 14894, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE EPC APPROVED PLAN DATED 2/22/12. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN, NMPE 14894
5/28/15
DATE