



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

RECEIVED
Boyle Engineering Corporation

October 3, 1985

OCT 10 1985

Albuquerque Office

FILE

Mr. Thornton Schwenk
Boyle Engineering Corporation
3939 San Pedro NE, Suite D
Albuquerque, NM 87110

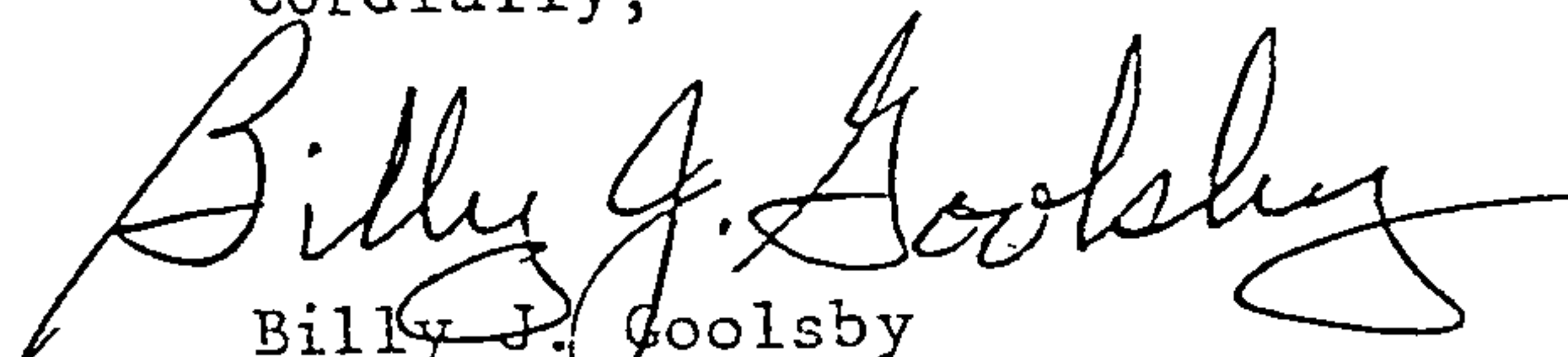
REF: CONCEPTUAL DRAINAGE REPORT FOR VISTA DEL SOL MOBILE HOME PARK (N10-D1)
RECEIVED AUGUST 12, 1985

Dear Mr. Schwenk:

I have reviewed the above referenced submittal and hereby give conceptual approval. However, prior to Site Development Plan sign-off at DRB the necessity for other required infrastructure improvements will need to be established. If other departments have requirements, then a detailed drainage report and an approved infrastructure listing will be required for sign-off. If the other departments do not have any specific requirements for infrastructure improvements, then the drainage improvements may be deferred to the building permit process.

Should you have any questions or comments, please call this office at 766-7644.

Cordially,


Billy J. Goolsby
CE/Design Hydrology

BJM/cl

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE REPORT

for

VISTA DEL SOL MOBILE HOME PARK

4501 BLAKE RD. , S.W.

for

ROGER COX & ASSOCIATES, INC

500 FOURTH STREET, N.W.

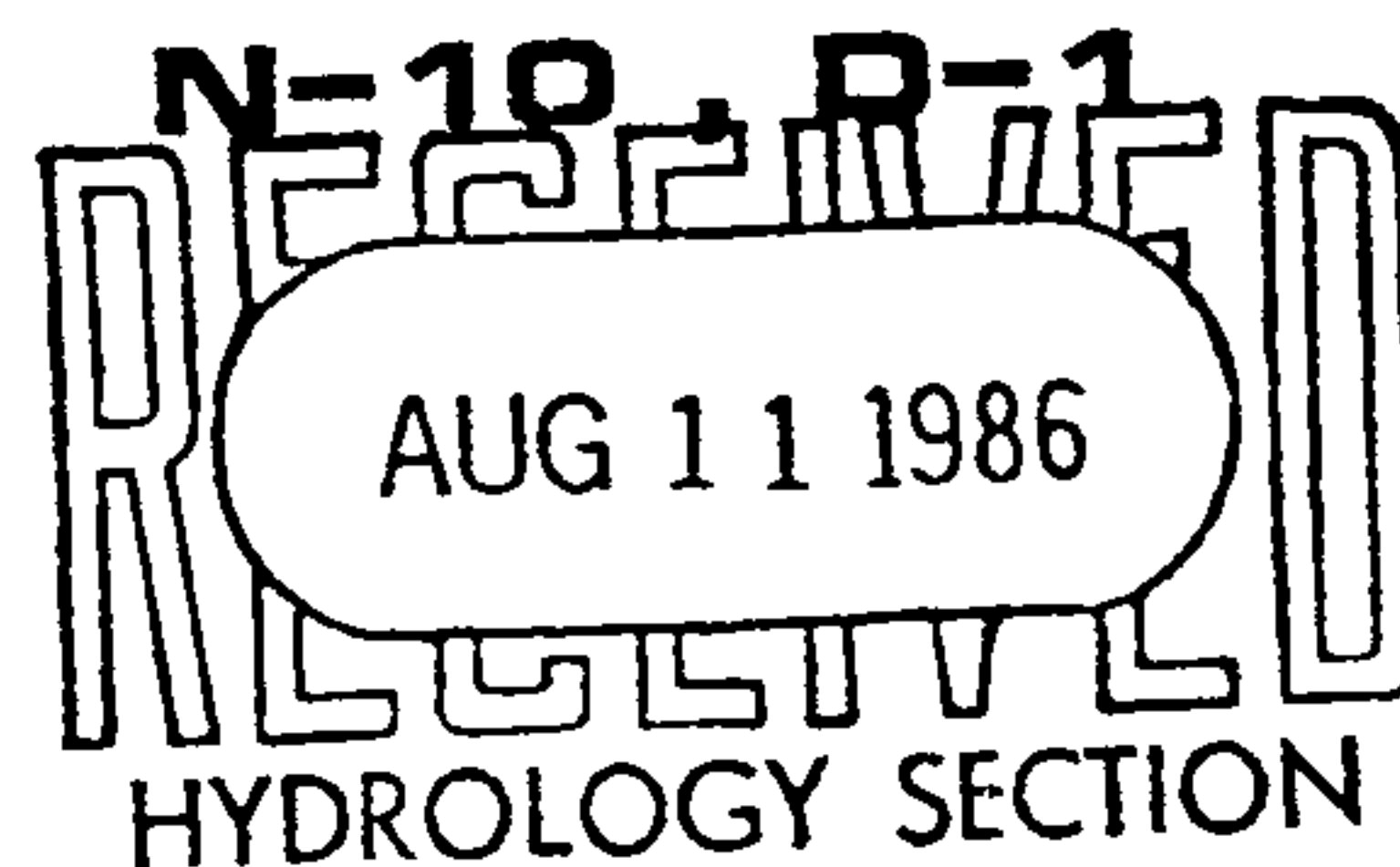
ALBUQUERQUE, NEW MEXICO



**Boyle
Engineering
Corporation**

consulting engineers / architects

Suite D
3939 San Pedro, N.E.
Albuquerque, New Mexico 87110
505 / 883-7700

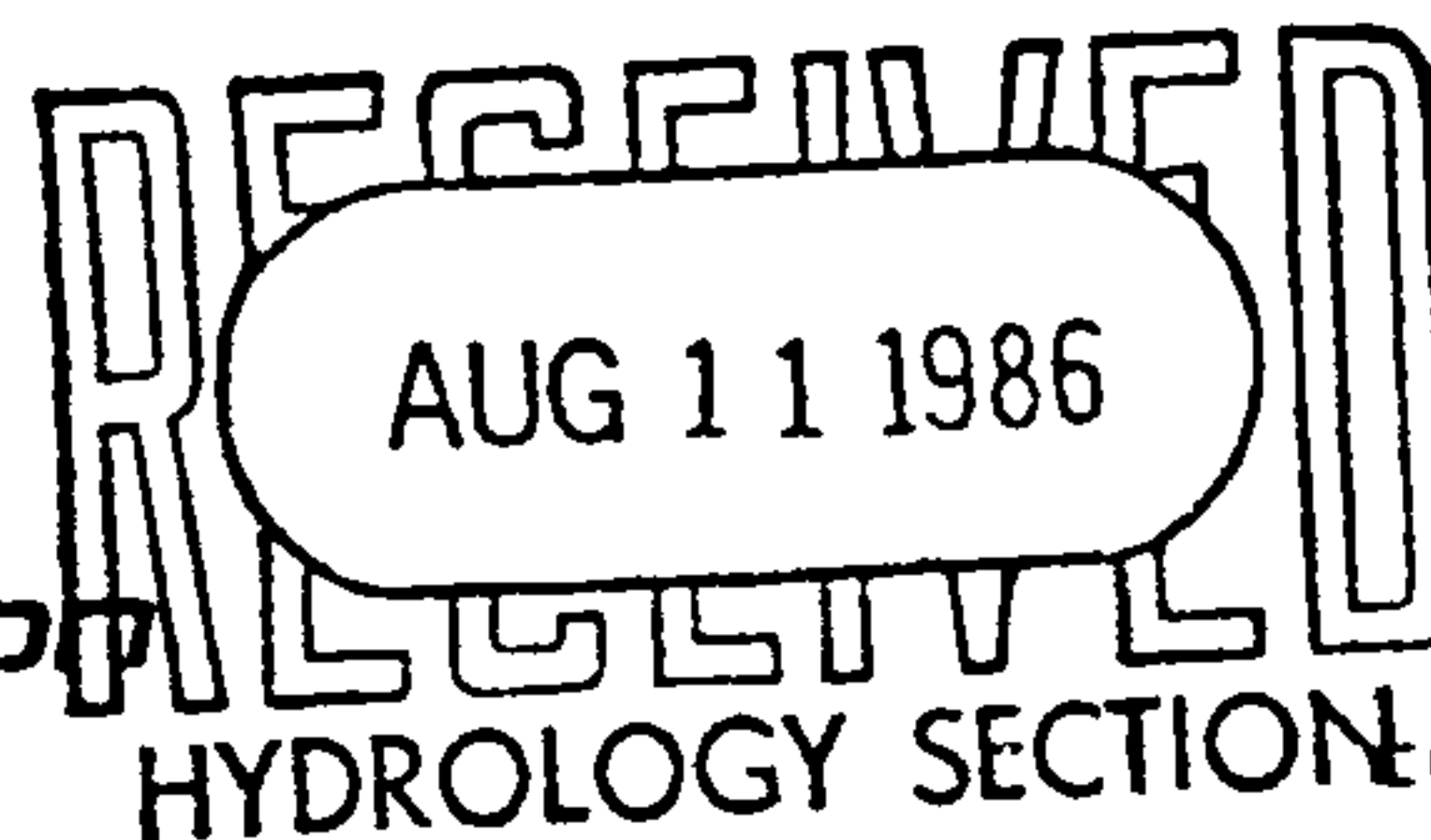


JULY, 1986

®

Boyle Engineering Corporation

Suite D
3939 San Pedro, N.E.
Albuquerque, New Mexico 87110



consulting engineers

505 / 883-7700

City of Albuquerque
Design Hydrology Section
P.O. Box 1293
Albuquerque, New Mexico 87103

August 5, 1986
AL-C21-101-02

ATTN: Mr. Billy Goolsby
Civil Engineer/Hydrology

RE: DRAINAGE REPORT FOR VISTA DEL SOL MOBILE HOME PARK, N10-D1
A DEVELOPMENT OF ROGER COX & ASSOCIATES, INC.

Dear Billy:

Transmitted herewith is one copy of the subject drainage report.

The report serves the dual purpose of providing engineering analysis for overall on- and off-site drainage into a 42-inch storm drain system (City Project 2951) and for building permitting requirements for a small 4,000 sq ft community center building occupying 0.78 acres within the Park.

Please call if you need any additional information or have questions during your review.

Sincerely,

BOYLE ENGINEERING CORPORATION

A handwritten signature in cursive script, appearing to read "Thornton".

Thornton D. Schwenk, P.E.
Senior Civil Engineer II

Enclosures

TABLE OF CONTENTS

LETTER OF TRANSMITTAL

INFORMATION SHEET

CONFERENCE RECAP

- I. PURPOSE
- II. SCOPE
- III. PROJECT DESCRIPTION
- IV. PROJECT LOCATION
- V. EXISTING DRAINAGE CONDITIONS
- VI. DEVELOPED DRAINAGE CONDITIONS
- VII. CONCLUSIONS AND RECOMMENDATIONS

A P P E N D I X

CORRESPONDENCE

Conceptual Drainage Report Approval (10-3-85)
Infrastructure Listing (Rev. 2-27-86)
EPC Findings
Letter from J. Fink on use of excess R.O.W. (3-5-86)

CALCULATIONS

Hymo analysis of basins 37D, 39D & 40D, Amole Del Norte
Hydrograph Computation Worksheets, Subbasins 1-10
Runoff Data Summary Table
LAWSPG Analysis for Flow in 42"/48" RCP

FIGURES

- 1-- Zone Atlas Sheet N-10
- 2 - Soils Survey of Bernalillo County Sheet 40,
SCS, June 1977

PLATES

- I - Amole Detention Basin
Upland Drainage Areas
- II - Grading Plan
- III - Drainage Details

DRAINAGE REPORT

for

VISTA DEL SOL MOBILE HOME PARK

occupying a 77.17-acre tract legally described as

Lands of Roger Cox Southwest Development

comprising Tract 3-A-1 & Tract 3-B-1

formerly being Tract 3A & Tract 3B

Town of Atrisco Grant, Bernalillo County, New Mexico\

4501 Blake Road, S.W.

Albuquerque, New Mexico

N-10, D-1

July 28, 1986

I. PURPOSE

The purpose of this report is to present information, calculations, drawings and recommendations relative to storm runoff for the site of a proposed mobile home park located at 4501 Blake Road, S.W.

II. SCOPE

This report is limited to an investigation of the existing and proposed conditions which affect storm flows on the study site. The proposed development is to be protected from flooding due to storm runoff, without increasing the threat of damage to downstream properties. Any upstream areas which may have been constructed since 1972 are presumed to meet the restrictions of applicable drainage ordinances and resolutions, beginning with AMAFCA

Resolution 1972-2. Estimation of maximum runoff is based on the site being developed as proposed and on the "Notice of Emergency Rule" published by Mayor Ken Schultz on January 14, 1985, which modified volume and hydrograph determinations prescribed by the Development Process Manual.

III. PROJECT DESCRIPTION

The proposed development is for a mobile home park, containing approximately 473 lots on a usable area of 70.06 acres. Typical lot size is 42' x 105'. Internal streets are private and are to be constructed of asphalt pavement, with 24 feet being the distance from flowline to flowline. A one-foot wide curb, constructed integrally with a four-foot wide sidewalk, will be constructed on each side.

Each lot shall provide off-street parking for two vehicles. Additional off-street parking of 1/2 vehicle per dwelling unit shall be available in small parking lots distributed throughout the project.

A 7' x 20' patio pad and approximately 64 sf. storage area will be provided for each unit. A connecting walkway between the patio pad and on-lot parking will be provided. The remainder of the lot area will be seeded and landscaped with other plantings in accordance with the landscape plan.

Infrastructure improvements shall remain privately owned. Dwelling spaces shall be rented, and no subdivision of land will take place.

IV. PROJECT LOCATION

The mobile home park is located in projected Section 3, T9N, R2E, in the southwest quadrant of Albuquerque, approximately 2150 feet west of Coors Road at the north edge of Blake Road (Zone Atlas Sheet N-10, Figure 1). Its eastern boundary is coincident with the Amole del Norte Diversion Channel right-of-way purchased by the City of Albuquerque in 1981-82. The property was annexed into the City via the "Annexation Plat of the Lands of Roger Cox, Southwest Development, Formerly Tract 3 of Lands of Westland Development Company, Inc.", filed in the office of the County Clerk on February 19, 1985, in book C26, page 89. The current Re-plat comprising Tracts 3-A-1 and 3-B-1 was filed April 8, 1986, in book C30, page 16.

V. EXISTING CONDITIONS

A. AREA DEVELOPMENT

Development in the area is moderate. There are existing mobile home parks along the south side of the project. Westgate Heights Addition Unit Two, a single-family residential area, is located approximately 800 feet to the northwest. Large areas of undeveloped land are at the north and west boundaries. Blake Road is a

24-foot wide paved street (without curb and gutter or sidewalk), from Coors Road westward for approximately 3500 feet, where it becomes a gravel road. The transition to gravel occurs 500 feet east of the park property.

As shown on map 350002 0039 C of the Flood Insurance Rate Map, the project site is not within a flood hazard area.

B. TOPOGRAPHY AND SOILS

The project is situated on Bluepoint loamy fine sand with a slope of approximately 2% from west to east as described on pages 13, 64, 74 and map page 40 of the Bernalillo County Soil Survey prepared by the U.S. Department of Agriculture. The soil is classified as SCS hydrologic group "A". Vegetative cover is poor, and risk of erosion from wind and storm runoff is significant. This soil has a great capacity to absorb moisture. (Figure 2)

C. OFF-SITE DRAINAGE

Drainage considerations for the mobile home park will be designed to fully utilize the downstream capacity of the Amole Del Norte Storm Diversion Facility (a concrete-lined trapezoidal channel) coupled with the 492-acre-foot Amole Detention Basin. Existing and developed flow conditions have been reported in the

following documents prepared by Boyle Engineering Corporation::

- (1) "Investigation Phase Report for the Re-Evaluation Study of the Amole Del Norte Storm Diversion Facility", Project 1814, July 30, 1984
- (2) "Design Development Report for the Re-Evaluation Study of the Amole Del Norte Storm Diversion Facility", Project 1814, February 28, 1985
- (3) "Design Analysis Report for the Amole Del Norte Storm Diversion Facility, Phases I & II, Project 2480, January 17, 1986

There are three upland basins that contribute storm runoff to the site from the west. A map of the Amole Detention Basin Upland Drainage Areas is enclosed, showing the outline of these basins: 37D, 39D and 41D. Hydrographs of these basins, as well as for Basin 40D containing the site itself, were made for developed conditions, using a modified version of the USDA's HYMO program. As predicted by the HYMO model, a fully-developed flow of 102 cfs would enter the site through the existing arroyo at station 26+90 (Ref. Offsite Infrastructure drawings for Phase 0-4, Project 2951) from the routed and combined hydrographs from Basins 37D 39D. Flows from Basins 40D and 41D currently flow overland through the site. Undeveloped runoff from portions of Basin 41D is currently collected in Blake Road.

VI. DEVELOPED DRAINAGE CONDITIONS

A. OFF SITE DRAINAGE

An Infrastructure Listing was approved by the Development Review Board on January 14, 1986, for the required offsite improvements, including permanent drainage easements. The 30-ft easement through the site was granted to the City through the platting process (recorded on April 8, 1986) and the 25-ft easements adjacent to the south property line (1000 feet north of and parallel to Blake Road) were obtained as "paper" easements from the four participating property owners. Each of these owners was willing to grant a 25-ft easement at the north end of his individual tract, as this action would relocate the natural flows to the north and permit reclamation of 100 to 150-ft wide strips of land which heretofore had been unusable. The Infrastructure Listing ultimately resulted in the preparation of detailed construction drawings for the following City projects, which were reviewed and approved by the Design Review Committee:

- (1) Project 2791, Master-planned Water Line Extension
- (2) Project 2831, Master-planned Sanitary Sewer Line
- (3) Project 2832, Paving of Blake and Wendell Roads
- (4) Project 2951, Reinforced Concrete Pipe Storm Drain

Portions of the offsite runoff from basins 37D and 39D which does not naturally enter the existing arroyo will be diverted into the arroyo. Vee ditches, with 3:1

side slopes and 0.33% longitudinal slopes, will be graded both north and south from the existing arroyo at Sta. 26+90 to divert the flow along the west edge of Tract 3-B-1. These flows are included in the previously-mentioned flow of 102 cfs.

The remainder of the flow from basin 41D (subbasin 41D-a) will be diverted south along the proposed CMU perimeter wall surrounding tract 3-B-1. Assuming a $CN = 60$ for the existing undeveloped area of 24.8 acres results in a peak runoff of 11.3 cfs being diverted south to Blake Road. This flow will combine with the 2.4 cfs already in Blake Road from the 5.3 acres in subbasin 41D-b.

Basins 1 and 2 on the site itself will discharge south out of the entry driveway into the new City-standard paved street section of Blake Road. This flow totals 14 cfs. The total flow in the half section of Blake Road is thus 27.7 cfs, which results in a depth of flow of 0.55 feet for a 2.1% roadway slope, according to DPM Plate 22.3 D-3.

B. ON SITE DRAINAGE

As previously mentioned, onsite detention is not required, due to the available downstream capacity of the Amole Del Norte system, which will receive discharge directly from the site. (Interim drainage

study submittals for this project showed that interim on-site detention was required; however construction of Phase I of the Amole Del Norte system has rapidly progressed to a point where on-site detention is no longer needed.) Accordingly the site grading plan and drainage structure details were designed in such a way that all runoff (with the exception of basins 1 and 2) will directly enter the Amole Del Norte channel. Runoff will enter the channel either through a side inlet at the top of the lining at ADN Sta. 28+50 or through a 42-in/48-in storm drain system penetrating the ADN lining at ADN Sta. 20+85. Runoff from the interior private streets is collected at appropriately-spaced catch basins, which connect to the 42-inch RCP with 24-inch CMP culverts.

Hydrographs for each basin were developed on DPM Hydrograph Computation Worksheets. (See Appendix) A channel on the east property line of Basin No. 3 will collect overland flow of 9.16 cfs from basin No. 3 and 4. This channel will discharge the runoff into the storm drain at Sta 20+18. (See Drainage Detail Sht. 4 of the On-site Infrastructure drawings.) The discharge of 24 cfs, from basins No. 5-8, will be collected at catch basins located at Stations 16+65, 13+78.50, 9+79 and 4+20, respectively. A total of 139 cfs is discharged to the Amole del Norte Channel from basins No. 3-8. A flow of 28 cfs from basin No. 10 will flow into

a concrete vee ditch then sheet flow to the channel inlet at station 28+50 of the Amole del Norte channel. Basin No. 9 discharges 11 cfs to another concrete vee ditch which is then diverted in a side ditch to the ADN channel inlet. A summary table with all runoff data is included in the appendix.

Flows in the 42-inch RCP, including lateral inflows, were analyzed using the Los Angeles (County) Water Surface and Pressure Gradient Program (LAWSPG), which can take into account losses at manholes and due to changes in the alignment. The input/output for this analysis appears in the appendix. The HGL thus computed is plotted on the profile sheet 2, of Project 2951 drawings.

C. COMMUNITY CENTER BUILDING AND PARKING LOT

A 4000-sq ft community center and parking lot occupies an area of 0.78 acres within the 4.1 acres comprising Subbasin 2 on the site. The fine grading for the landscaped areas surrounding the building will conform to the overall grading plan of the 77-acre site. Runoff from the building area will enter the adjacent private street (Paseo De Canto)), which carries an estimated 14.0 cfs out the main entrance to the Park onto Blake Road.

VII. CONCLUSIONS AND RECOMMENDATIONS

- A. The peak discharge from the on site drainage basins will reach the 42-inch storm drain before the peak discharge of 102.2 cfs reaches the inlet of the 42-inch RCP culvert.
- B. The peak discharge to be introduced into the Amole Del Norte channel is 139 cfs, which agrees with the design flow for this analysis point from the Amole Del Norte design report.
- C. If the designed drainage improvements are made in accordance with the construction drawings, it is the conclusion of this report that the proposed development will be protected from storm runoff and that it will not increase the threat of flood damage to contiguous properties.

Respectfully submitted,

BOYLE ENGINEERING CORPORATION

Thornton D. Schwenk

Thornton D. Schwenk, P.E.

Senior Civil Engineer II



Figure 11

EXHIBIT "D"
to Subdivision Improvements Agreement

D.R.B. REQUIRED INFRASTRUCTURE LISTING
for Vista Del Sol Mobile Home Park
Lands of Roger Cox

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development.

ITEM	SIZE	TYPE OF IMPROVEMENT	LOCATION	FROM	TO
1.	16"	Master-planned Water Line	Southward along Section line in new 20' easement	End of exist. 10" line in Camino San Martin	NW Corner SEC 3, T9N, R2E
2.	8"	Water Line extension	Eastward inside N. property line in new 20' easement	NW Corner SEC3, T9N, R2E	Meter box at E. R.O.W. line Unser (proposed)
*3.	8"	Pressure Reducing Valve	Upstream side of Master water meter	At NW Property Corner	
added from 12-31-85 — *4.	3" (Max.)	Surge Pressure Relief Valve	Upstream side of Master water meter	At NW Property Corner	
** 5.	8"	Sanitary Sewer	Southward in W. 20' of Amole Del Norte (City) R.O.W.	S.E. Corner M.H.P. Property	Blake Rd.
6.	12"	Sanitary Sewer	Blake Rd.	Crossing of Amole Del Norte (west side)	48" Interceptor (Coors Rd.)
7.	10"	1000-ft Drainage Channel	Southeasterly thru property in new 30' easement	W. Property line (SEC 3)	S. Prop. line 430' W / Wendell
*** 8.	10"	1530-ft Drainage Channel Drainage Channel	Along S. Prop. line in new 25' easement (1000' N. Blake Rd)	430' W. of Wendell Rd.	W. R.O.W. Amole Del Norte
9.	2.1 Ac-ft	Temporary Storm Water Detention Basin	Excess City R.O.W. west of Amole Del Norte channel	SW Prop. Cor.	Blake Rd.
10.	7.5 Ac-ft	Temporary Storm Water Detention Basin	Temporary Use of 140' City ROW until channel const. begins	Blake Rd.	1400' N. of Blake
THIS ITEM IS BEING DELETED. Ref. MEETING WITH ANDRE HOULE ON 2-27-86 JAL	11.	4' 440-ft Concrete Sidewalk	N. side Blake Rd.	SE Prop. Cor. at Blake R.O.W.	SW Property Cor.
12.	STD	440-ft Curb & Gutter	N. side Blake Rd.	SE Prop. Cor. at Blake R.O.W.	SW Property Cor.
13.	24'	440' Paving: Collector City Std. (P-4)	Blake Rd.	SE Prop. Cor. at Blake R.O.W.	SW Property Cor.
14.	24'	600' Paving City Std. (P-2)	Blake Rd.	End of Exist. pavement	SE Property Cor. at Blake R.O.W.
15.	24'	1100' Paving City Std (P-2)	Wendell Rd. (North leg)	Blake Rd.	S. Prop. line

* Final requirement for this item to be determined by DRC.

** Contingent upon approval by the City Engineer
*** To be acquired by the developer prior to Work Order (i.e., the Drainage Easement)

Prepared by: Thornton D. Schwenk, P.E. 4739

Print Name Thornton D. Schwenk

Firm Boyle Engineering Corporation

Page 1 of 1

Development Review Board Member Approvals

Robert A. Farnham 1-14-86 Traffic Date
John E. Farnham 1-14-86 WRD Date
Mart. Vally 1-14-86 Parks & Rec. Date

R. H. Duncan 1/14/86 noo Chairman Date
Fred J. Quinn 1/14/86 City Engineer/MAFCA Date

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

ALCADA NUMBER:09
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-84-101-2

Z-84-101-2 Ronald S. McCulloch agent for Roger Cox requests a change of zone from SU-1 (Mobile Home Subdivision) to SU-1 (Mobile Home Park) for Tract 3B and approval of a Site Development Plan for Tract 3A and 3B. Lands of Roger Cox Southwest Development (SP-85-67), located on the north side of Blake Road approximately 225 feet west of Wendell Road SW, containing approximately 77.2 acres. (N-10)

COMMENTS FROM OTHER DEPARTMENTS:

ENVIRONMENTAL HEALTH AND ENERGY DEPARTMENT

Air Pollution Control Division

"If the Unser Blvd. facility is constructed adjacent to the proposed project, the western row of mobile homes may be subject to adverse noise impacts from future arterial traffic. It is virtually impossible to reduce interior noise levels in mobile homes by structurally reinforcing or altering floor plan layouts. The detention ponds should not retain water for greater than 5 days to prevent mosquito breeding problems. The soils in this area are extremely susceptible to erosion and an extensive Dust Control Plan will be required for application of a top soil disturbance permit. If soils are disturbed but not under active construction for long periods, long term ground stabilization measures such as revegetation, crimped-in-straw etc. will be required."

"No comment."

Fire Plans Checking may have comment."

South Valley area council has been notified."

Administration

FIRE/Planning

HUMAN SERVICE/Neighborhood Coordination

MUNICIPAL DEVELOPMENT

Engineering

An approved conceptual grading and drainage plan appropriate for preliminary approval of the proposed drainage scheme. An approved drainage report will be required for site plan sign-off by the City Engineer. The proposed scheme is dependent on the City's acceptance of the proposed ponding within the City's Right-of-Way and in Tract A1-11B. Recommend another pre-design to the tie down items such as maintenance responsibilities, infrastructure requirements and required easements. Recommend deferral unless the items above have been satisfied prior to the EPC Public Hearing.

Zoning Enforcement Officer

PARKS AND RECREATION/Planning

"Under Ordinance 7-1976, as amended, the developer is required to dedicate land or pay cash-in-lieu of land; plus pay a development fee at building permit time. Various City departments have discussed selection of a site on the southwest mesa where several public facilities could be co-located (park, recreation center, school, library, senior citizen center, pool, etc.). However, no site has been selected. An attempt would be made to acquire a neighborhood park site south of Arenal to serve those areas annexed into the City."

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUMBER:09
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-84-101-2

POLICE/Planning

"No adverse comment."

PROPERTY MANAGEMENT/Real Estate Officer

"Would recommend that Unser right of way be dedicated on plat at this time. A lease back at no charge could be arranged to let present owner use land until needed for actual construction."

REFUSE REMOVAL AND SERVICES/Refuse Division

"This project falls under City Refuse Ordinance #42-1980 (commercial). Must meet with residential collection Supervisor. John Finley, Refuse Department. 823-4000. Not approved for residential service."

TRANSIT/Planning

"No comment."

TRANSPORTATION

Traffic Engineer

"See Planning and Programming Division comments regarding Rights-of-way for Unser and Blake. The distribution of guest parking spaces throughout the project is too heavily concentrated in the area of the tennis courts. One space per 2 units is the desired ratio, not including more than about 10 provided for the tennis courts. The width of the private (west entrance from Blake road should provide a 22' exit width and 20' entrance width where the median is utilized. Minimum centerline radius should be 75' (not 40') for all 90 degree turns in private streets. All circular turnarounds must meet DPM requirements (47'R) for roadway with center island. Recommend streets have 24' face to face of curb (22' shown by applicant) with 4'-0" sidewalk not including sloping curb (3' incl. curb shown). Streets should be labeled for identification. A north-south private street connection is recommended from the east-west street at the end of Wendell north the second east-west street -- to reduce circuitous travel. A pedestrian link to the north should be stubbed out for future access to schools to the north. Internal streets should be identified as private. Developer is responsible for internal street improvements. Recommend developer to required to pave 24' on Wendell, with sidewalk one side, out to Blake, 24' pavement. One on Blake from end of existing pavement east of Wendell to west line of this site, with C&G and 4' sidewalk where site abuts Blake. (note: condition of existing Blake pavement, Wendell to Coors, is poor--street is in County)."

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

Planning/Programming

AGENDA NUMBER:09
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-84-101-2

"Unser Boulevard is designated as a principal arterial (right-of-way width of 156 feet required) and Blake Road is designated as a collector (right-of-way width of 68 feet required) on the Long Range Major Street Plan. The Bikeways Master Plan identifies Blake Road as the location for a bicycle lane. Dedication of 156 feet of right-of-way for Unser and 40 feet from centerline for Blake Road (34 feet for roadway plus 6 feet for bikeway) should be required as a condition of approval. The proposed location of the right-of-way for Unser Boulevard meets our previous specification. The main entrance to the development from Blake Road should be 36 feet wide to allow one lane for ingress and two lanes for egress. The median should be eliminated, and 4 additional feet of right-of-way on each side for sidewalks is needed. Generally, the parking areas that do not have through access lack appropriate keyways for the space that is located at the end away from the lot entrance/exit. The temporary right-of-way located along an extension of Wendell Road appears to improve access to the northern portion of the development and internal circulation. We suggest that it be retained, and the parking lot associated with it be relocated. The typical cul-de-sac should have an overall minimum radius of 48 feet, with 18 feet for the interior circle radius and a minimum width of 30 feet for the driving aisle. Provision for meeting the requirements of the Street Tree Ordinance along Unser Boulevard and for providing an adequate buffer or solid wall to reduce potential noise intrusion from traffic along this future principal arterial into this proposed development should be made at this time. The internal streets do not meet City standards and will be private streets. We understand that the applicant is preparing a draft agreement concerning interim use and ultimate conveyance of Unser Boulevard right-of-way. This

Department's minimum requirements for such an instrument are: (1) interim use will not include construction of permanent structures on the relevant property; (2) right-of-way will be conveyed at such time as it is needed, as determined by the City; (3) improvements will be removed (or abandoned in place as appropriate) by owner/applicant at his expense and in a timely manner; and (4) conveyance will be at no cost to the City."

WATER RESOURCES/Engineering Department

"No comment on the zone change request. Continued coordination with WRD is necessary to work out the water and sanitary sewer service details."

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUMBER:09
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-84-101-2

COMMENTS FROM OTHER AGENCIES

ALBUQUERQUE FLOOD CONTROL AUTHORITY

"See City Engineers comments."

ALBUQUERQUE PUBLIC SCHOOLS

MIDDLE RIO GRANDE COUNCIL OF GOVERNMENTS

"The Long Range Major Street Plan (LRMSP) designated Blake Road as a Collector which requires 68 feet of right-of-way. Adequate right-of-way for Blake Road should be reserved. There is currently a proposal before the Urban Transportation Planning Policy Board (UTPPB) to extend Unser Boulevard as a Principal Arterial south of Arenal Road to Rio Bravo Boulevard. However, the exact location of Unser Boulevard has not been defined. This area would be defined as the Unser Boulevard Location Study Corridor. The required right-of-way for Unser Boulevard would be 156 feet. Unser may also be defined as a limited access facility south of Arenal Road. Provisions should be made for easements for Unser Boulevard if this Principal Arterial is designated to be extended to Rio Bravo Boulevard."

PLANNING DIVISION COMMENTS TO THE ENVIRONMENTAL PLANNING COMMISSION, 8/15/85

Request Summary:

This is a request for a change of zone from Mobile Home Subdivision to Mobile Home Park for the eastern portion of this development containing approximately 42 acres and Site Development Plan approval for the entire parcel containing approximately 77.2 acres.

Applicable Plans and Policies:

The Comprehensive Plan designates the area Developing Urban in which moderate densities of 3-6 dwellings per gross acre or higher net densities with cluster development area appropriate for residential development. The Albuquerque International Airport Plan, to be adopted by the City Council, contains aircraft noise/land use compatibility recommendations which may affect the site.

Area Characteristics and Zoning History:

Environmental characteristics of the general area effect the site's habitability. The Albuquerque International Airport Plan identifies existing noise contours as they relate to various parts of the City. Aircraft operations in 1983 generated enough noise exposure in the general vicinity to be identified as a complaint location. The 60 Ldn contour extends to the north of this site, but does not include the property in this request.

The City Council, on July 22, 1985, adopted the Airport Noise Compatibility Program which includes a Land Use Guidance Chart. The chart does not permit Mobile Homes within the 60 Ldn noise contour.

The site is bounded on the north by vacant R-1 zoning in the City and on the west by vacant R-1 zoned land also in the City that is part of the Snow Vista Master Plan. Property on these two sides of the site is in large parcels. Land to the east is primarily vacant and zoned County A-1 and MH. Land to the south is County property zoned MH and developed with that use.

The property in question was annexed in 1984 and zoned for Mobile Home Subdivision and Mobile Home Park (AX-84-19/Z-84-101).

The original site development plan for Tract 3A was indefinitely deferred by the Environmental Planning Commission on October 18, 1984 (Z-84-101-1).

Analysis

1. Zone Change:

The zone change requested for Tract 3B from SU-1 for Mobile Home Subdivision to SU-1 for Mobile Home Park does not have any unusual public facility or public service needs that did not exist with the present zoning.

2. Site Plan

The site plan shows a 77-acre site with 511 lots to be developed with mobile homes. The density on the site is 6.7 du/acre. The project will be developed in two phases. Phase I is the west side of the property. The plan includes a community center and tennis courts.

The main entrance to the Park is from Blake Road. A second access is shown on Wendell Road. The temporary right-of-way shown as an extension of the entrance on Wendell Road should be permanent. It improves access to the northern portion of the development and improves internal circulation. The parking area that would be eliminated by the retention of the right-of-way should be relocated.

Additional right-of-way on Blake Road is required to total 40 feet from centerline (34 feet for roadway plus 6 feet for bikeway). The developer should pave 24 feet on Wendell Road with the sidewalk on one side out to Blake Road. The width of the west entrance onto Blake Road should be 36 feet wide to allow one lane for ingress and two lanes for egress. The median should be eliminated. Minimum centerline radius should be 75 feet for all 90 degree turns on private streets. All turnarounds should have an overall radius of 48 feet with 18 feet for the interior circle radius and a minimum width of 30 feet for the driving aisle. Streets should be labeled for identification. The developer is responsible for internal street improvements.

A pedestrian link to the north should be stubbed out for future access to schools to the north.

Each mobile home lot provides off-street parking for two vehicles. The visitor parking is provided at one space per two units as suggested by the Traffic Engineer. He also suggested, however, that no more than 10 spaces be provided for the tennis courts. A better distribution of visitor parking could be achieved. Keyways need to be provided in all visitor parking lots which may reduce the number of space possible in each of the lots. No reduction in visitor parking spaces should be allowed.

The proposed location of the right-of-way for Unser Boulevard meets the Transportation Department's specifications. Provision for meeting the requirement of the Street Tree Ordinance along Unser Boulevard and for providing an adequate buffer to reduce potential noise intrusion from traffic along this future principal arterial should be shown at this time. This will reduce the size of lots along the west property line, thus affecting their development.

An agreement to include a plat, concerning interim use and ultimate conveyance of Unser Boulevard right-of-way must be signed by the City and the owner prior to final plan sign-off. The agreement should include the four items requested by the Transportation Department in their staff comments.

This site has not been approved for residential service by the Refuse Department. The Refuse Department must approve a plan for trash removal.

A drainage plan has not been approved for this site. The Engineering Department comments recommend deferral.

Detailed landscaping plans are shown for a typical lot, for the community center, and for the visitor parking areas. The landscaping plans are adequate except for the information needed once Unser Boulevard is developed. Also need landscaping details for the tennis court area and the other drainage basins.

An elevation, with colors and height, is included. A six-foot wall is shown to surround the entire site. The wall will be the same material and color as the community center.

One sign is shown to be located on the wall at the Blake Road entrance and to be illuminated with ground floodlights.

FINDINGS:

1. The zone map amendment is compatible with the intent of the Comprehensive Plan and is consistent with Resolution 270-1980.
2. The plan includes the major elements required for a site development plan.
3. The Site Development Plan will allow a more integrated development on the property which will be more compatible with similar existing and proposed development in the general area.
4. The concerns of dedicating right-of-way for Unser Boulevard have been addressed on this plan, however, the plan does not address the landscaping treatment and ultimate design once Unser Boulevard is complete.
5. The drainage plan is not approved at this time and the Engineering Department has recommended deferral.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUMBER:09
ENVIRONMENTAL PLANNING COMMISSION
August 15, 1985
Z-84-101-2

RECOMMENDATION:

APPROVAL of Z-84-101 2 as it relates to the zone change is recommended but deferral of the Site Development Plan is recommended based on Finding 4 and 5.

Susan Montgomery

Susan Montgomery
Associate Planner

SM/djw

cc: Roger Cox, 500 4th NW, Suite 510; 87102
Herbert M. Denish and Associates, PO Box 2001; 87103

IT IS REQUESTED THAT THE APPLICANT/AGENT BE PRESENT AT THE HEARING.



CITY OF ALBUQUERQUE

MUNICIPAL
DEVELOPMENT
DEPARTMENT

PLANNING DIVISION



Z-84-101-2

Ronald S. McCulloch agent for Roger Cox requests change of zone from SU-1 (Mobile Home Subdivision) to SU-1 (Mobile Home Park) for Tract 3B and approval of site Development Plan for Tract 3A and 3B Lands of Roger Cox Southwest Development (SP-85-67), located on the north side of Blake Road approximately 225 feet west of Wendell Road SW, containing approximately 77.2 acres. (N-10)

HEARING: 5-16-85

MAP: N-10

FILE: 2-84-101-2

Boyle Engineering Corporation

Suite D
3939 San Pedro N.E.
Albuquerque, New Mexico 87110

consulting engineers

505 / 883-7700

City of Albuquerque
Municipal Development Department
P.O. Box 1293
Albuquerque, New Mexico 87103

March 5, 1986
AL-C21-101-02

ATTN: Mr. Jim Fink, P.E./Planning & Programming Hydrology

RE: USE OF EXCESS PUBLIC RIGHT-OF-WAY FOR A 2.1 AC-FT
TEMPORARY DETENTION BASIN FOR PROJ. 2796, ADJACENT TO THE
AMOLE DEL NORTE STORM DIVERSION FACILITY (PROJ. 2480)

Dear Mr. Fink:

During the planning stages for the site development of the Vista Del Sol mobile home park early in 1985, several schemes were investigated for detaining storm runoff. Drainage solutions for this 70-acre site were complicated by the uncertainty of the construction schedule for the Amole Del Norte (ADN) channel adjacent to the east property line of the site.

On June 21, 1985, a meeting was held at Fred Aguirre's office, attended by Roger Cox's representatives and by Steve Boberg of your office. It was agreed that Vista Del Sol could use 1.3 acres of excess ADN right-of-way for a 2.1 ac-ft temporary basin (Basin No. 2) to detain a portion of the 10-year developed runoff and 4.0 acres of the ADN channel right-of-way for a 7.5 ac-ft temporary basin (Basin No. 3) to detain the 100-year runoff from all contributing watersheds. (Basin No. 1 provides 1.6 ac-ft storage within the development.) This solution assumed that the ADN system would not be in place prior to complete build-out of the mobile home park. Once construction began on the ADN, Basin 3 would have been abandoned and excavated to the ADN design grades.

This concept was developed for submittal for the EPC hearing on October 17, 1985 (File: Z-84-101-2), and was approved by Billy Goolsby on October 3, 1985. The requirement for both temporary basins was subsequently included on the approved infrastructure listing (DRB-85-4), dated January 14, 1986.

With construction to commence soon on the ADN channel, Basin 3 must now be eliminated and the approved drainage concept and right-of-way agreement must be modified. As a result of construction phasing within Vista Del Sol, Basins 1 and 2 may furnish sufficient storage. If needed, a new temporary basin may be built within the site as discussed with Billy Goolsby on February 27.

Mr. Jim Fink, P.E.

March 5, 1986

Page 2

Use of excess ADN right-of-way is now restricted to Basin 2. This basin, with a spillway and discharge pipe, would be constructed by the Vista Del Sol contractor immediately after he lays the 8-in master-planned sewer in this same right-of-way. (Reference your letter of approval for the alignment of this sewer line, dated February 25, 1986.) Once the ADN channel and outfall have been completed past Sta. 23+00, and the Vista Del Sol channels (Infrastructure Items 7 and 8) have been completed, westerly flows will be directed into the ADN channel through the 48" RCP at Sta. 20+85. Then Basin 2 will be filled by the Vista Del Sol contractor.

As we discussed earlier, we need your written approval on behalf of the City Engineer/Hydrology for the use of the excess Amole Del Norte right-of-way for this temporary detention basin. Please indicate your approval below and return a signed copy for our file, and I will make distribution to Fred Aguirre's office.

Please call if you need any additional information.

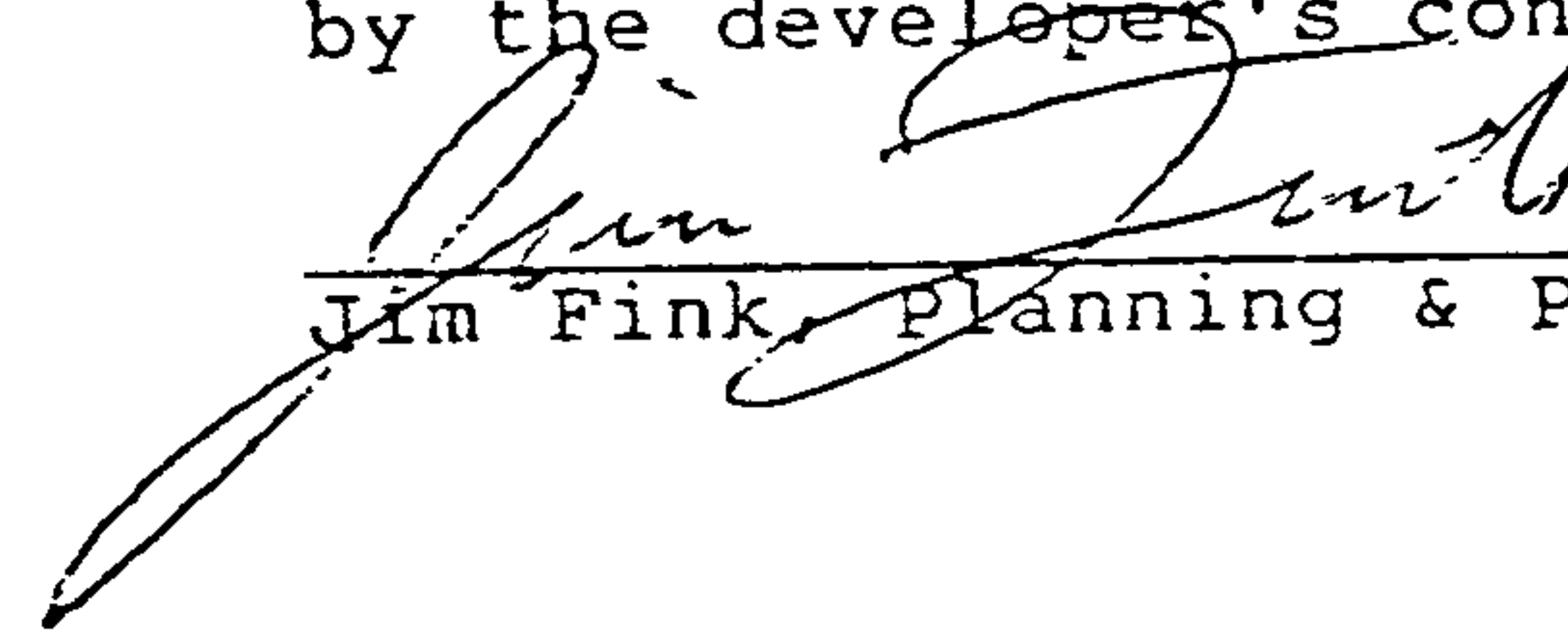
Sincerely,

BOYLE ENGINEERING CORPORATION



Thornton D. Schwenk, P.E.
Senior Civil Engineer II

I, Jim Fink, do hereby acknowledge and accept this agreement for use of excess Amole Del Norte right-of-way as shown on the Project 2796 drawings (Phase O-3, Sheet 5). Excavation, maintenance and subsequent filling of this basin must be accomplished by the developer's contractor at no cost to the City.



Jim Fink, Planning & Programming Hydrologist

3/7/86
Date