

Wooten Engineering

5017 Sanbusco Dr NE, Rio Rancho, NM 87144
Ph: 505.771.8038 Fax: 505.771.8905

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

SURVEY NOTES:

1. THE ATTACHED TOPOGRAPHIC DATA WAS OBTAINED FROM EXISTING DRAWINGS AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHOULD VERIFY SPOT ELEVATIONS AT ALL SAWCUT LINES AND NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY.
2. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON LOCATION OF SURFACE APPEARANCES AND OTHER SURFACE INDICATIONS OF UNDERGROUND UTILITIES. OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

95% Construction Documents

Calibration Building

Eclipse Aviation
3250 Spirit Drive
Albuquerque International Sunport
Albuquerque, New Mexico

Project Title

Drawn By JTW Checked By JTW
Proj. No. 2007.05 Date 3/23/07

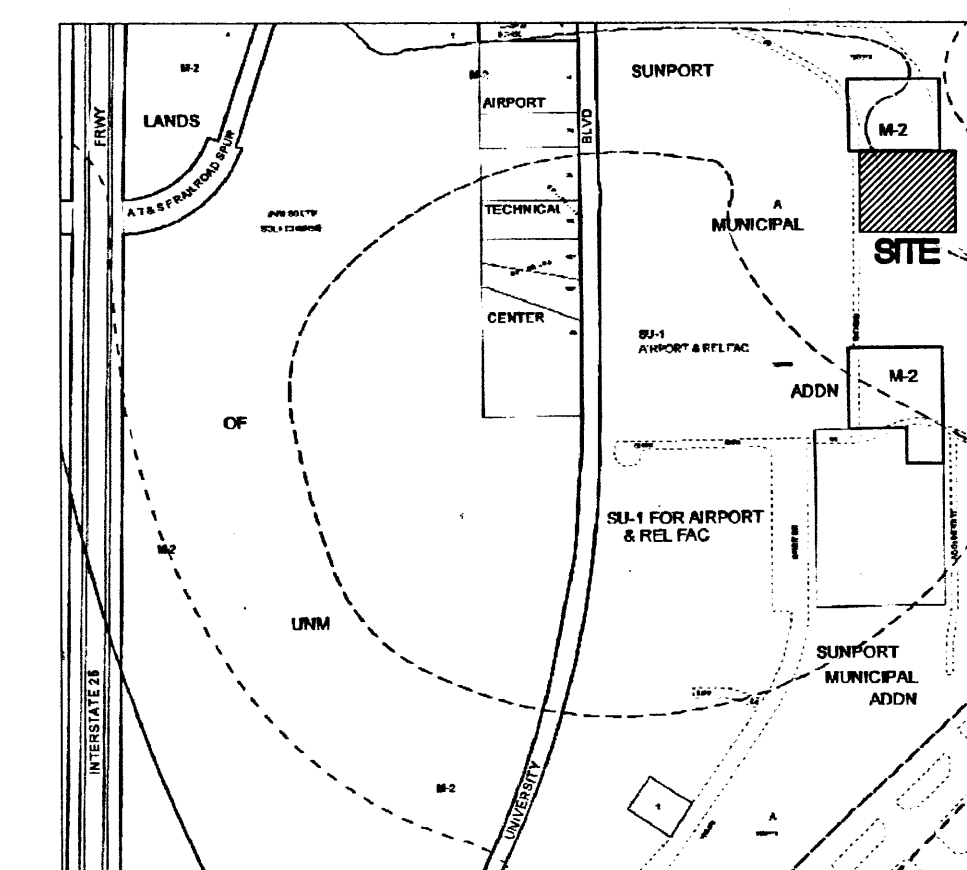
Revisions

Architect 3/23/07 Engineer

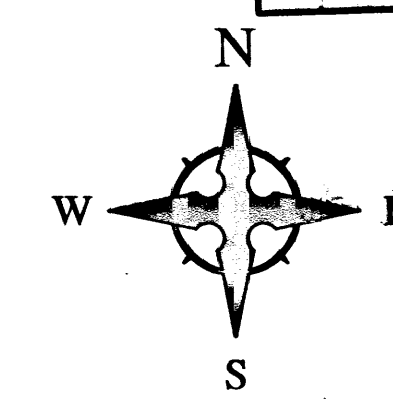
GRADING PLAN

Sheet Title Sheet 7 of

C5



ZONE ATLAS PAGE N15



SCALE: 1"=20'

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed addition of a new hangar to the existing Eclipse Aviation Site (Sunport II Hangar) located within the Sunport Municipal Addition in southeast Albuquerque, New Mexico. The proposed hangar is +/-5,000 square feet, more or less.

EXISTING HYDROLOGIC CONDITIONS

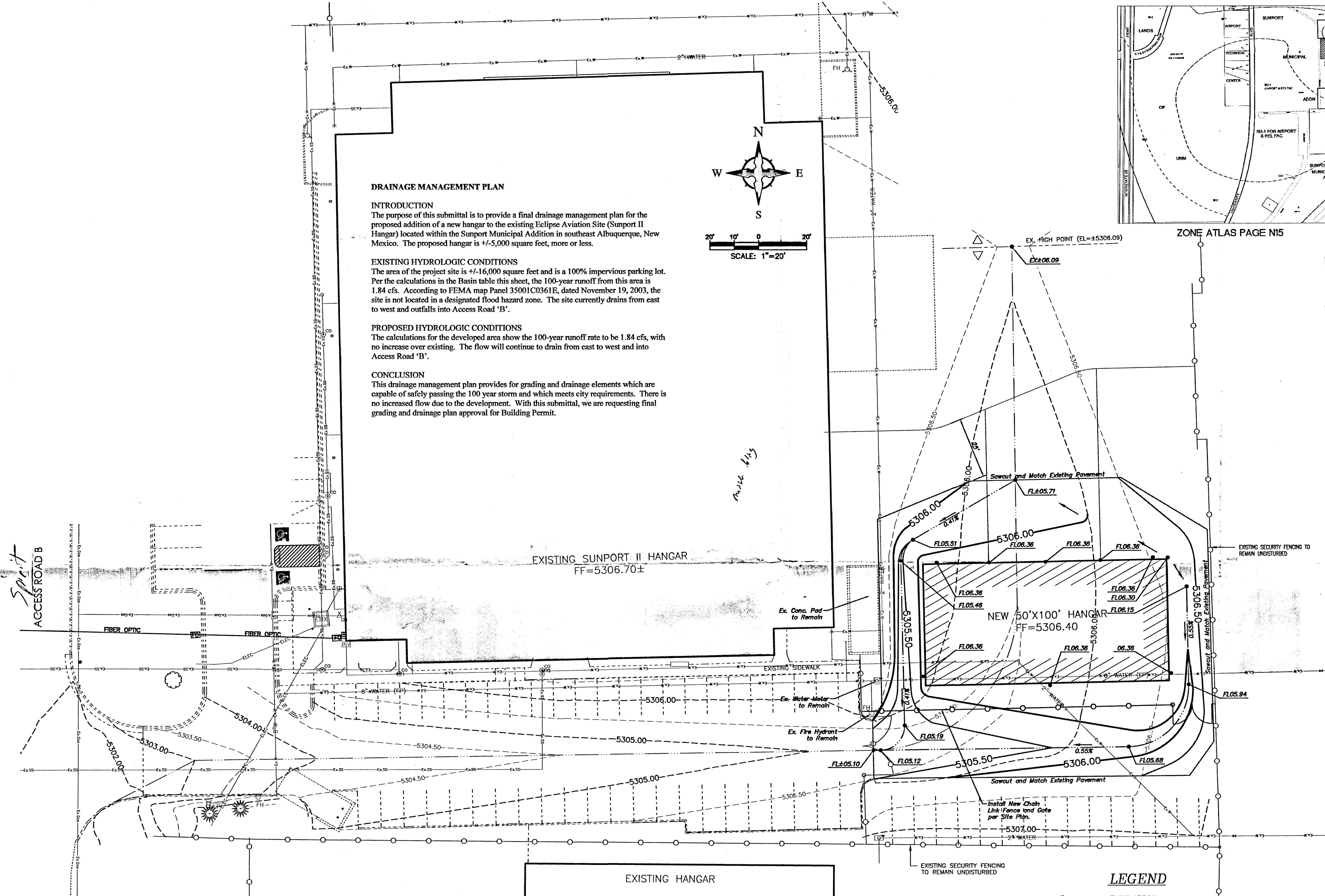
The area of the project site is +/-16,000 square feet and is a 100% impervious parking lot. Per the calculations in the Basin table this sheet, the 100-year runoff from this area is 1.84 cfs. According to FEMA map Panel 35001C0361E, dated November 19, 2003, the site is not located in a designated flood hazard zone. The site currently drains from east to west and outfalls into Access Road 'B'.

PROPOSED HYDROLOGIC CONDITIONS

The calculations for the developed area show the 100-year runoff rate to be 1.84 cfs, with no increase over existing. The flow will continue to drain from east to west and into Access Road 'B'.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. There is no increased flow due to the development. With this submittal, we are requesting final grading and drainage plan approval for Building Permit.



LEGEND

- ← FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 — EXISTING CONTOUR
- - - 515 - - - PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- - - RIDGE LINE

Sunport II Hangar Addition
Existing/Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone:3									
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (inches)
			A	B	C	D			
EXISTING CONDITIONS									
A	16000	0.37	0.0%	0.0%	0.0%	100.0%	5.02	1.84	2.36
PROPOSED CONDITIONS									
A	16000	0.37	0.0%	0.0%	0.0%	100.0%	5.02	1.84	2.36

Grading Plan

1"=20'

