

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 24, 2025

Robert Fierro, P.E.  
Fierro & Company  
3201 4<sup>th</sup> Street NW, Suite C  
Albuquerque, NM 87107

**RE: Event Center  
1611 Airtech Ct. SE  
Grading & Drainage Plans  
Engineer's Stamp Date: 4/24/2025  
Hydrology File: N15D017**

Dear Mr. Fierro:

PO Box 1293

Based upon the information provided in your submittal received 4/24/2025, the Grading & Drainage Plans **are** approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

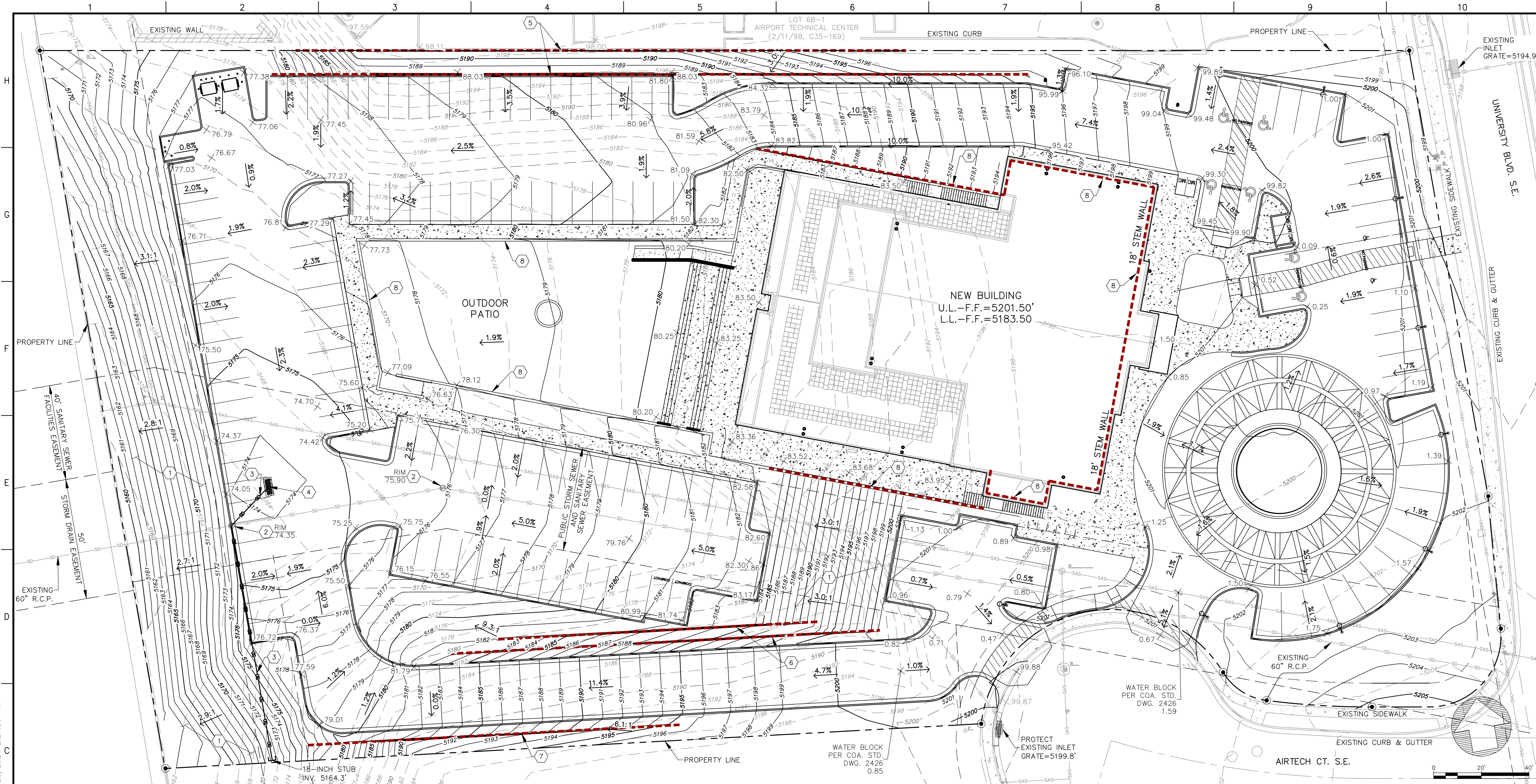
If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



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## LEGEND

- APPARENT PROPERTY BOUNDARY
- - - APPARENT ADJOINER PROPERTY LINE
- PROPERTY CORNER
- ROOF FLOW DIRECTION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING OVERHEAD ELECTRIC
- EXISTING STORM DRAIN
- EXISTING SEWER LINE
- EXISTING WATER LINE
- POND CONTOUR
- NEW STORM LINE
- NEW RETAINING WALL
- RTW RETAINING WALL
- M.H. MANHOLE
- E.G. EXISTING GRADE
- F.G. FINISH GRADE

NOTE:  
THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU  
FOR THE REQUIRED STORMWATER QUALITY VOLUME.

## PROJECT INFORMATION

**BENCHMARK**  
ALBUQUERQUE SURVEY MONUMENT: ACS BM, 3-N14  
NORTHING: 1469185.928 (NMSPC, CENTRAL, NAD 1983)  
EASTING: 1522103.492 (NMSPC, CENTRAL, NAD 1983)  
ELEVATION: 4958.90' (NAVD 1988, U.S. SURVEY FOOT)

**DESCRIPTION**  
TRACT B PLAT OF TRACTS A, B, C, D & E AIRPORT  
TECHNICAL CENTER

**FLOOD NOTE:**  
THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS  
DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD. AS  
DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD  
INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, MAP  
NO. 35001C0342G.

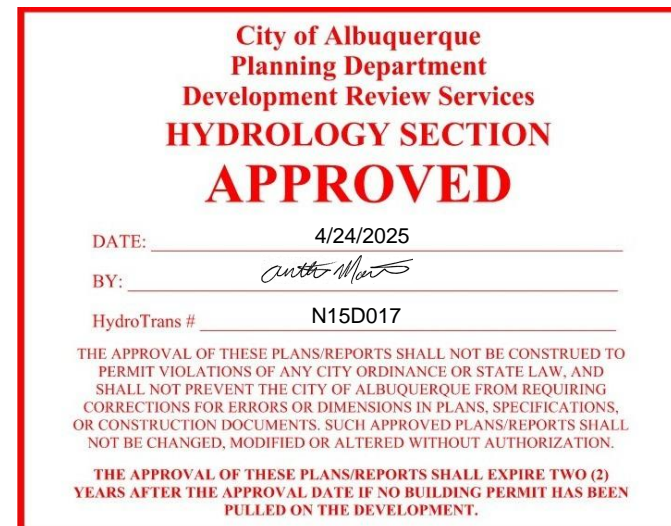
**SURVEYOR INFORMATION**  
TOPOGRAPHIC SURVEY PERFORMED OCTOBER AND  
NOVEMBER 2023 BY OTHERS.

## GENERAL GRADING NOTES:

- THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
- THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PREVENT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
- PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
- CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
- SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
- CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

## CONSTRUCTION NOTES:

- STABILIZE SIDE SLOPES WITH NATIVE GRASS SEED (PER City Spec 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.2.1.4.b.)
- ADJUST STORM MANHOLE'S RIM UNDER SO-19 PERMIT.
- CONSTRUCT PRIVATE 18" STORM PIPE. CONNECT TO EXISTING PUBLIC STORM MANHOLE UNDER AN SO-19 PERMIT.
- CONSTRUCT STORM INLET TYPE "D" (DOUBLE GRATE) PER COA STD. DWG. NO. 2206.
- CONSTRUCT RETAINING WALL WITH PRIVACY WALL/GUARDRAIL BY SEPARATE PERMIT. DESIGN BY OTHERS. REFER TO TYPICAL RETAINING WALL NOMENCLATURE ON SHEET C-2.
- CONSTRUCT RETAINING WALL WITH PRIVACY WALL/GUARDRAIL BY SEPARATE PERMIT. DESIGN BY OTHERS. REFER TO TYPICAL RETAINING WALL NOMENCLATURE ON SHEET C-3.
- CONSTRUCT RETAINING WALL BY SEPARATE PERMIT. DESIGN BY OTHERS. REFER TO TYPICAL RETAINING WALL NOMENCLATURE ON SHEET C-4.
- RETAINING WALLS. SEE ARCHITECTURE AND STRUCTURAL SHEETS



## SO-19 NOTES:

- BUILD SIDEWALK CULVERT PER C.O.A. STANDARD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, TO THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811". OR (505-260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

**Fierro & Company**  
ENGINEERING | SURVEYING  
3201 4TH STREET NW, SUITE C  
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www.fierrocompany.com

**ROBERT J. FIERRO**  
NEW MEXICO  
20585  
4-24-2025  
PROFESSIONAL ENGINEER

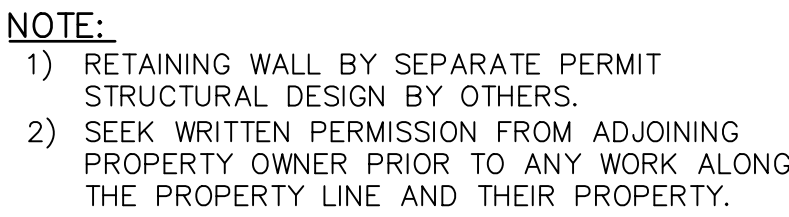
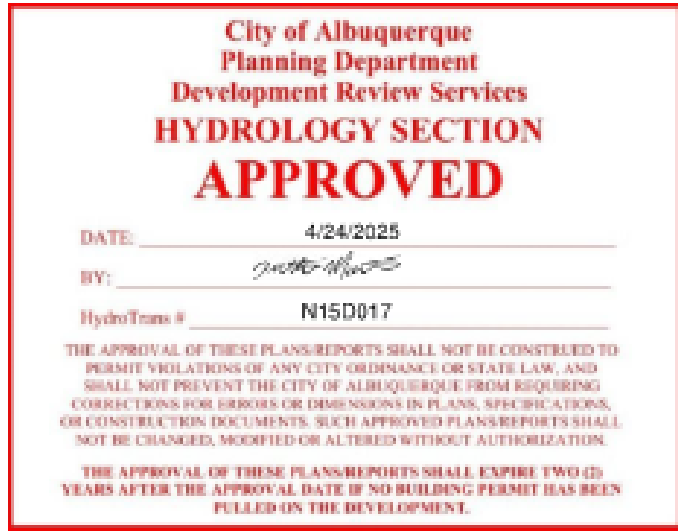
**EVENT CENTER**  
**UNIVERSITY BLVD. S.E.**  
**ALBUQUERQUE, NM**

PROJECT NAME	PROJECT NO.	DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REV.	DESCRIPTION	BY
	24001	RJF	JB	RJF	OCTOBER 2024			

**GRADING PLAN**

**C-1**



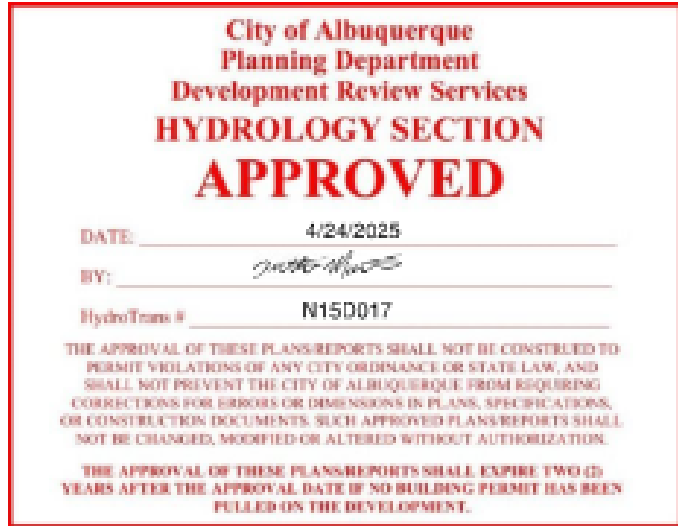
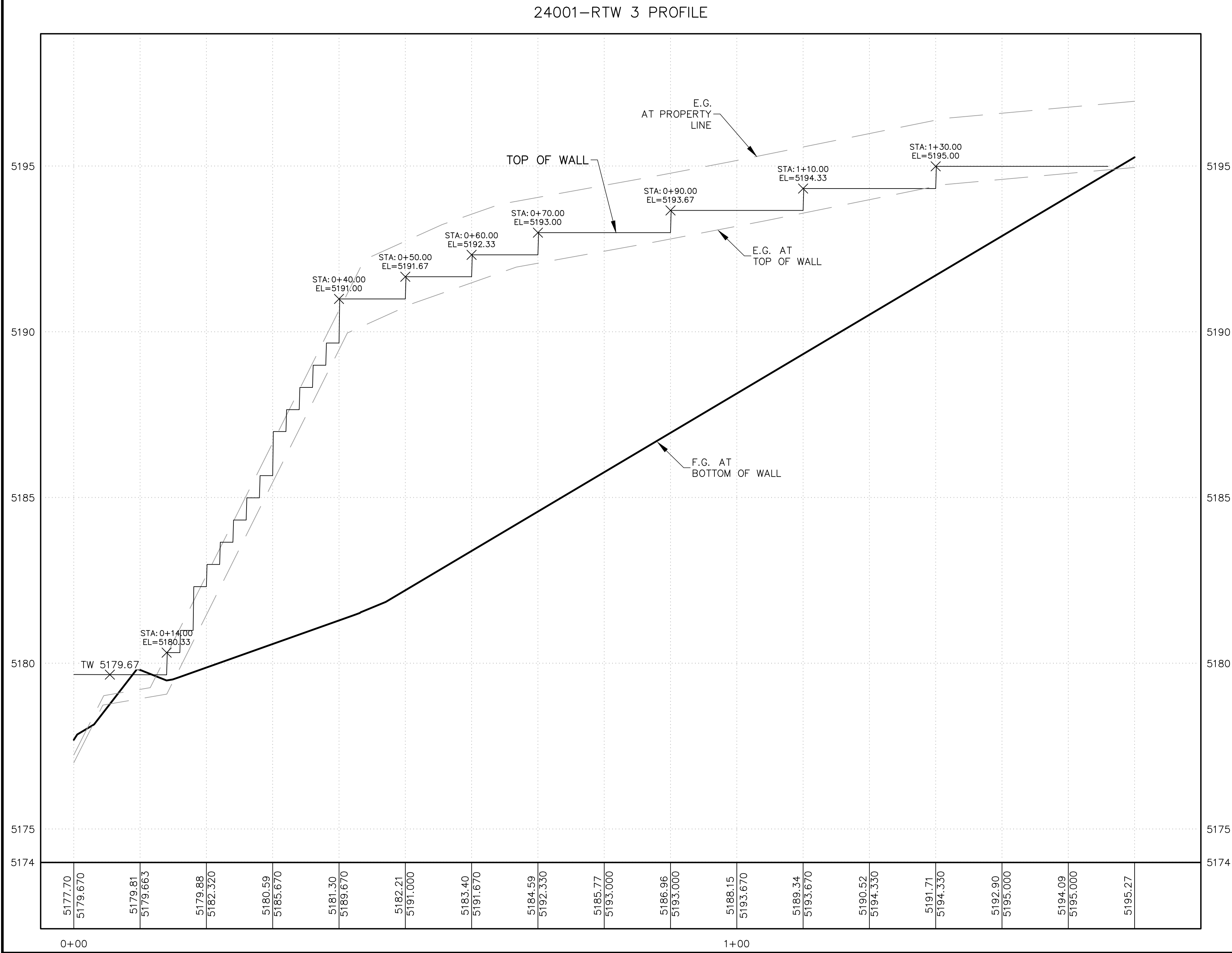
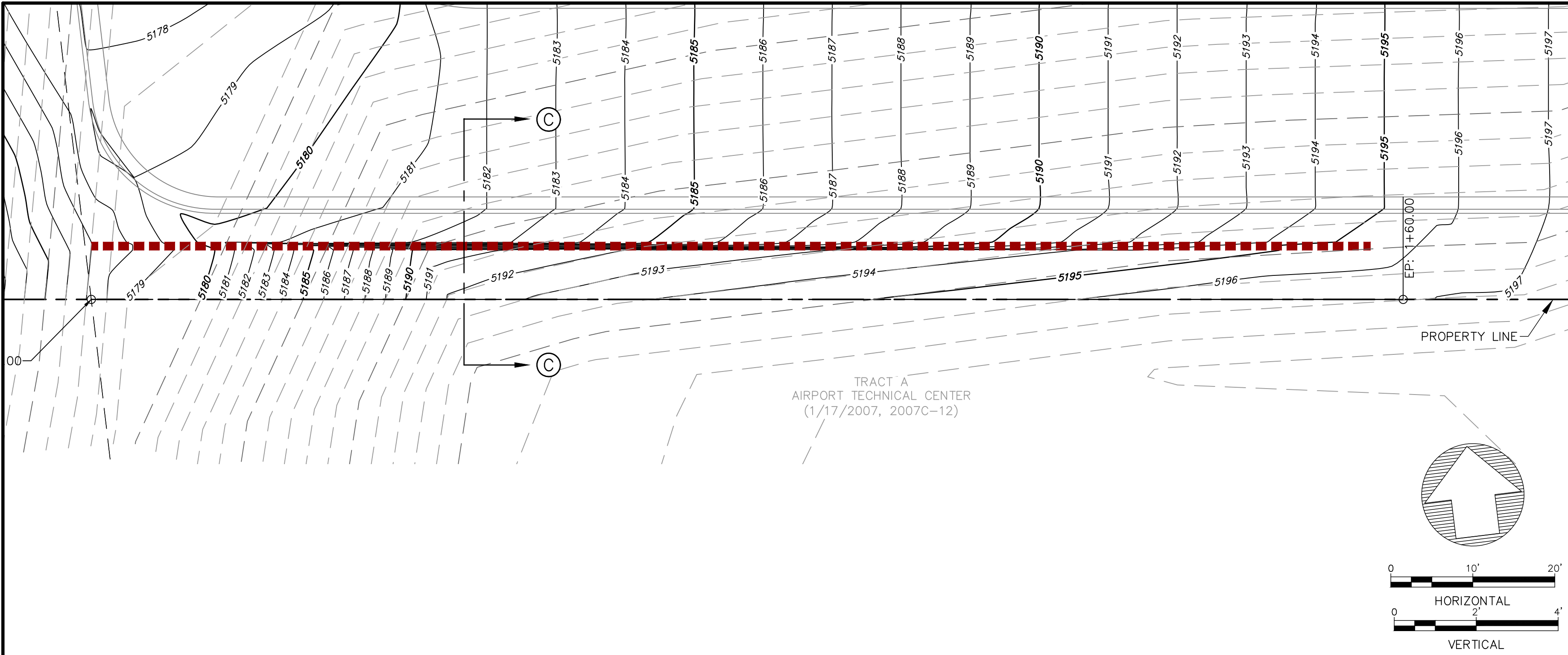






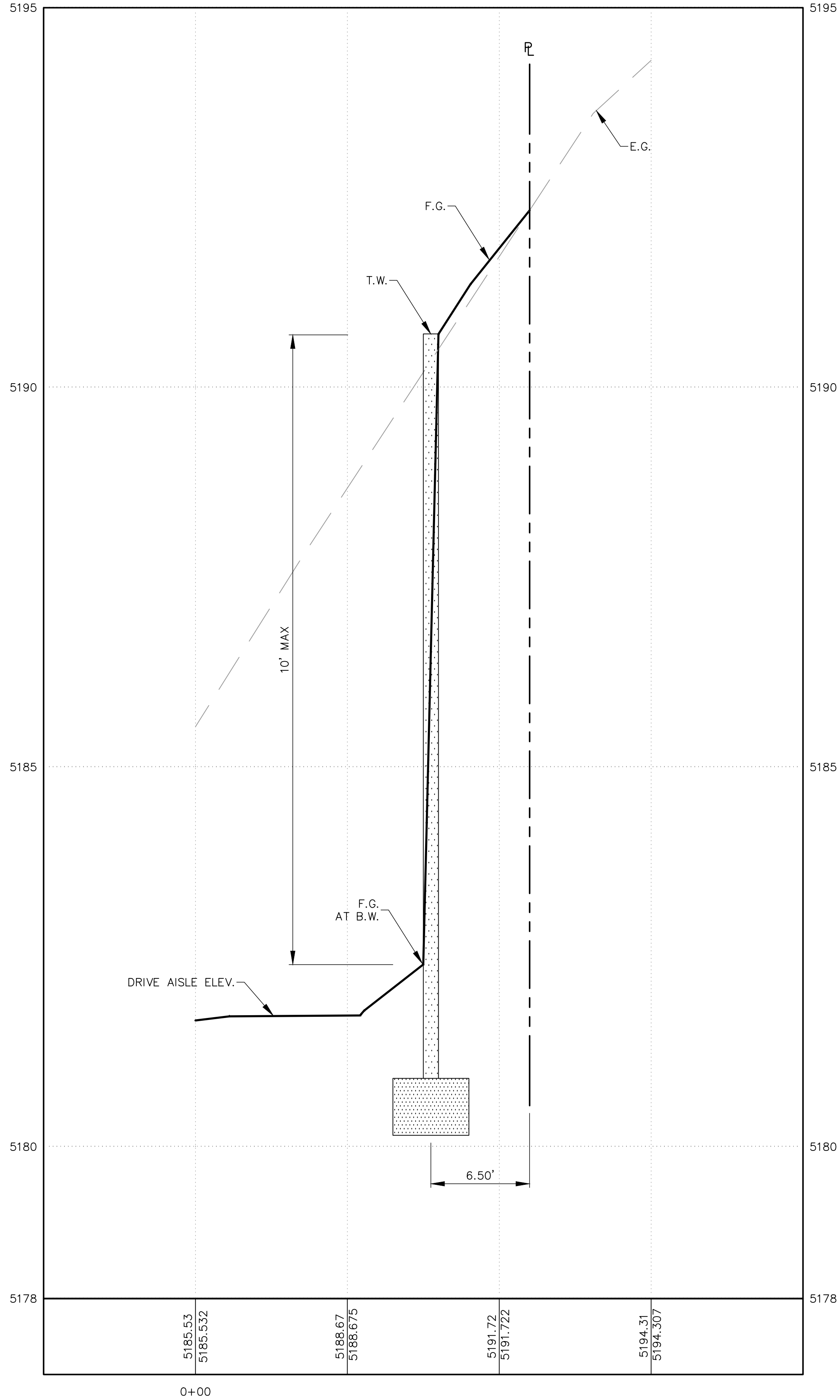


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NOTE:  
RETAINING WALL BY SEPARATE PERMIT  
STRUCTURAL DESIGN BY OTHERS

24001-XSEC C-C PROFILE



SECTION C-C (TYPICAL RETAINING WALL NOMENCLATURE)  
SCALE: NTS

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UNIVERSITY BLVD. S.E.  
ALBUQUERQUE, NM

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 24001  
DESIGNED BY: RJF  
DRAWN BY: JB  
CHECKED BY: RJF  
DATE: OCTOBER 2024

SHEET TITLE  
RETAINING WALL  
No. 3  
PLAN & PROFILE

SHEET NO:  
C-4







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H  
G  
F  
E  
D  
C  
B  
A

### Inlet Report

Hydrflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Tuesday, May 14 2024

#### STORM INLET TYPE D (DOUBLE GRATE)

##### Drop Grate Inlet

Location = Sag  
Curb Length (ft) = -0-  
Throat Height (in) = -0-  
Grate Area (sqft) = 7.44  
Grate Width (ft) = 6.40  
Grate Length (ft) = 2.10

##### Gutter

Slope, Sw (ft/ft) = 0.020  
Slope, Sx (ft/ft) = 0.020  
Local Depr (in) = -0-  
Gutter Width (ft) = 6.40  
Gutter Slope (%) = -0-  
Gutter n-value = -0-

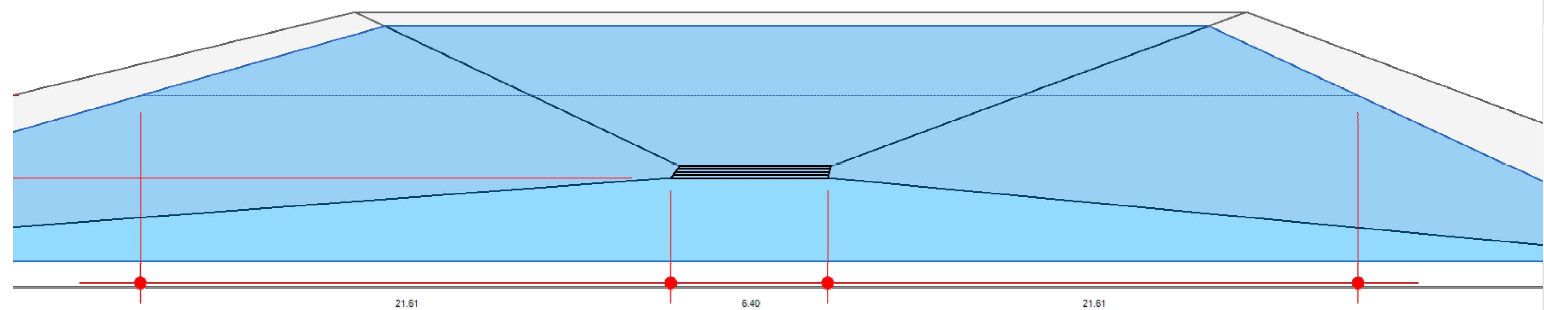
##### Calculations

Compute by: Known Q  
Q (cfs) = 14.50

##### Highlighted

Q Total (cfs) = 14.50  
Q Capt (cfs) = 14.50  
Q Bypass (cfs) = -0-  
Depth at Inlet (in) = 5.19  
Efficiency (%) = 100  
Gutter Spread (ft) = 49.62  
Gutter Vel (ft/s) = -0-  
Bypass Spread (ft) = -0-  
Bypass Depth (in) = -0-

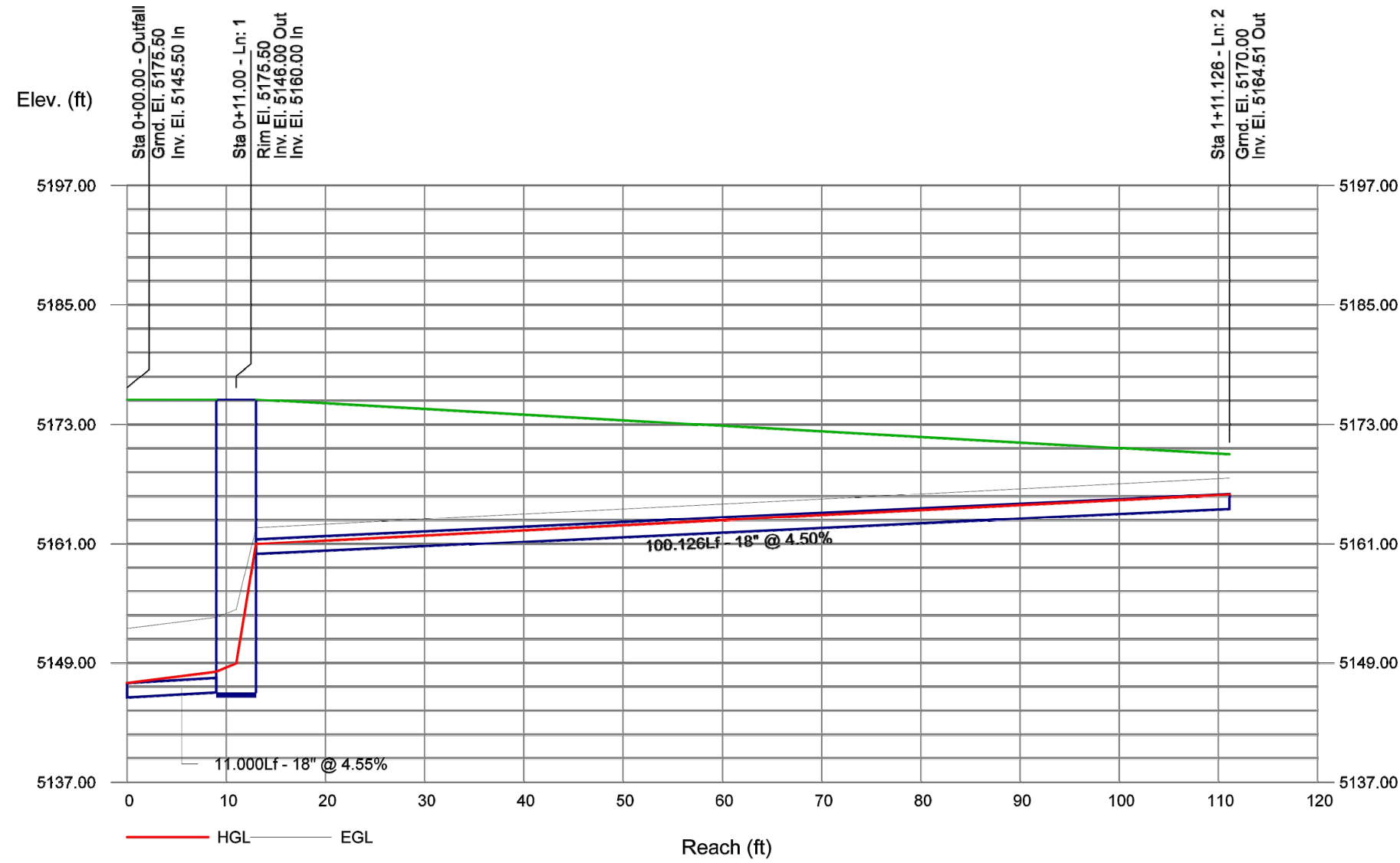
All dimensions in feet



### INLET ANALYSIS

### Storm Sewer Profile

Proj. file: 24001-STRM PIPE DESIGN.stm



Storm Sewers

### Storm Sewer Summary Report

Page 1

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
1		33.20	18	Cir	11,000	5145.50	5146.00	4.545	5147.00*	5148.10*	0.82	5148.03	End	Manhole
2		17.90	18	Cir	100,126	5160.00	5164.51	4.504	5161.02	5165.96	n/a	5165.96	1	None

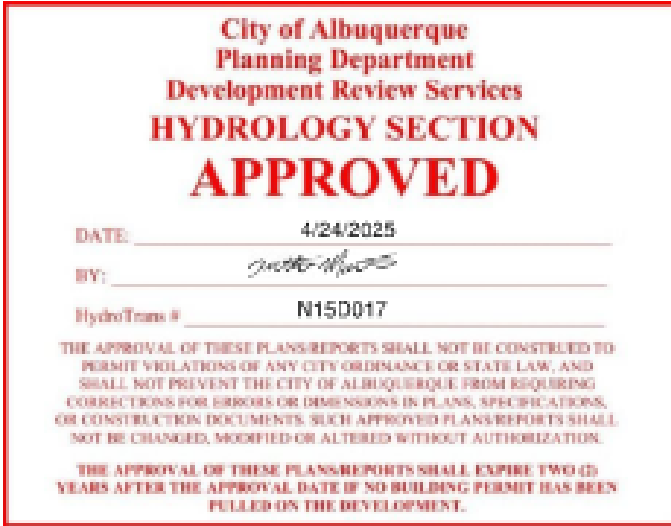
24001-STRM PIPE

Number of lines: 2

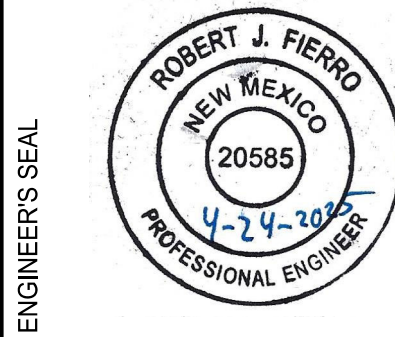
Run Date: 5/14/2024

NOTES: Known Qs only ; \*Surcharged (HGL above crown).

Storm Sewers v2023.00



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ALBUQUERQUE, NM

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 24001  
DESIGNED BY: RJF  
DRAWN BY: JB  
CHECKED BY: RJF  
DATE: OCTOBER 2024

SHEET TITLE

DRAINAGE  
PLAN

SHEET NO:

D-2