

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



October 21, 2014

Verlyn Miller, PE  
**Miller Engineering Consultants**  
3500 Comanche NE  
Albuquerque, NM 87107

Richard J. Berry, Mayor

RE: **RFK Charter School - 4300 Blake Road SW**  
**Amended Grading and Drainage Plan**  
**Engineer's Stamp Date 10-6-2014 (File: N10D006)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 10-6-14, the above referenced plan is approved for Building Permit with the following comments:

- The revisions from the previously approved plan appear to be the addition of trash enclosures and the addition of mountable curb and gutter along the east side of the service road. Drainage calculations were also revised.
- On the service road a line needs to be added to delineate where the base course ends and the PMBP surface begins.

PO Box 1293 Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Albuquerque Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103 If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf via Email: Recipient, Monica Ortiz



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

10-041

Send email to  
Curtis re this  
Submittal.

Project Title: Robert F. Kennedy H.S. Multipurpose Phase A Building Permit #: \_\_\_\_\_ City Drainage #: N10D006

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Section 3 Township 9 North, Range 2, E. NM. P.M. (Town of Artesco Grant)

City Address: 4300 Blake Rd SW, Albuq. 87121

Engineering Firm: Miller Engineering Consultants Contact: John Jacques

Address: 3500 Comanche Rd NE

Phone#: 888-7500 Fax#: \_\_\_\_\_ E-mail: vmiller@mecnm.com

Owner: Albuquerque Public Schools Contact: Roldan Pasion

Address: 915 Locust St. SE Albuq.

Phone#: 848-8871 Fax#: \_\_\_\_\_ E-mail: pasion@aps.edu

Architect: DWL Architects Contact: Ron Burton

Address: 202 Central Av. SE. East Courtyard

Phone#: 242-6202 Fax#: 242-4159 E-mail: r.burton@dwlnm.com

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

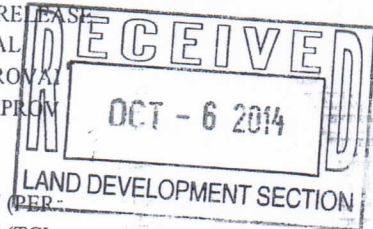
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☒ OTHER (SPECIFY) Revision to Approved Grading & Drainage Plan

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PER)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

DATE SUBMITTED: 10/6/14 Yes ☐ No ☒ Copy Provided ☒

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



MILLER ENGINEERING CONSULTANTS

Engineers • Planners

October 6, 2014

City of Albuquerque  
Planning Department  
Development and Building Services  
P.O. Box 1293  
Albuquerque, NM 87103

**Attn: Curtis Cherne, P.E., CFM, Principal Engineer**

**RE: RFK Charter School-4300 Blake Road SW,  
Grading and Drainage Plan for Addition of Trash Enclosures  
And Paving of Service Road  
Engineers Stamp Date 08/23/2013 (N10/D006)**

Dear Mr. Cherne:

This submittal is per our conversation regarding the addition of the two trash enclosures and the Base Course Service Road now being paved with curb and gutter. This plans reflects the changes and the revised hydrology calculation for your files.

If you have any questions or need any additional information, please feel free to contact our office.

**MILLER ENGINEERING CONSULTANTS, INC.**

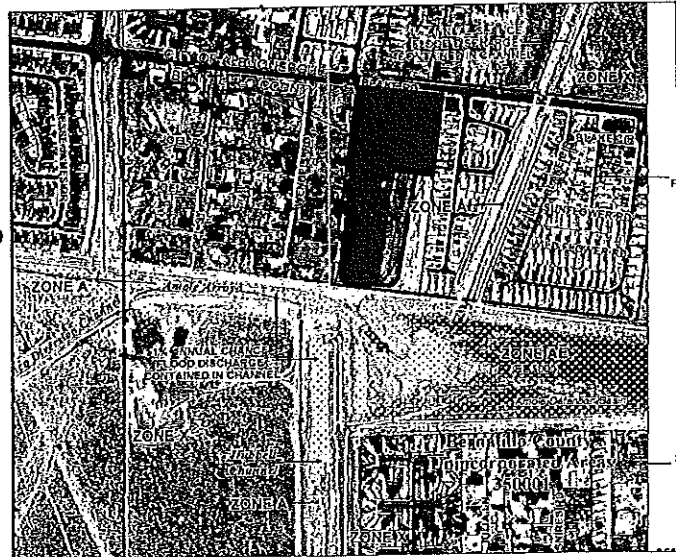
Verlyn A. Miller, P.E.  
President

VAM:vam  
Enclosures

cc: File







### FLOOD ZONE MAP

FLOOD ZONE MAP 35001C03366

#### EXISTING ON SITE CONDITIONS

THE PROJECT SITE CONSISTS OF 3.42 ACRES (MORE OR LESS) AND IS CURRENTLY UNDEVELOPED EXCEPT FOR A ASPHALT DRIVE WITH CURB AND GUTTER ALONG THE WEST PROPERTY LINE AND CONSISTS OF BARE LAND WITH SPARSE NATIVE VEGETATION. THE PROJECT SITE SLOPES TO THE NORTHEAST, TO BLAKE ROAD. THE PROPERTY IS CURRENTLY A DEPRESSED AREA. THE DIRT WAS USED TO CONSTRUCT THE CAMPUS TO THE SOUTH. THE SUBJECT PROPERTY IS BORDERED ON THE WEST AND EAST BY EXISTING MOBILE HOME PARKS, ON THE SOUTH BY THE EXISTING RFX CHARTER HIGH SCHOOL AND ON THE NORTH BY BLAKE ROAD SW. THE EXISTING LAND TREATMENTS FOR THE SITE ARE CATEGORIZED AS 79% A, 0% B, 14% C AND 7% D. THE SUBJECT PROPERTY IS LABELED AS BASIN B ON THE RFX CHARTER HIGH SCHOOL GRADING PLAN THAT WAS REVIEWED AND APPROVED BY COA HYDROLOGY AS N10/D6 IN 2009.

#### PROPOSED CONDITIONS

THE PROPOSED IMPROVEMENTS WILL CONSIST OF A 22,028 SF BUILDING AND ASSOCIATED CONCRETE FLATWORKS AND LANDSCAPING. THERE IS ALSO A NEW SERVICE DRIVE LOCATED WEST OF THE NEW BUILDING ALONG THE WEST PROPERTY LINE. THE IMPERVIOUS AREAS ARE THE BUILDING, CONCRETE AND ASPHALT DRIVE. THE SITE HAS BEEN Delineated INTO THREE PROPOSED ONSITE BASINS (BASINS B-1, B-2, and B-3) AS INDICATED ON THE PROPOSED DRAINAGE BASIN MAP ON THIS SHEET. THE PROPOSED LAND TREATMENTS ARE PROVIDED IN THE HYDROLOGY TABLES DIRECTLY BELOW THE PROPOSED DRAINAGE BASIN MAPS ON THIS SHEET.

#### STORMWATER ROUTING

THE RUNOFF FROM BASIN B-1 WILL BE DIVERTED INTO AN EXISTING 18" STORM DRAIN PIPE LOCATED IN THE ASPHALT PARKING AREA SOUTH OF THE NEW BUILDING THROUGH PROPOSED AND EXISTING DROP INLETS. RUNOFF FROM BASIN B-3 WILL DISCHARGE INTO THE EXISTING DRIVEWAY AND SURFACE FLOW ALONG THE CURB AND GUTTER TO THE EXISTING INLET AT THE NORTH END OF THE EXISTING DRIVEWAY AT BLAKE ROAD. THE EXISTING INLET DRAINS INTO AN EXISTING 30" STORM DRAIN PIPE CONNECTS TO A STORM DRAIN MAIN IN BLAKE ROAD. RUNOFF FROM BASIN B-2 WILL DISCHARGE INTO A DEPRESSED AREA THAT DRAINS INTO A PROPOSED TYPE D DROP INLET AT THE NORTHEAST CORNER OF THE DEPRESSED AREA NEAR BLAKE ROAD.

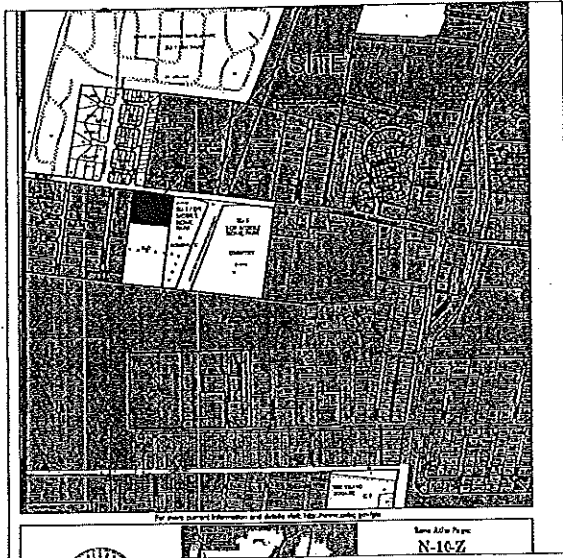
#### OFFSITE FLOWS

THERE ARE NO APPARENT OFFSITE FLOWS AFFECTING THE SITE.

#### CONCLUSION

THE RUNOFF FROM THE SITE WILL BE SAFELY CONVEYED INTO AN EXISTING STORM DRAIN SYSTEM THAT WAS DESIGNED TO RECEIVE DEVELOPED FLOWS FROM THIS SITE AS PART OF THE RFX CHARTER HIGH SCHOOL GRADING PLAN THAT WAS REVIEWED AND APPROVED BY COA HYDROLOGY AS N10/D6 IN 2009. THE RUNOFF FROM THIS SITE UNDER FULLY DEVELOPED CONDITIONS AS OUTLINED ON THE 2009 PLAN IS ESTIMATED AT 13 cfs. THE CALCULATED RUNOFF FROM THE DEVELOPMENT ON THIS GRADING AND DRAINAGE PLAN IS ESTIMATED AT 11.28 cfs, WHICH IS LESS THAN THE ALLOWABLE DISCHARGE OF 13 cfs OUTLINED IN THE 2009 PLAN.

AS STATED IN THE RFX CHARTER HIGH SCHOOL GRADING PLAN THAT WAS REVIEWED AND APPROVED BY COA HYDROLOGY AS N10/D6 IN 2009, FREE DISCHARGE IS ALLOWABLE FOR THIS DEVELOPMENT.

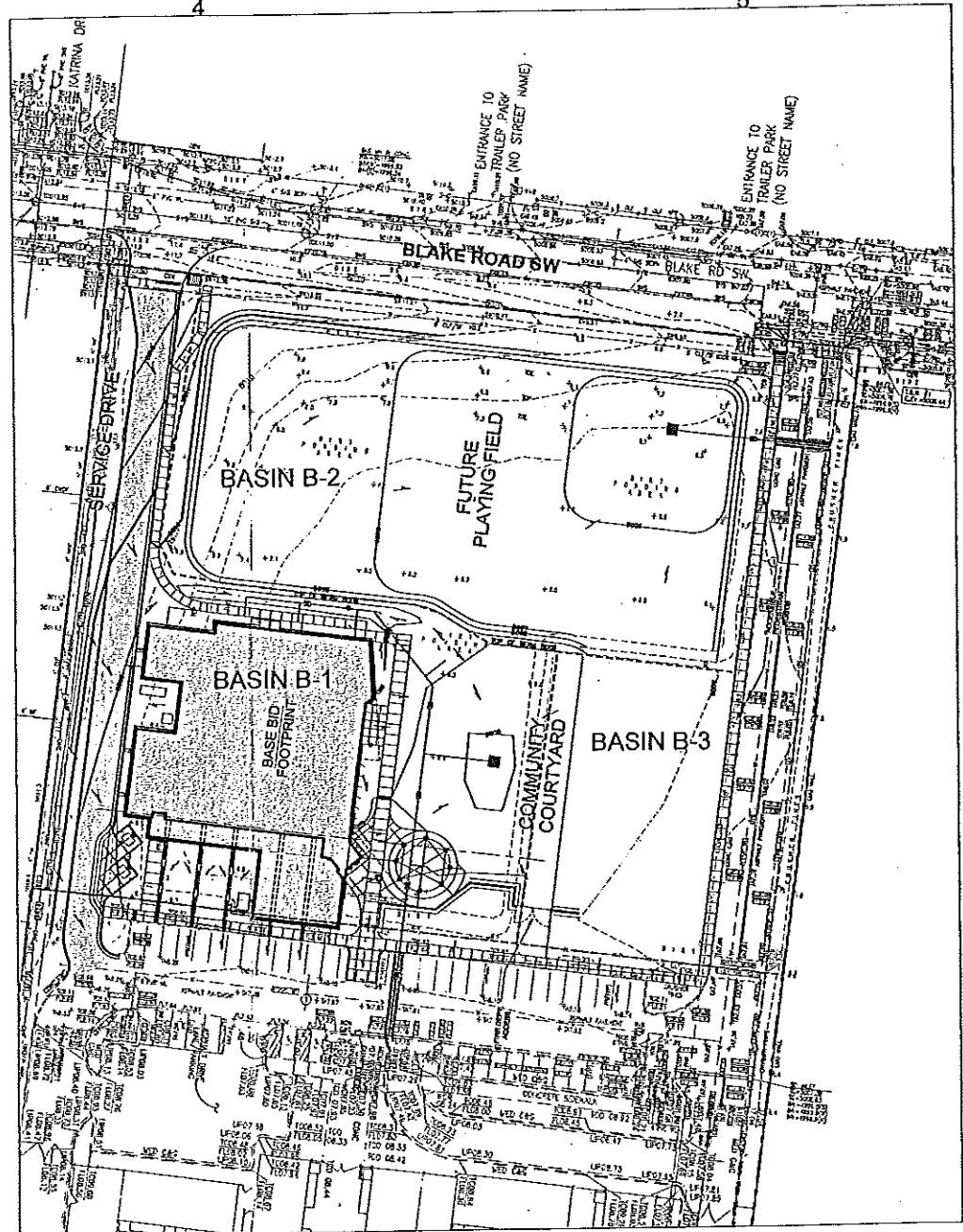
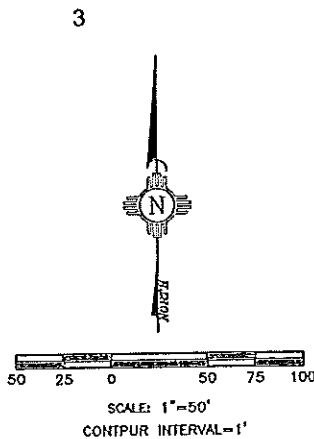


### VICINITY MAP

ZONE ATLAS MAP N-10-Z

#### GENERAL NOTES:

- TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HIGH MESA CONSULTING GROUP, NMPS 11184, ALBUQUERQUE, NEW MEXICO, DATED 2-26-2009.
- PROJECT BENCHMARK ACS ALUMINUM DISK STAMPED "4-N10 2002" SET IN CONCRETE POST 0.2 FEET ABOVE GROUND, IN THE SOUTHEAST QUADRANT OF BLAKE RD. NW AND AMOLE DEL NORTE CHANNEL. ELEV=5003.719 (NAD83 1988)
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 3366.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.



### PROPOSED DRAINAGE BASIN MAP

SCALE: 1"=50'

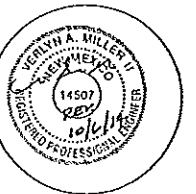
### DRAINAGE DATA

Precipitation Zone 1 - 100-year Storm				P(360) = 2.20		In		P(1440) = 2.68 In	
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B (Acres)	C	D				
Existing Conditions									
B	3.42	2.72	0.00	0.45	0.25	0.62	0.178	0.187	5.89
Total	3.42								5.89
Proposed Conditions									
B-1	1.31	0.00	0.00	0.58	0.73	1.54	0.168	0.198	4.85
B-2	1.33	0.00	0.00	1.33	0.00	0.99	0.110	0.110	3.82
B-3	0.78	0.05	0.00	0.43	0.30	1.33	0.087	0.098	2.61
Total	3.42								11.28

Precipitation Zone 1 - 10-year Storm		P(360) = 1.47 in				P(1440) = 1.78 in			
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(10-6) (af)	V(10-24) (af)	Q(10) (cfs)
		A	B	C	D				
Existing Conditions									
B	3.42	2.72	0.00	0.45	0.25	0.21	0.060	0.067	2.05
Total	3.42								2.05
Proposed Conditions									
B-1	1.31	0.00	0.00	0.58	0.73	0.89	0.097	0.115	2.97
B-2	1.33	0.00	0.00	1.33	0.00	0.44	0.049	0.049	1.98
B-3	0.78	0.05	0.00	0.43	0.30	0.72	0.047	0.055	1.52
Total	3.42								6.48

**DWL**  
ARCHITECTS

DWL ARCHITECTS & PLANNERS, INC. OF NM  
202 CENTRAL AVE. S.E.  
WEST COUNTRY  
ALBUQUERQUE,  
NEW MEXICO, 87102  
PH (505) 242-4303  
FAX (505) 242-4159  
DWL@DWLANET.COM



MARCH 2014

ALBUQUERQUE PUBLIC SCHOOLS  
ROBERT F. KENNEDY  
CHARTER HIGH SCHOOL  
4300 BLAKE ROAD SW  
ALBUQUERQUE, NM 87121



NO.	DESCRIPTION	DATE
1	ADDED THIS SHEET FOR CITY HYDROLOGY REVIEW	8-23-11
2	REV. TO SITE PLAN CHANGES FROM OWNER	10-6-11

PROJECT NUMBER: 20-1007  
MEC-10-041

CAD FILE:

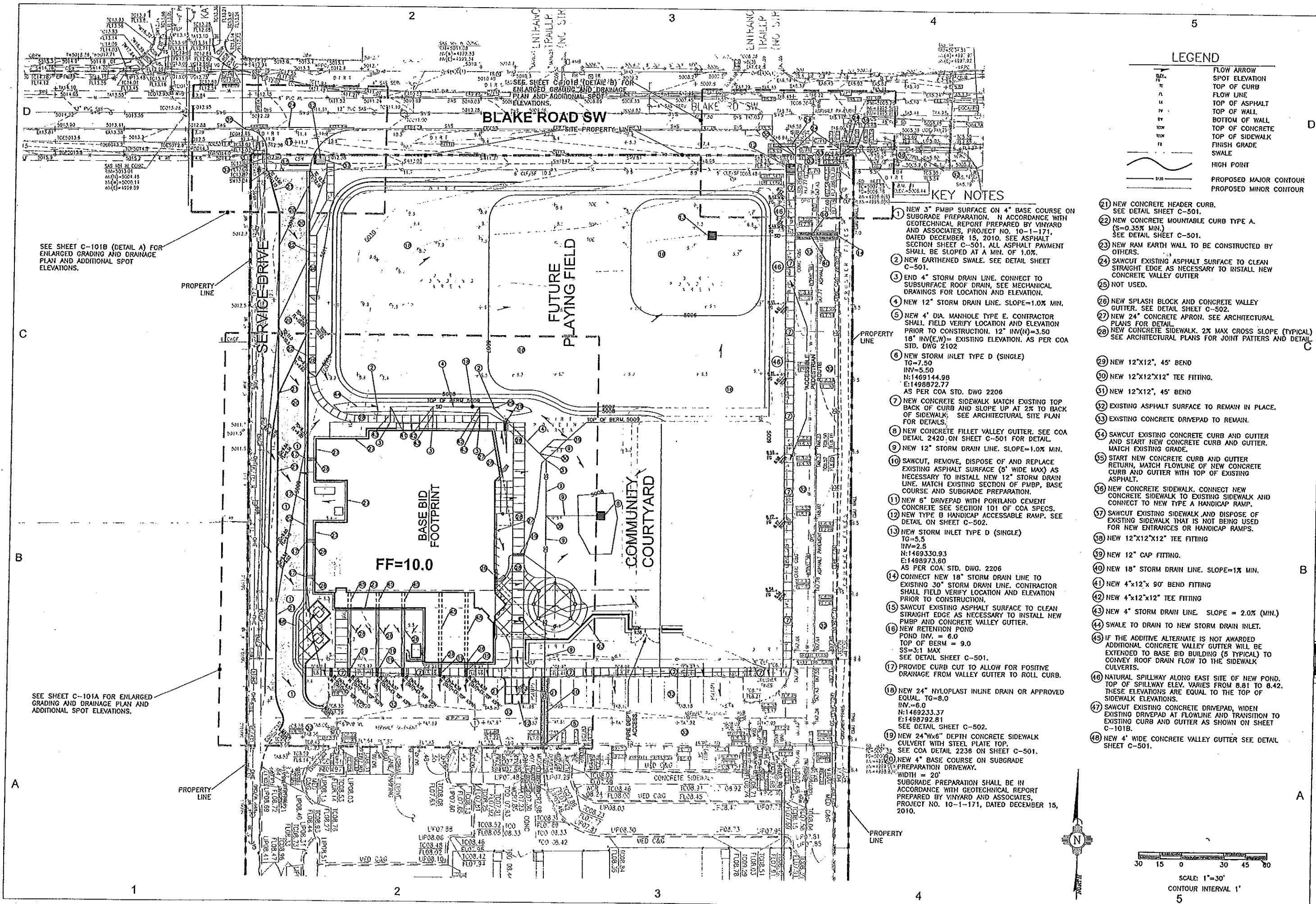
DRAWN BY: JMJ

CHECKED BY: VAM

SHEET TITLE:

GRADING AND DRAINAGE REPORT

**C-100AR**



LEGEND

- FLOW ARROW
- SPOT ELEVATION
- TOP OF CURB
- FLOW LINE
- TOP OF ASPHALT
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF CONCRETE
- TOP OF SIDEWALK
- FINISH GRADE
- SWALE
- HIGH POINT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR

KEY NOTES

- NEW 3" PMBP SURFACE ON 4" BASE COURSE ON SUBGRADE PREPARATION. IN ACCORDANCE WITH GEOTECHNICAL REPORT PREPARED BY VINYARD AND ASSOCIATES, PROJECT NO. 10-1-171, DATED DECEMBER 15, 2010. SEE ASPHALT SECTION SHEET C-501. ALL ASPHALT PAYMENT SHALL BE SLOPED AT A MIN. OF 1.0%.
- NEW EARTHENED SWALE. SEE DETAIL SHEET C-501.
- END 4" STORM DRAIN LINE. CONNECT TO SUBSURFACE ROOF DRAIN, SEE MECHANICAL DRAWINGS FOR LOCATION AND ELEVATION.
- NEW 12" STORM DRAIN LINE. SLOPE=1.0% MIN.
- NEW 4" DIA. MANHOLE TYPE E. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. 12" INV(H)=3.50 18" INV(E,W)= EXISTING ELEVATION. AS PER COA STD. DWG 2102
- NEW STORM INLET TYPE D (SINGLE) TO=7.50 INV=5.50 N:1469144.98 E:1498872.77 AS PER COA STD. DWG 2206
- NEW CONCRETE SIDEWALK MATCH EXISTING TOP BACK OF CURB AND SLOPE UP AT 2% TO BACK OF SIDEWALK. SEE ARCHITECTURAL SITE PLAN FOR DETAILS.
- NEW CONCRETE FILLET VALLEY GUTTER. SEE COA DETAIL 2420 ON SHEET C-501 FOR DETAIL.
- NEW 12" STORM DRAIN LINE. SLOPE=1.0% MIN.
- SAWCUT, REMOVE, DISPOSE OF AND REPLACE EXISTING ASPHALT SURFACE (5' WIDE MAX) AS NECESSARY TO INSTALL NEW 12" STORM DRAIN LINE. MATCH EXISTING SECTION OF PMBP, BASE COURSE AND SUBGRADE PREPARATION.
- NEW 6" DRIVEPAD WITH PORTLAND CEMENT CONCRETE SEE SECTION 101 OF COA SPECS.
- NEW TYPE B HANDICAP ACCESSIBLE RAMP. SEE DETAIL ON SHEET C-502.
- NEW STORM INLET TYPE D (SINGLE) TO=5.5 INV=2.5 N:1469330.93 E:1498973.80 AS PER COA STD. DWG. 2206
- CONNECT NEW 18" STORM DRAIN LINE TO EXISTING 30" STORM DRAIN LINE. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
- SAWCUT EXISTING ASPHALT SURFACE TO CLEAN STRAIGHT EDGE AS NECESSARY TO INSTALL NEW PMBP AND CONCRETE VALLEY GUTTER.
- NEW RETENTION POND POND INV. = 6.0 TOP OF BERM = 9.0 SS=3.1 MAX SEE DETAIL SHEET C-501.
- PROVIDE CURB CUT TO ALLOW FOR POSITIVE DRAINAGE FROM VALLEY GUTTER TO ROLL CURB.
- NEW 24" NYLOPLAST INLINE DRAIN OR APPROVED EQUAL TO=8.0 INV.=6.0 N:1469233.37 E:1498792.81 SEE DETAIL SHEET C-502.
- NEW 24"x6" DEPTH CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP. SEE COA DETAIL 2236 ON SHEET C-501.
- NEW 4" BASE COURSE ON SUBGRADE PREPARATION DRIVEWAY. WIDTH = 20' SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT PREPARED BY VINYARD AND ASSOCIATES, PROJECT NO. 10-1-171, DATED DECEMBER 15, 2010.



SCALE: 1"=30'  
CONTOUR INTERVAL 1'

DWL ARCHITECTS  
DWL ARCHITECTS & PLANNERS, INC. OF NM  
303 CENTRAL AVE. S.E.  
WEST GUYARD  
ALBUQUERQUE, NM 87102  
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MARCH 2014

ALBUQUERQUE PUBLIC SCHOOLS  
ROBERT F. KENNEDY  
CHARTER HIGH SCHOOL  
4300 BLAKE ROAD SW  
ALBUQUERQUE, NM 87121

ISSUE/REVISION  
No. Description Date  
1 REV. TO INCORPORATE NEW TOPO DATA 8-13-13  
2 REV. TO SITE PLAN CHANGES FROM OWNER 10-6-14

PROJECT NUMBER: 20-1007 MEC-10-041  
CAD FILE:   
DRAWN BY: JMJ  
CHECKED BY: VAM  
SHEET TITLE:   
SHEET NO.:   
SHEET TOTAL:   
GRADING AND DRAINAGE PLAN  
C-101R





