

CITY OF ALBUQUERQUE



January 10, 2017

Richard J. Berry, Mayor

Diane Hoelzer, P.E.
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM, 87199

**RE: Los Diamantes
Revised Grading and Drainage Plan
Stamp Date 12-22-2016 (File: N09D013)**

Dear Ms. Hoelzer:

Based upon the information provided in your submittal received 12-23-2016, the above referenced Plan is approved for Grading Permit with the minor changes to the proposed pad elevations. We understand that the side yard slopes have been increased from 0.6% to 1%, and minor revisions to reflect final DRC plans are included.

Certification per the DPM will be required prior to Pad Cert/ROFG.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Sincerely,

Albuquerque

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Las Diamantes Subdivision Building Permit #: _____ City Drainage #: N09/D013
DRB#: 1010332 EPC#: _____ Work Order#: _____
Legal Description: Tract 34D-1-A, Lands of Salazar Family Trust, Salazar Quatro Trust, JSJ Investment Company, Falba Hannett and Lands of Curb Inc. ALBUQUERQUE, NM
City Address: _____

Engineering Firm: MARK GGODWIN & ASSOCIATES, PA Contact: DIANE HOELZER, PE
Address: 8916 ADAMS NE, ABQ, NM 87113
Phone#: 828-2200 Fax#: _____ E-mail: diane@goodwinengineers.com

Owner: 98th street LLC Contact: Rhett Waterman
Address: Box 27560, ABQ, NM 87125
Phone#: 248-1688 Fax#: _____ E-mail: _____

Architect: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: kdegrauw@hotmail.com

Surveyor: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: SUN VISTA ENTERPRISES, INC. Contact: Irwin Harms
Address: _____
Phone#: _____ Fax#: _____ E-mail: Irwin@sunvista.net

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: December 22, 2016 By: DIANE HOELZER, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

December 22, 2016

Hydrology Dept.
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: REVISED Los Diamantes Subdivision Grading and Drainage Plan
Revised Engineers stamp date 12-22-16 (N09/D013)**

This grading and drainage plan was previously approved.

The only revision is the side yard swale slopes have been increased to 1.0% and the pads raised accordingly.

The storm drain was revised to reflect what was designed and approved at DRC.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.


Diane Hoelzer, PE
Senior Engineer

DLH/dlh

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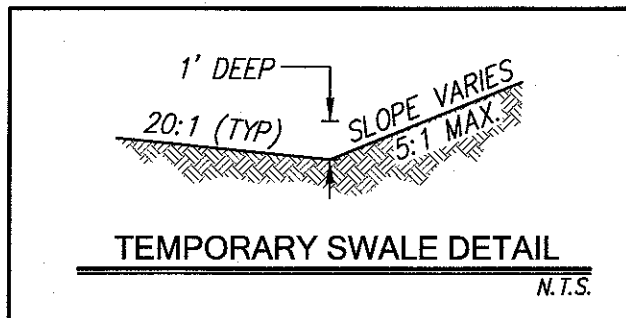
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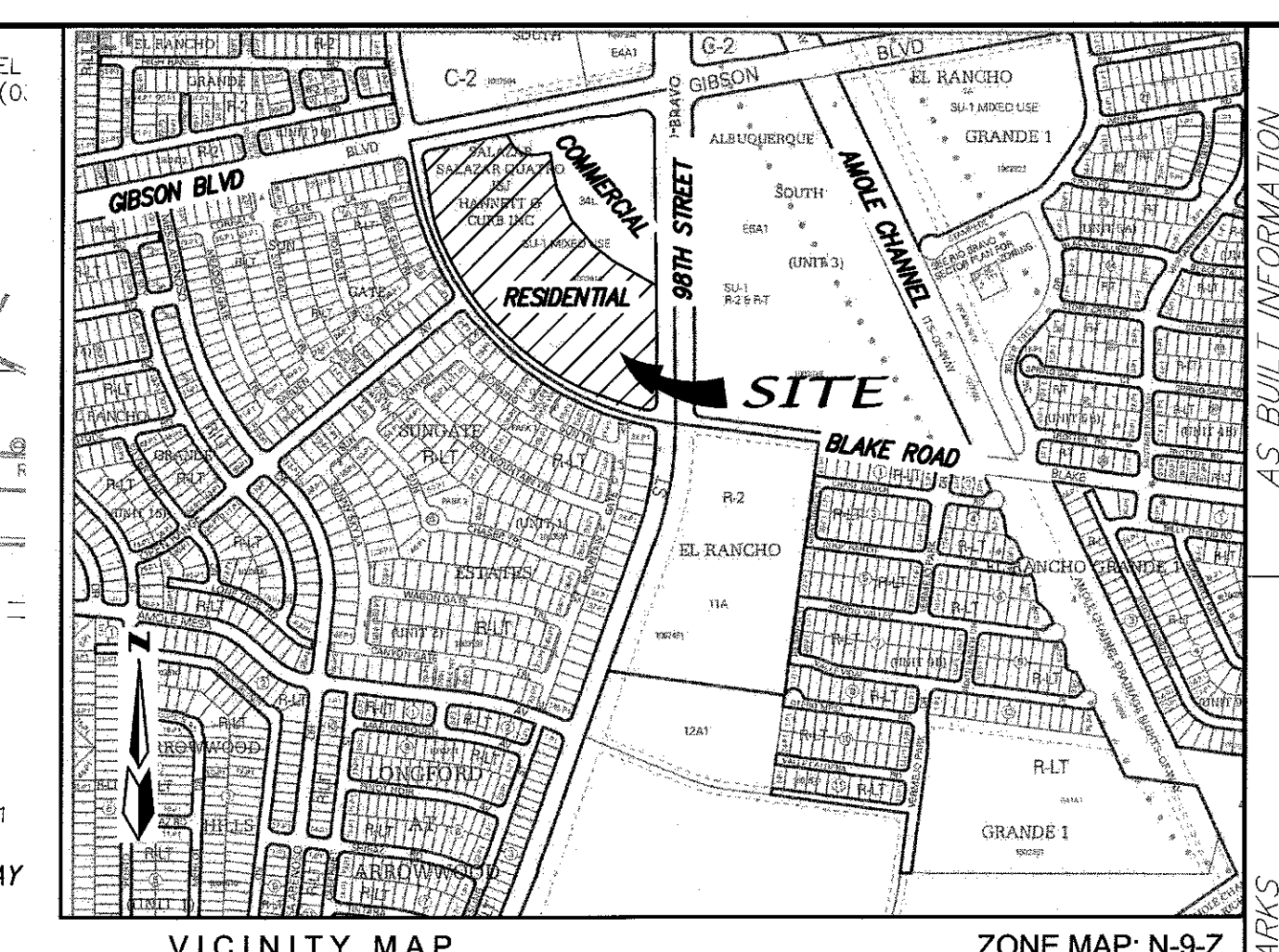
EXISTING EASEMENTS

- EXISTING 62' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- EXISTING 30' PUBLIC ROADWAY, WATERLINE AND SANITARY SEWER EASEMENT (06-05-02, 02C-197)
- EXISTING 30' PUBLIC ACCESS EASEMENT (07-23-03, 03C-223)
- EXISTING 78' TEMPORARY PUBLIC ROADWAY EASEMENT (07-23-03, 03C-223)

- EXISTING 15'x15' PNM EASEMENT (FOR SWITCHGEAR) (05-26-05, DOC. 2005074791)
- EXISTING 30' PUBLIC ROADWAY, PUBLIC UTILITY & PUBLIC DRAINAGE EASEMENT (12-19-05, DOC. 2005185405)
- EXISTING PUBLIC ROADWAY, PUBLIC DRAINAGE, PUBLIC SANITARY SEWER & PUBLIC WATERLINE EASEMENT (08-25-06, DOC. 2006129522)



TEMPORARY POND SPECS:
DESIGN VOLUME= 15,189 cu.ft.
REQUIRED VOLUME= 13,874 cu.ft.
TOP POND= 18.00
BOTTOM POND= 16.0
MAX. WSEL (100 yr)= 17.84'
MAX. Q100= 10.6 c.f.s.

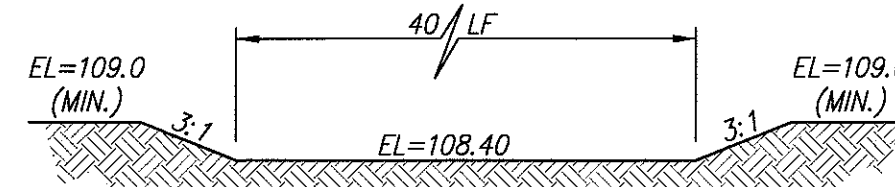


- NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 - SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.
 - ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16-3-19 OF THE CITY ZONING CODE.
 - FUTURE 24" STORM DRAIN ON INFRASTRUCTURE LIST WILL NOT BE CONSTRUCTED UNTIL SITE PLAN FOR TRACT A IS DESIGNED AND APPROVED. TEMPORARY RETENTION POND WILL BE CONSTRUCTED ONLY.
 - COMBINATION GARDEN WALL/RETAINING WALL CANNOT EXCEED 8 FEET. IF FALL ACROSS PROPERTY BOUNDARY IS GREATER THAN 4', USE A COMBINATION 4' RETAINING WALL (MAX) AND 3:1 SIDE SLOPES IN BACKYARD TO MAKE UP THE DIFFERENCE IN DROP.
 - ALL RETAINING WALL BETWEEN LOTS THAT ARE ≤ 1.5' SHALL BE CONSTRUCTED BY THE HOME BUILDER. ALL RETAINING WALL > 1.5' SHALL BE BUILT BY DEVELOPERS WALL BUILDER.

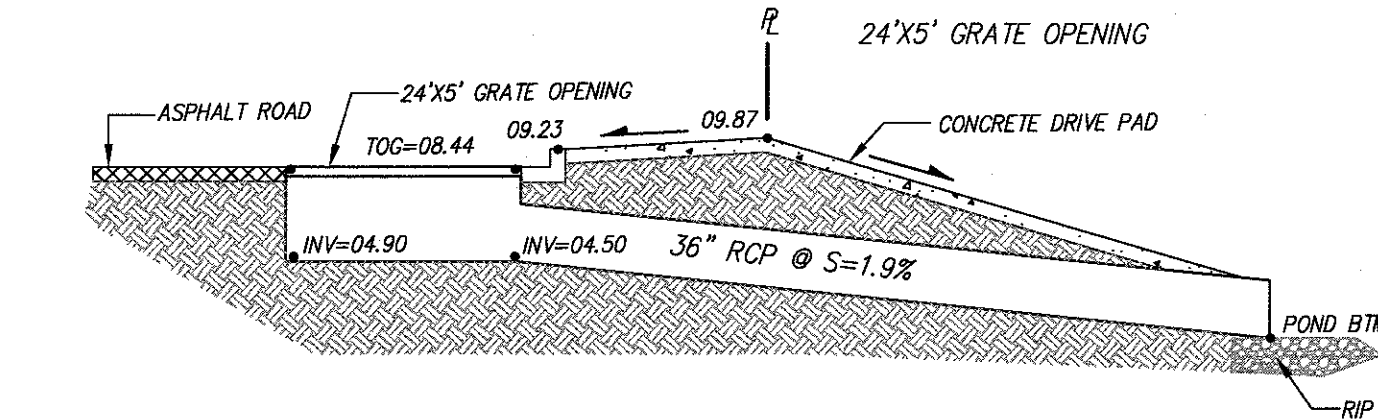
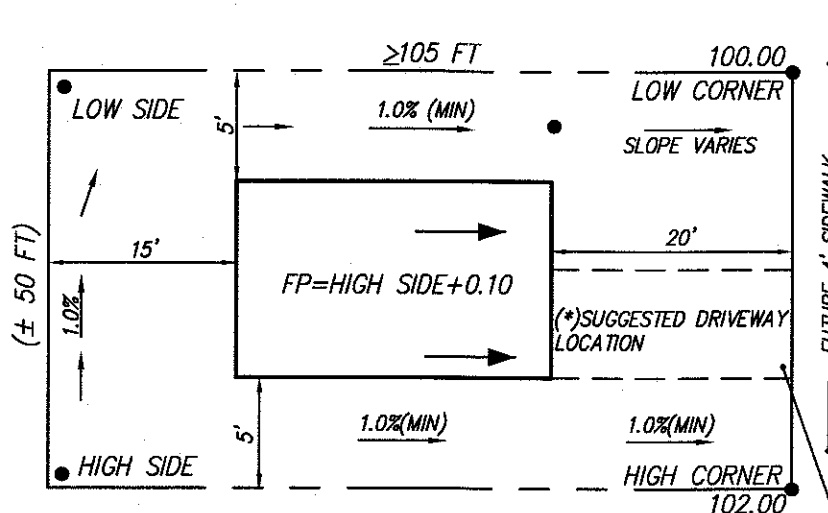


HYDROLOGY CALCULATIONS:
N-value = UNITS/ACRE = 80/14.525 = 5.64
For N-value less than 6 ⇒ Treatment D = 7" (N^{0.22} × 2.5") × 0.5 = 5.4
Use Land treatment D = 5.4
Land treatment C = 23
Land treatment B = 23

RESULTS: Q(100) = 54.34 cfs (100 year, 6 hour)
FIRST FLUSH: (0.34 inches)(818,147 SF)(.54)/(12 inches per foot) = 9,458 cu.ft.



POND SPECS:
Design Pond Volume = 47,538 Cu.Ft.
Maximum Storage Volume = 20,368 Cu.Ft.
Maximum Allowable Outfall Q = 50 cfs
Design Outfall Q = 48.7 cfs
Pond Bottom Elevation = 103.0
Pond Top Elevation = 109.0
Pond Spillway Elevation = 108.0
Side Slopes Varies 3:1-6:1
MAX. WSEL = 105.6



LEGEND

- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING TOP CURB/FLOWLINE ELEVATION
- EXISTING ASPHALT PAVEMENT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING TRAFFIC SIGNAL PULLBOX
- EXISTING TELEPHONE MANHOLE
- EXISTING CATV PEDESTAL
- EXISTING STORM DRAIN MANHOLE

- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL
- EXISTING DROP INLET
- EXISTING STORM DRAIN
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW SPOT ELEVATIONS
- NEW FLOW DIRECTION
- NEW WATER BLOCK
- NEW RETAINING WALL (SEE NOTE 9)
- NEW STORM DRAIN

(*) SPECIAL NOTE FOR DRIVEWAYS:
ON ALL LOTS WHERE FINISHED PAD IS > 2.0 FEET HIGHER THAN LOW CORNER OF LOT, DRIVEWAY SHOULD BE CONSTRUCTED ON HIGH SIDE OF PAD/LOT. THIS WILL HELP MINIMIZE THE STEEPNESS OF DRIVEWAY SLOPE.

- KEYED NOTES:**
- 24"x5' GRATE OPENING (TO BE DETAILED AT DRC)
 - RIP-RAP PROTECTED
 - 4' DIA OPENING-OUTFALL STRUCTURE (GRATE COVER TO BE DESIGNED AT DRC)
 - EXTEND EXISTING 30" SD TO POND CONSTRUCT OUTFALL STRUCTURE TO ALLOW DISCHARGE OF Q100=48.74 cfs RETAINANCE OF FIRST FLUSH TO ELE=104.38.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

LOS DIAMANTES SUBDIVISION GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE: [] CITY ENGINEER APPROVAL: []

CITY PROJECT NO. 722778 ZONE MAP NO. N-9-Z SHEET 1 OF 1