



***Planning Department
Transportation Development Services***

September 4, 2014

Scott Steffen, P.E.
Bohannon Huston, Inc.
Courtyard 7500 Jefferson St. NE
Albuquerque, NM 87109

**Re: Diamond Mesa Units 17 – 22, 2300 Diamond Mesa Trail
Certificate of Occupancy – Transportation Development
Administrative Amendment dated 02-13-14 (N9-D012)
Certification dated 08-28-14**

Dear Mr. Steffen,

PO Box 1293

Based upon the information provided in your submittal received 08-29-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at (505)924-3630.

New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

August 28, 2014

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Racquel Michel, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Traffic Circulation Layout Engineer's Certification, Diamond Mesa
DRB Case No. 1002819, (N9/D12)

Dear Racquel:

We are requesting Permanent Certificate of Occupancy for 6 buildings at Diamond Mesa. Enclosed for your review is the EPC approved site plan dated 2/13/14. The buildings for which we are requesting C.O. are referenced as Buildings 17-22 on the site plan.

In addition, this certification includes the previously approved certification dated 2/29/12 for the Club House Building and Buildings 23, 24 and 86, 2/1/13 for Building 25, 2/19/13 for Buildings 26 and 87, 4/18/13 for Buildings 27-31, 5/24/13 for Building 32, 6/17/13 for Buildings 89-93, 6/27/13 for Buildings 94-96, 8/1/13 for Buildings 33 and 97, 8/28/13 for Buildings 34 and 35, 11/5/13 for Buildings 36-39, 12/26/13 for Buildings 70-78, 1/31/14 for Buildings 79-80 and 82, 3/17/14 for Buildings 81 and 83-84, 5/16/14 for Buildings 40-46, 85 and 88, and 7/10/14 for Buildings 47-53, which are also noted on the as-built drawing.

I visited the site on 8/28/14 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan.

Your review and approval is requested for permanent Certificate of Occupancy for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development and Planning Group

Enclosure

cc: Rick Beltramo, Galway Construction

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

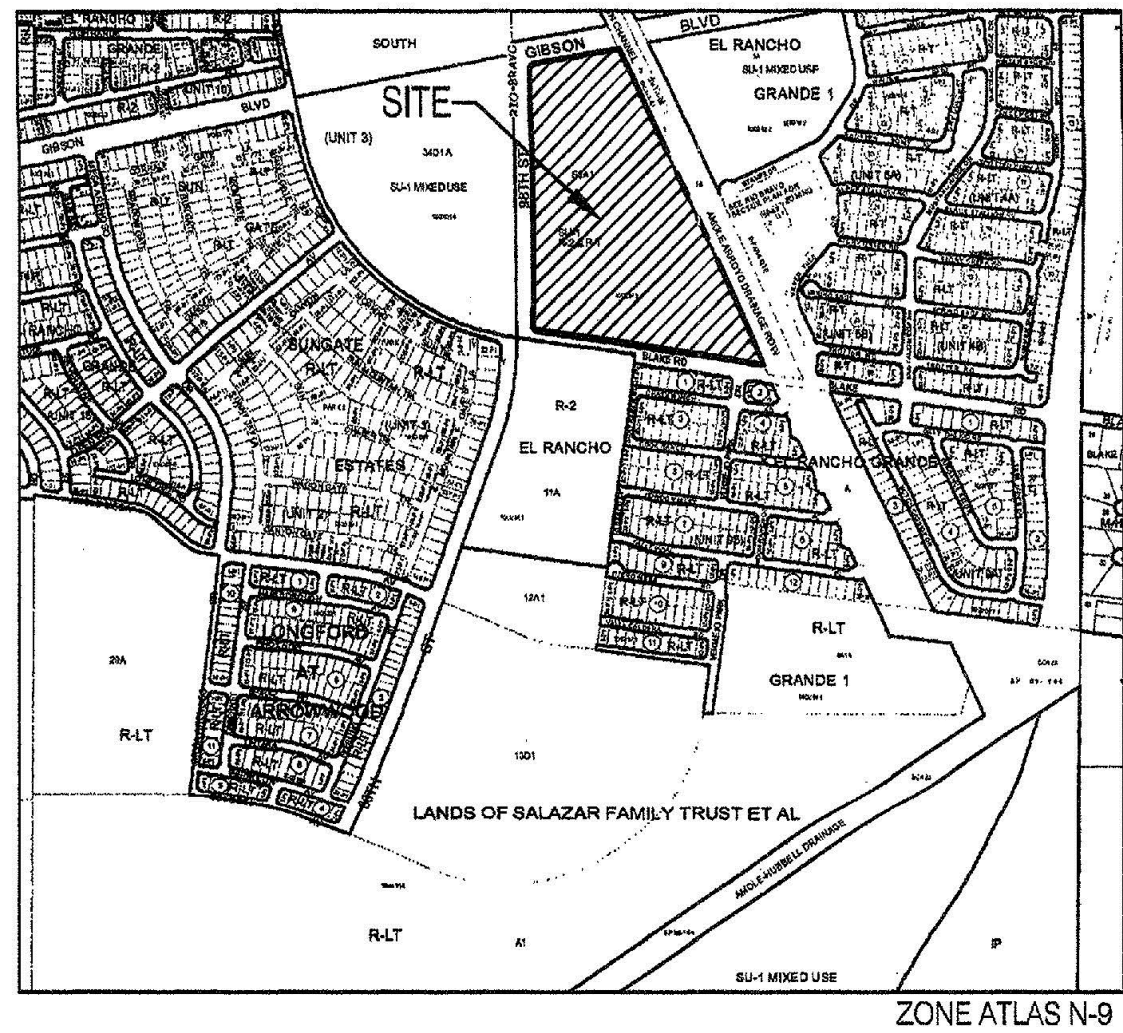
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

ADMINISTRATIVE AMENDMENT
FILE # 12-10282 PROJECT # 1002817
APPROVED BY DATE

TRACT 34D-1
SU-1 MIXED USE

SITE VICINITY



SITE INFORMATION:
The site consists of approximately 26.5 acres. The legal description for the site is Tract E-6-A-1, Albuquerque South, Unit Three. The zoning is SU-1 R-2 & R-T.

Proposed Use: The Site Plan for Building Permit allows a residential Multi-Family project that includes three building types as follows:

1. a six-plex with 4 two-story units and 2 one-story units - 35 Buildings,
2. a six-plex with 6 two-story units - 37 Buildings,
3. a single family detached, two-story unit - 24 Buildings.

There are a total of 456 dwelling units proposed. The community, named Diamond Mesa will be gated. It will contain a pool, a club house, and playground equipment, and 8.72 acres of open space.

Pedestrian and Vehicular Access and Egress:
Vehicular Access - Primary access into the development will be off of 98th Street SW. A secondary access is provided along Blake Road SW, on the south side of the site. Both accesses are gated. The 98th Street entrance will include a key pad and will be utilized by visitors and residents. The Blake Road access can be opened by a remote control provided to residents. Both access points will accommodate emergency vehicles.

Pedestrian Access - Pedestrians will be provided direct access through the subdivision from entry ways off of Gibson Boulevard SW and Blake Road SW. There will also be three pedestrian access points to the trail located along the Amole Channel.

Bicycle Access - A primary trail is planned along Gibson Boulevard SW that will connect to the Amole Channel Trail. The Gibson trail will be accessed from the Diamond Mesa community via the Amole Trail and a direct connection at the north end of the project. These trails serve as part of the regional trail network.

Alleys - The Diamond Mesa community contains alleys that serve each building. The garages for each dwelling unit will be accessed from the alleys.

Transit Access - The site is currently served by Route 198 along 98th Street with stops located at the intersection of 98th & Gibson and 98th Street & Blake.

Internal Circulation:
Internal roads will be private but will be designed and built in compliance with the DPM. Local roads (at varying lengths) internal to the development will be provided to provide access to buildings and common parking areas.
Pedestrian circulation within the community will be facilitated through a network of concrete walking paths that provide connectivity throughout the community. ADA compliant sidewalks will also be provided throughout the community. Crosswalks shall be constructed of colored textured concrete.

Building Heights and Setbacks - Maximum building height and setbacks comply with the City Comprehensive Zoning Ordinance for the R-2 zone.

Parking:
Parking will be provided in compliance with 14-16-3-1 of the City Zoning Code (one space per full bath - two spaces per dwelling unit).

Required:
456 units @ 2 full bath per unit = 912 parking spaces required.
Provided:
800 garage parking spaces
48 guest parking spaces
157 on-street parking spaces
1005 parking spaces provided

Maintenance - The building exterior, internal streets, the pool/clubhouse area, pedestrian walkways, and landscaping/open space maintenance shall be provided by the Owner.

Lighting - Lighting will be provided in compliance with the City Of Albuquerque Zoning Code.

Gate - Gates shall remain open from 7am - 6pm.

Solid Waste - The walls surrounding the refuse containers shall be a maximum of 8' in height and constructed of colored stucco or split face block. The gate will be opaque and of a durable material.

Perimeter Walls - Perimeter walls as illustrated on Sheet 3 shall not be changed or altered without prior approval by the Environmental Planning Commission.

Parks - The park area located adjacent to the community center is in addition to the (4) required pocket parks.

Parks: Amenities shall be determined by Phase and shall include any of the following: Children's Play Area, Passive Recreation, Car Care, Dog Park, Sports Court, etc. Per the EPC Notice of Decision, two Private Parks shall contain playground equipment.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DIAMOND MESA

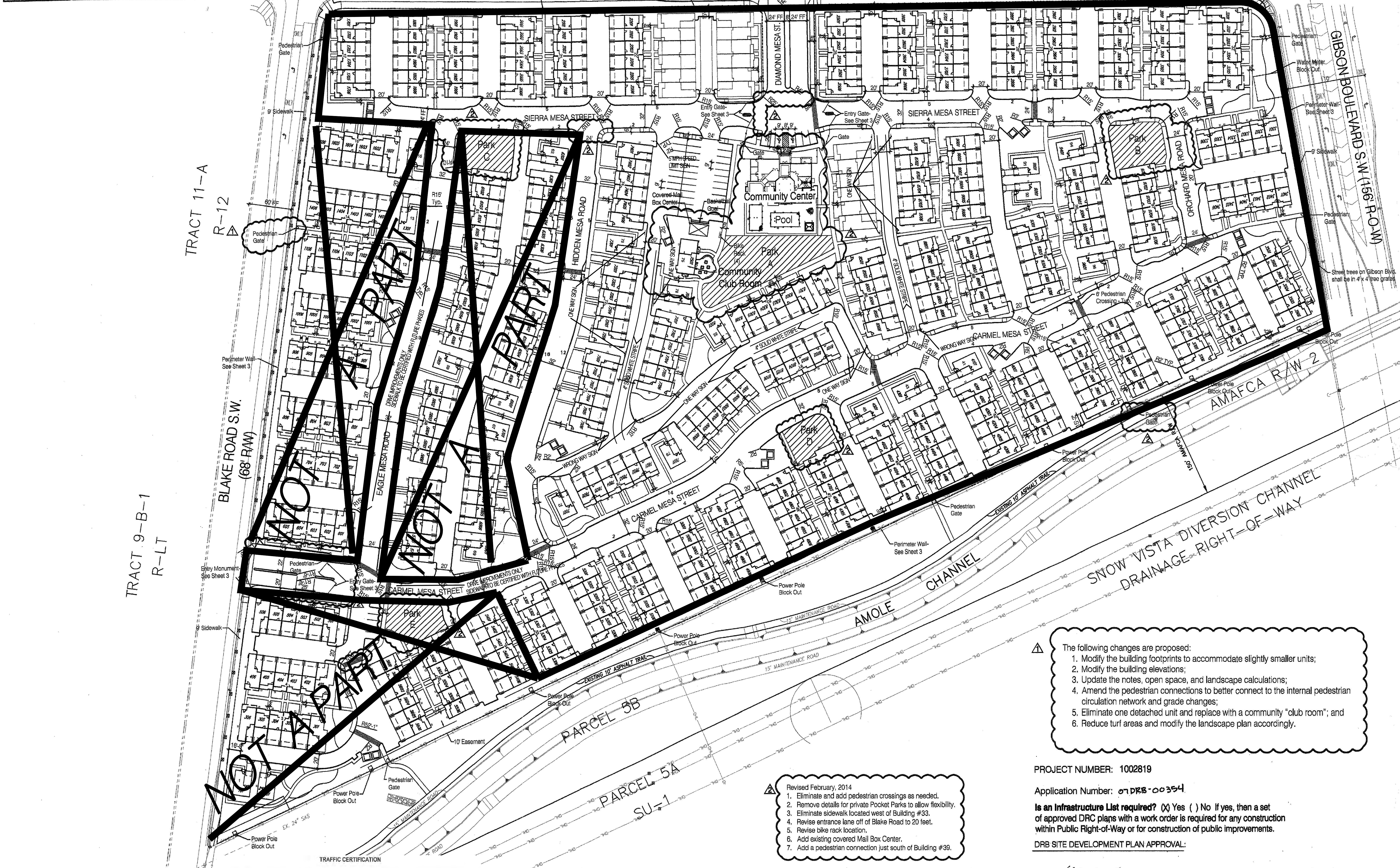
Prepared for:
Diamond Mesa, LLC
7007 Jefferson St. NE
Suite A
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Bohannon Huston
7500 Jefferson NE
Albuquerque, NM 87109

ADMINISTRATIVE AMENDMENT
FILE # 11-10153 PROJECT # 1002817
APPROVED BY DATE

Scale: 1" = 60'
December 2, 2011
Sheet 1 of 15



- The following changes are proposed:
1. Modify the building footprints to accommodate slightly smaller units;
 2. Modify the building elevations;
 3. Update the notes, open space, and landscape calculations;
 4. Amend the pedestrian connections to better connect to the internal pedestrian circulation network and grade changes;
 5. Eliminate one detached unit and replace with a community "club room"; and
 6. Reduce turf areas and modify the landscape plan accordingly.

PROJECT NUMBER: 1002819

Application Number: 07-038-00304

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering/Transportation Division
Water Utility Department
Parks and Recreation Department
City Engineer
Environmental Health Department (conditional)
Solid Waste Management
DRB Chairperson, Planning Department

DETACHED AND USEABLE OPEN SPACE REQUIREMENTS*

OPEN SPACE REQUIREMENTS					
	SF Required Per D/U	# of DUS	Total Required	Total AC. Provided	Additional AC. Required*
Open Space	2400	456	25.18 AC.	7.99 AC.	15.03 AC.
MINIMUM USEABLE OPEN SPACE REQUIRED & PROVIDED					
	SF Required Per D/U	# of DUS	SF Required By Unit Type	Total SF Provided	
2 Bedroom	250	70	17,500		
3 Bedroom	300	386	115,800		
Total		456	133,300 (3.1 AC.)	379,302 (8.72 AC.)	

*Additional Open Space requirement has been met through Cash in Lieu payment (May, 2007) per Zoning Ordinance Section 14-16-3-8 Detached Open Space Regulations.

I, SCOTT J. STEFFEN, NMP# 14864, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE EPC APPROVED PLAN DATED 2/22/12. THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SURVEY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/15/13, 2/13/13, 4/18/13, 5/22/13, 6/17/13, 8/13/13, 9/13/13, 11/13/13, 12/23/13, 1/13/14, 3/17/14, 5/16/14, 7/16/14 AND 9/22/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THIS CERTIFICATION ONLY COVERS THE FOLLOWING BUILDING ADDRESS: 1380 DIAMOND MESA TRAIL UNIT #S 1701-1706, 1801-1806, 1901-1906, 2001-2006, 2101-2106 AND 2201-2206 AND THE PREVIOUSLY APPROVED CERTIFICATIONS DATED 2/22/12 FOR THE DIAMOND MESA CLUBHOUSE AND UNIT #S 2301-2306, 2401-2406, AND 2501-2506, 2601-2606, 2701-2706, 2801-2806, 2901-2906, 3001-3006, 3101-3106, 3201-3206, 3301-3306, 3401-3406, 3501-3506, 3601-3606, 3701-3706, 3801-3806, 3901-3906, 4001-4006, 4101-4106, 4201-4206, 4301-4306, 4401-4406, 4501-4506, 4601-4606, 4701-4706, 4801-4806, 4901-4906, 5001-5006, 5101-5106, 5201-5206 AND 5301-5306.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN, NMP# 14864
DATE 2/22/14