

CITY OF ALBUQUERQUE



July 20, 2017

Mark Goodwin, PE
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87110

Re: Desert Sands Subdivision-Lots 21-24, BLOCK 2
Request for Engineer Pad Certification - Accepted
Engineer's Stamp dated: 8-18-16 (N09D014)
Certification dated: 7-19-17

Dear Mr. Goodwin,

Based on the Certification received 7/19/17, the above referenced certification is acceptable for permanent release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Albuquerque

New Mexico 87103

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

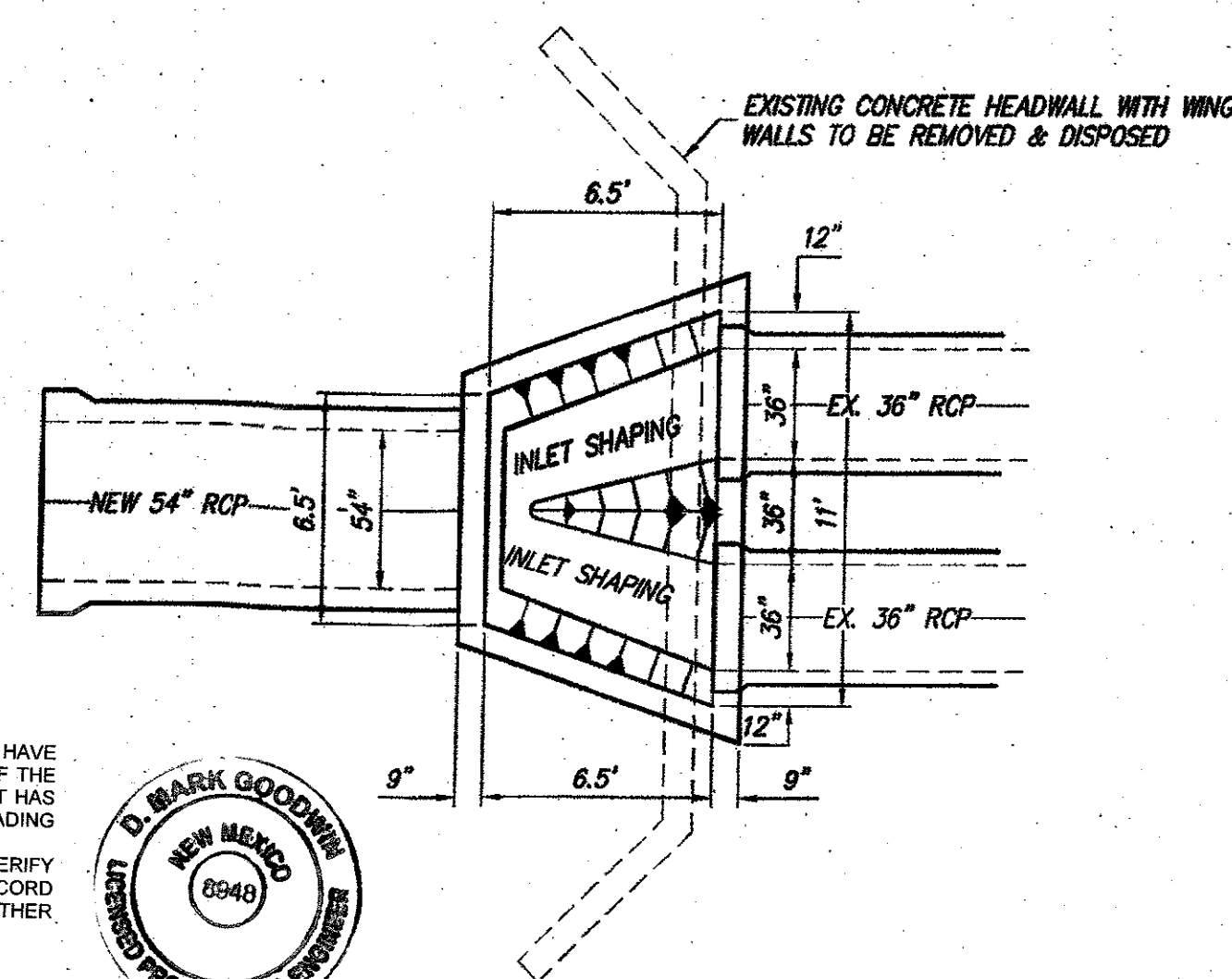
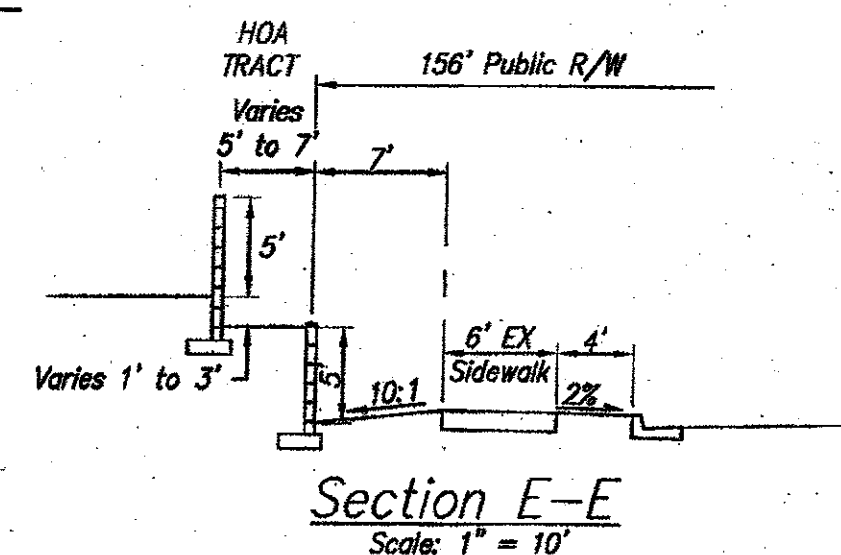
www.cabq.gov

TE/JH
C: file



4" MOUNTABLE CURB AND GUTTER
8" STANDARD CURB AND GUTTER
SIDEWALK CONSTRUCTED THIS PROJECT
SIDEWALK TO BE DIFFERED
LIMITS OF GRADING (THIS PROJECT)
HANDICAPPED RAMP

EXISTING PAVEMENT
RETAINING WALLS THIS PROJECT
RETAINING WALLS DEFERRED TO
THE HOME BUILDERS
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PROPOSED CONTOUR
PROPOSED SLOPE
FEMA FLOOD ZONE
LOT NUMBER
BLOCK NUMBER

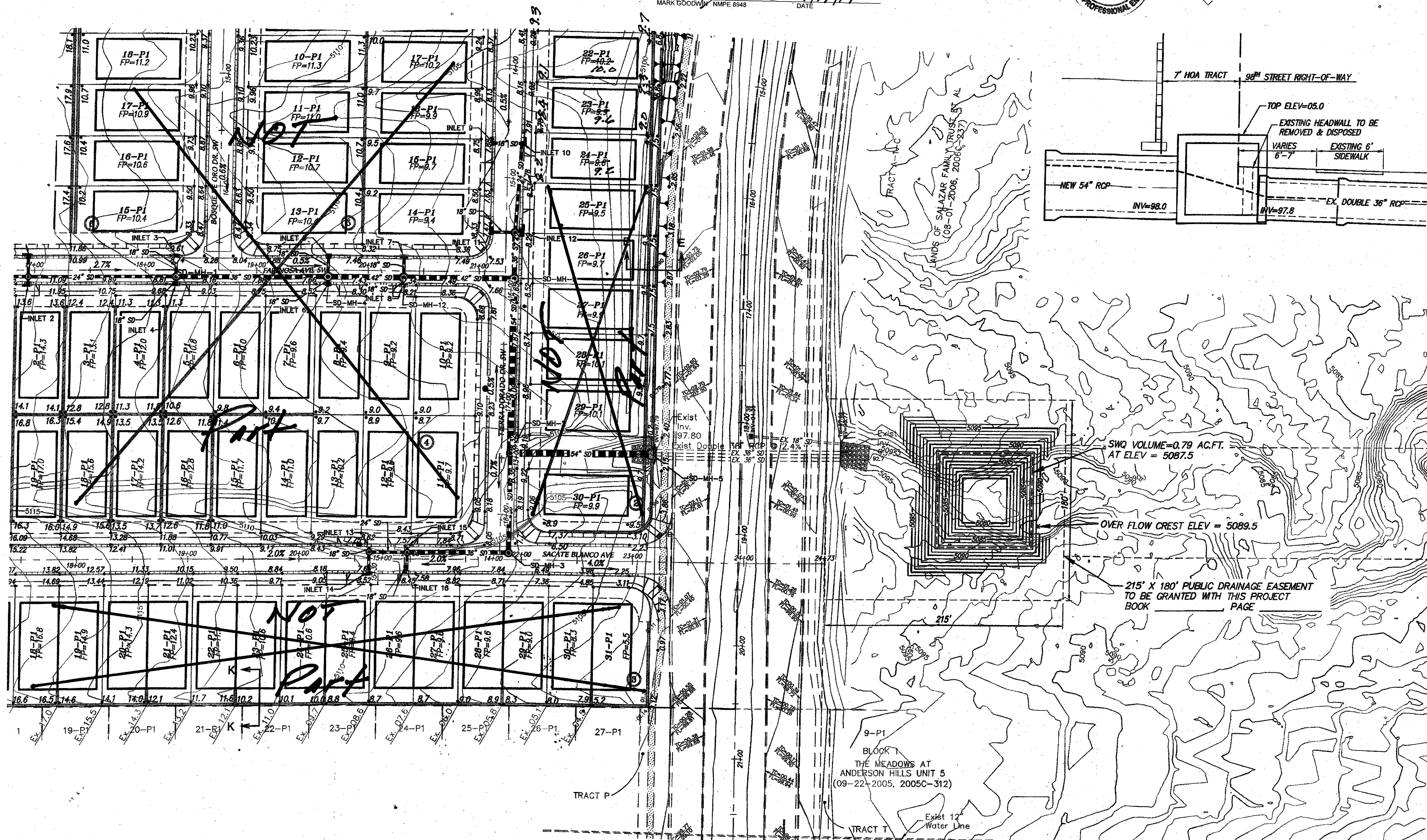


GRADING AND DRAINAGE CERTIFICATION

MARK GOODWIN, NMP# 6948, OF THE FIRM MARK GOODWIN & ASSOCIATES, PA, HEREBY CERTIFY LOTS 21-24, BLOCK 2 HAVE BEEN GRADDED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF APPROVED PLAN DATED AUGUST 18, 2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSSELL HUGG, NMP# 9750. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL, AND BUILDING PERMIT APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MARK GOODWIN NMPE 8942



60' 30' 0 60' 12

SCALE: 1" = 60'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200. FAX (505) 797-9535



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

TITLE: *DESERT SANDS SUBDIVISION
GRADING & DRAINAGE PLAN*

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
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**THIS SHEET IS FOR
INFORMATION ONLY**

CITY PROJECT NO. 747283

ZONE MAP NO.

SHEET 6 OF 30

AS BUILT INFORMATION		MICRO-FILM INFORMATION	
CONTRACTOR		DATE	DATE
WORK		DATE	DATE
INSPECTOR'S		DATE	DATE
ACCEPTANCE BY		DATE	DATE
FIELD		DATE	DATE
VERIFICATION BY		DATE	DATE
DRAWINGS		DATE	DATE
CORRECTED BY		DATE	DATE
		DATE	DATE

MARKS	TRANS 1969" From the intersection of NW go south on 98th Street 1.2 Street and Snow Vista Boulevard. Vista Boulevard and the co-op es to pylon numbered 52. Point. Geographic Position (NAD83), tes(Central Zone) N=1471895.503,
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[illegible]

8-18-7

BY	76	76
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DA: DA:

REMARKS
REVISION
DESIGN

SPS
IDH

DATE	BY	BY
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[illegible]

T

PLAN	
MO./DAY/YR.	MO./DAY/YR.

SHEET 1 OF 20

\\A15JOBS\A15063 Lands of Salazar\GRADE & DRAIN\1 A15063 GD - GD Plan 1.dwg, 8/18/2016 11:49:21 AM, SPS