

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 4, 2022

Kent Trauernicht, RA  
AKT Architect, LLC  
55 Camino Del Senador  
Tijeras, NM 87106

**Re: Rockwell Office/ Warehouse**  
**1601 Airtech Ct SE**  
**Traffic Circulation Layout**  
Architect's Stamp 01-25-22 (N15-D010A)

Dear Mr. Kent,

Based upon the information provided in your submittal received 01-28-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Key not 11: please call out COA std dwg 2442 A
2. Provide clear sight triangle dimensions on site plan.
3. Provide face sign details for the ADA signs, and Motorcycle parking spaces sign.
4. Provide a copy of Fire Marshal approval.
5. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.  
If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

MA via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** ROCKWELL OFF/WRHS **Building Permit #:** N/A **Hydrology File #:** N/A  
**DRB#:** N/A **EPC#:** N/A **Work Order#:** N/A  
**Legal Description:** TRACT A, AIRPORT TECHNICAL CENTER CONT  
**City Address:** 1601 AIRTECH CT. SE, ABQ 87106  
**Applicant:** KENT TRAUERNICHT **Contact:** SAME  
**Address:** 55 CAMINO DEL SENADOR, TIJERAS NM, 87059  
**Phone#:** 281-9560 **Fax#:** N/A **E-mail:** AKTARCH@EARTHLINK.NET  
**Other Contact:** NONE **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_  
**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE  
**IS THIS A RESUBMITTAL?** ☒ **Yes** ☐ **No**  
**DEPARTMENT** ☒ **TRANSPORTATION** \_\_\_\_\_ **HYDROLOGY/DRAINAGE**

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ RESUBMITTAL 7500 TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

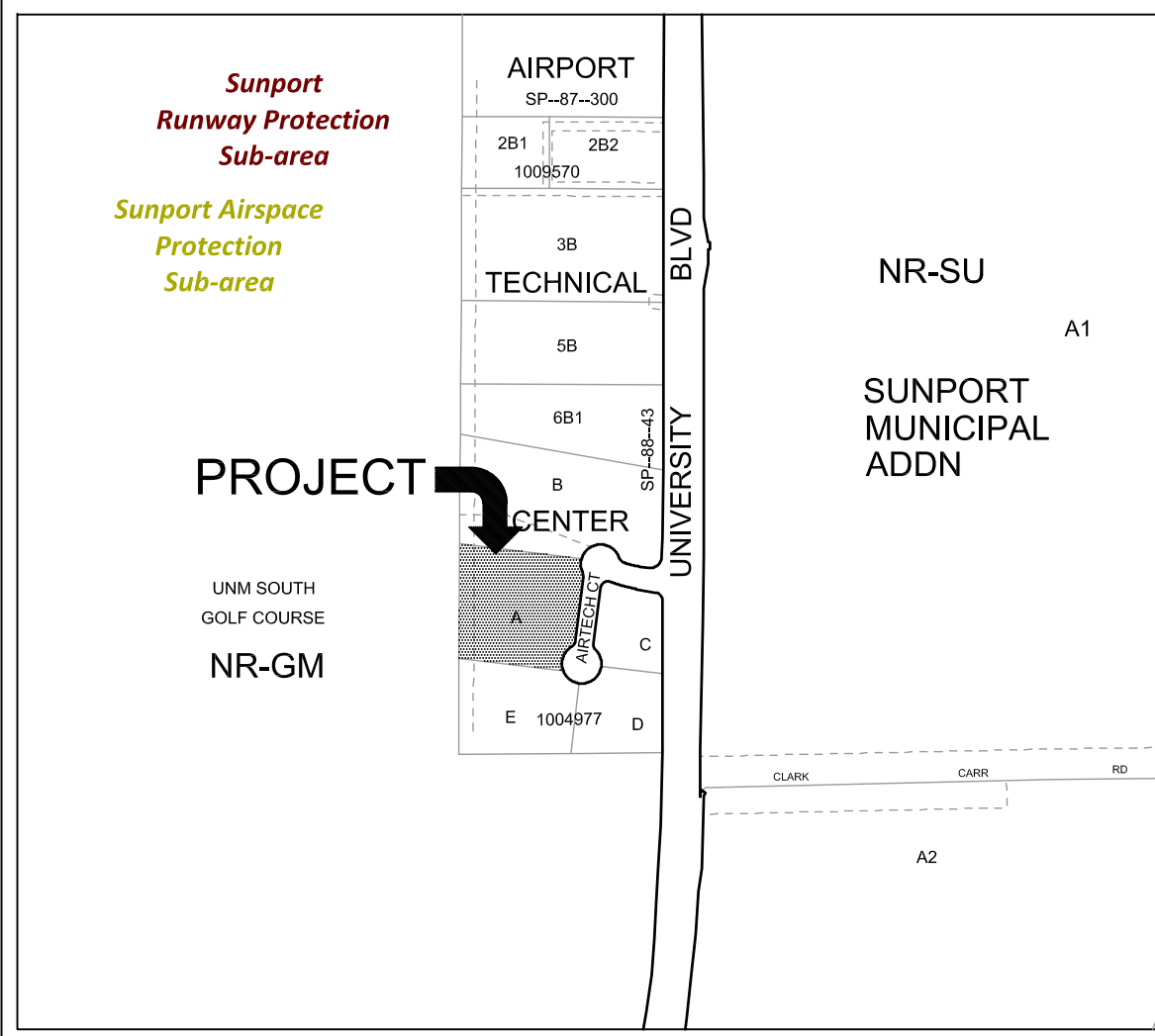
**DATE SUBMITTED:** 11/13/22 **By:** KENT TRAUERNICHT

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





ZONE ATLAS PAGE: N15

#### GENERAL NOTES:

1. THE GRADE AT ALL LANDSCAPE OR PLANTED AREAS THAT ABOUT CONCRETE WALKS OR CURBS SHALL BE DEPRESSED SO THAT THE LANDSCAPING SOIL AND/OR ROCK MATERIAL WILL BE FLUSH WITH THE TOP OF ADJOINING CONCRETE.
2. PROVIDE CURB CUTS FOR DRAINAGE AS REQUIRED BY THE GRADING AND DRAINAGE PLAN.
3. ALL EARTHWORK AND SITE PREPARATION SHALL COMPLY WITH THE GRADING AND DRAINAGE PLAN AND GEOTECHNICAL REPORT.
4. THE CONTRACTOR SHALL REMOVE ALL EXISTING SITE IMPROVEMENTS, UTILITIES, AND PLANT MATERIALS AND SHALL DISPOSE OF THEM AS REQUIRED.
6. SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPEDE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.
7. PROVIDE LEVEL CONCRETE HOUSE KEEPING SLAB AT ALL OUTDOOR EQUIPMENT LOCATIONS. RAISE A MINIMUM OF 1-1/2" ABOVE THE SURROUNDING CONCRETE WALKS WHERE EQUIPMENT IS LOCATED. COORDINATE SIZE OF PAD WITH EQUIPMENT SUPPLIERS.
8. ALL SITE LIGHTING SHALL BE BUILDING MOUNTED, SEE ELEVATIONS AND ELECTRICAL EXTERIOR FIXTURES SHALL BE SHIELDED WITH CUT-OFFS PER COABQ NIGHT SKY ORDINANCE.
9. SIGNAGE IS NOT IN CONTRACT AND SHALL BE BY SEPARATE PERMIT.

#### SITE DATA

ADDRESS: 1601 AIRTECH CT. SE, ALBUQUERQUE 87106  
PROPERTY: TRACT A, AIRPORT TECHNICAL CENTER  
IDO ZONE: NR-GM (GENERAL MANUFACTURING)  
LAND USE: COMMERCIAL SERVICES (OFFICE/WAREHOUSE)  
LOT SIZE: 103,673 SF (2.3845 ACRES)

BUILDING FOOTPRINT: 26,008 SF  
TOTAL BUILDING AREA: 26,981 SF  
OFFICE: 2,543 SF  
WAREHOUSE: 24,438 SF

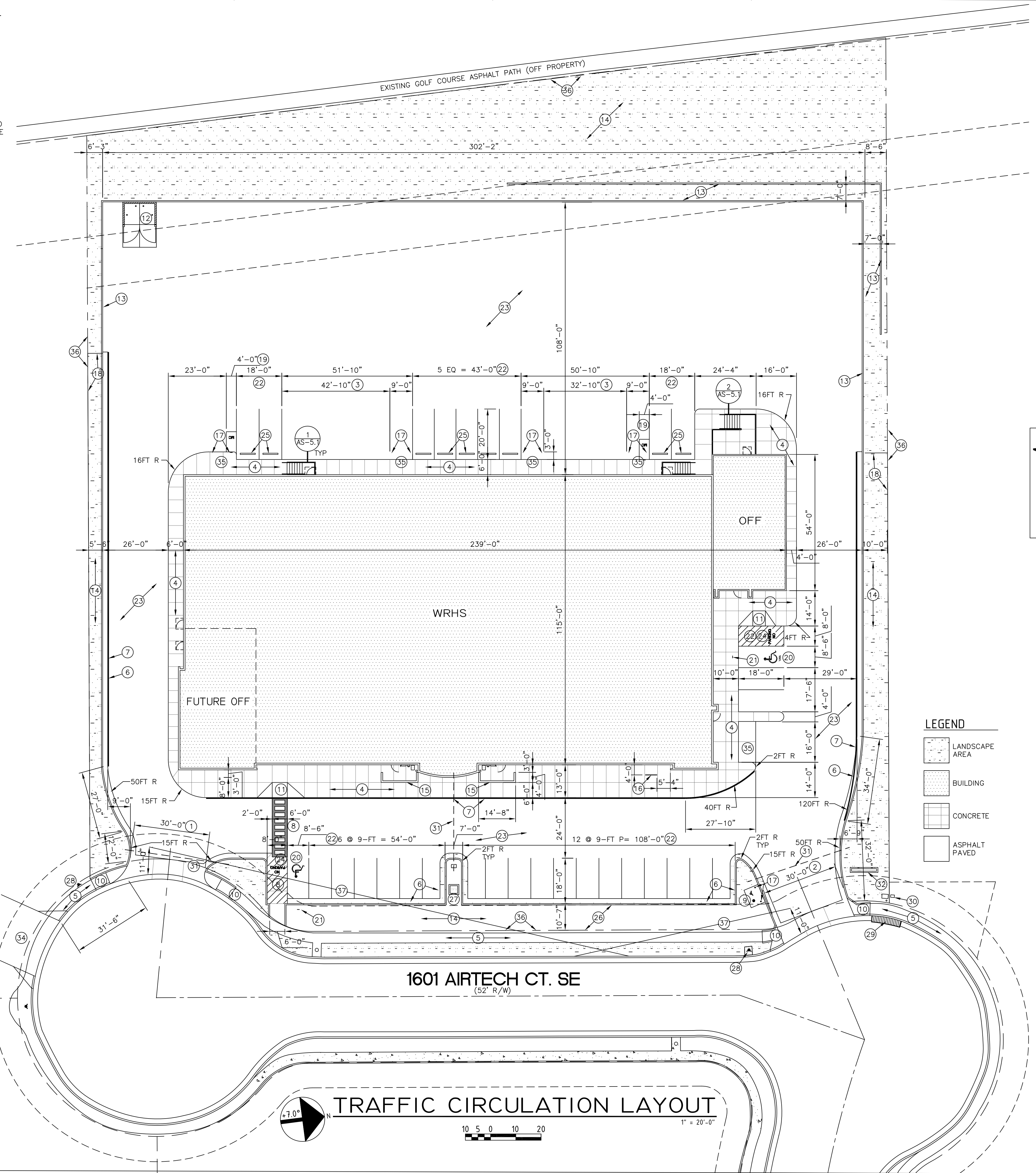
NET SITE: 103,673-26,008=77,665 SF  
REQUIRED LANDSCAPE (15% NET):  
77,665 x 0.15 = 11,650 SF  
LANDSCAPE PROVIDED: (+/-)20,995 SF

REQUIRED PARKING: 29  
OFFICE Nth: 2,543/1,000x3.5=9  
OFFICE Sth: 1,800/1,000x3.5=7  
WAREHOUSE: (NO REQUIREMENT)  
(PROVIDED: 24,406/2000) = 13  
PARKING PROVIDED: 31 (2 ACCESSIBLE, INCLUDES 1 VAN)

BICYCLE PARKING REQUIRED 10%x29=3: 3 PROVIDED  
MOTORCYCLE PARKING REQUIRED (2 PER 26-50): 2 PROVIDED

#### KEYED NOTES

1. CUT AND REMOVE EXISTING CURB/GUTTER AS REQUIRED TO INSTALL PRIVATE ENTRANCE PER COABQ STANDARD DETAIL 2426
2. CUT AND REMOVE EXISTING CURB/GUTTER AS REQUIRED TO INSTALL DRIVEPAD PER COABQ STANDARD DETAIL 2425
3. TRUCK LOADING DOCK CONCRETE APRON FLUSH WITH ASPHALT.
4. CONCRETE WALK WITH CURB PER COABQ STANDARD DETAIL 2430, (ALL AROUND AS SHOWN). SEE DETAIL A/AS-5.0
5. EXISTING 4'-FT WIDE CONCRETE WALK AT STREET TO REMAIN. ALL BROKEN OR CRACKED AREAS SHALL BE REMOVED AND REPLACED PER COABQ STANDARD DETAILS 2415 AND 2430.
6. CURB AND GUTTER, TYPICAL AROUND ASPHALT PAVING AS SHOWN PER COABQ STANDARD DETAIL 2415. ALSO SEE DETAIL B/AS-5.0.
7. 4-INCH HIGH WHITE LETTERS "FIRE LANE NO PARKING" OVER RED PAINTED CURB. SHOWN ON PLAN AS A HEAVY LINE AT REQUIRED CURBS.
8. CONCRETE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK TO BUILDING, (1:20 MAX SLOPE ADA ACCESSIBLE), PER COABQ STANDARD DETAIL 2430. PAINTED STRIPING (12" WIDE) @ CROSS WALK, AS SHOWN.
9. CONCRETE SLAB (6' x 7'-6") AT FIRE DEPARTMENT PIV AND FDC.
10. CUT AND REMOVE EXISTING PUBLIC CONCRETE WALK AS REQUIRED TO INSTALL CURB RAMP, PER COABQ STANDARD DETAIL 2425 OR 2426. INSTALL TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOM OF RAMP WITHIN THE PUBLIC R.O.W.
11. WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441, ALL RAMP SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES. SEE DETAIL I/AS-5.0
12. REFUSE ENCLOSURE, PER COABQ SOLID WASTE STANDARDS, SEE SHEET AS-5.2.
13. RETAINING WALLS, (INSTALL DRAIN HOLES AS REQUIRED) REFER TO GRADING AND DRAINAGE PLAN FOR LENGTHS AND LOCATIONS.
14. LANDSCAPE AREA, INCLUDES R.O.W. AREAS AS SHOWN. SEE LANDSCAPE PLAN.
15. EQUIPMENT SCREEN WALL, SEE DETAIL M/AS-5.0
16. BICYCLE RACK, PER IDO STANDARDS. SEE DETAIL H/AS-5.0.
17. PIPE BOLLARD, SEE DETAIL J/AS-5.0.
18. STEEL LANDSCAPE EDGING AT PROPERTY LINE, EXTEND FROM RETAINING WALL TO PUBLIC WALK.
19. MOTORCYCLE PARKING, 4'x8", WITH PAINTED "MC" (MOTORCYCLE) 12"H LETTERS AS SHOWN. MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD, BOTTOM OF SIGN NO LESS THAN 60" ABOVE FINISH GRADE, SEE DTL G/AS-5.0.
20. ACCESSIBLE PARKING SYMBOL PER COABQ STANDARD DETAIL 2426, SEE DETAIL E/AS-5.0. PAINTED 6"H LETTERS "VAN" AS SHOWN AT VAN SPACES.
21. ACCESSIBLE PARKING SIGN (DESIGNATE VAN PARKING AS SHOWN). SEE DETAIL F/AS-5.0.
22. TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
23. ASPHALT PAVING PER GEOTECHNICAL REPORT (SHALL BE CAPABLE OF SUPPORTING FIRE DEPARTMENT APPARATUS WEIGHING 75,000 LBS), SEE DETAIL L/AS-5.0
24. TRAFFIC PAINTED "NO PARKING" DESIGNATION. MINIMUM 12"H AND 2"W LETTERS. PLACED AS SHOWN.
25. INSTALL PRECAST CONC WHEEL STOPS, INSTALL WITH #6x48" REBAR, TYPICAL AS SHOWN.
26. 10'-FT WIDE PUBLIC UTILITY EASEMENT, TYPICAL AT STREET.
27. ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD, SEE ELECTRICAL AND UTILITIES.
28. EXISTING FIRE HYDRANT.
29. EXISTING STORM SEWER INLET.
30. EXISTING DATA/TELEPHONE PEDESTAL, CONDUIT, AND PULL BOX.
31. 3" PVC PIPE UNDER PAVEMENT FOR INSTALLATION OF IRRIGATION LINES. STUB UP AT IRRIGATION CONTROLLER. COORDINATE WITH LANDSCAPE CONTRACTOR.
32. FUTURE MONUMENT SIGN, SEPARATE PERMIT. EXTEND ELECTRICAL CONDUIT TO POWER LIGHTING. SIGN SHALL BE LOCATED WITHIN THE PRIVATE PROPERTY, INCLUDING AIR SPACE.
33. CONCRETE TRUCK RAMP FROM ASPHALT TO FINISH FLOOR, SEE GRADING/DRAINAGE.
34. EXISTING NEIGHBOR'S DRIVEPAD (FOR REFERENCE ONLY).
35. EVAPORATIVE COOLER ON STAND, SEE MECHANICAL.
36. PROPERTY LINE.
37. CLEAR SIGHT TRIANGLE, FOR SITE ENTRANCES: 11'-FT FROM FACE OF GUTTER TO LINE OF ONCOMING TRAFFIC, DISTANCE PER TABLE 3.9.5-2 (20MPH) DPM PG. 7-114. Nth ENTRANCE, LEFT TURN, 230LF SITE LINE REQUIRED. Sth ENTRANCE, RIGHT TURN, 200 LF REQUIRED, AS SHOWN. AS OUTLINED BELOW THE FOLLOWING MATERIALS OR STRUCTURES SHALL NOT BE PLACED IN THE AREA FROM THE LINE TO THE CURB. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY (MATURE HEIGHT) BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM GUTTER PAN) SHALL NOT BE PERMITTED WITHIN THIS CLEAR SIGHT TRIANGLE.



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CONSULTANT



PROJECT

OFFICE  
WAREHOUSE

B PROJECT ADDRESS  
1601 AIRTECH CT. SE  
ALBUQUERQUE, NM  
87106

MARK	DATE	DESCRIPTION
ISSUE DATE:		

PROJECT NO:  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

A TRAFFIC  
CIRCULATION  
LAYOUT  
SITE PLAN

TCL